

Title	Plum Grove Park Facility 4001 Park Drive, Palatine IL 60067	02/24/2023
	by tim k in Member District ADA Project Request	id. 35659131
	3000 Central Road Rolling Meadows, Illinois 60008 United States 8478183223 TKlier@rmparks.org	

Original Submission 02/24/2023

Name	Dominic Calderisi
Job Title	Safety Coordinator / Project Manager
E-mail Address	dcalderisi@rmparks.org
Phone Number	18473444877
Park District	Rolling Meadows
Project Location	Plum Grove Park Facility 4001 Park Drive, Palatine IL 60067
Project Status	New
Project Type	Routes and Surfaces
Routes and Surfaces- select a Project Category below:	Accessible Routes- Means of Egress Curb Ramps Sidewalks Walking Surfaces
Benefits of the Project	Rolling Meadows Park District's Plum Grove Park Outdoor Pool Facility was replaced with an ADA accessible courtyard featuring a new ADA compliant sidewalk that winds its way throughout a beautifully sculpted lawn with various flower and rain gardens. The sidewalks also lead to several ADA accessible resting areas with park benches. The sidewalk path gives greater access to the Plum Grove building in which multiple NWSRA programs take place. A new pavilion has also been added with ADA compliant picnic tables. These improvements allow for greater accessibility to Plum Grove Park and its amenities, especially for those with disabilities, thereby narrowing the play gap between people of all abilities.
Items that will become ADA Compliant	Sidewalks, Ramps, Accessibility to Park Amenities, Park Benches, Picnic Tables

The project is designed or constructed, or applies human resources, to comply with:

**The 2010 Standards for Accessible Design
The Illinois Accessibility Code
Agency's ADA Transition Plan**

Upload Project Related Files, Photos, Videos or Audio

[20190308-Plum_Grove.pdf](#)

[AIA_Document_COs_5_and_6_FINAL-Signed.pdf](#)

[IMG_2764.JPG](#)

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[IMG_3857.JPG](#)

[IMG_2766.JPG](#)

Budget Table for ADA Related Expenses

[Budget Table.xlsx](#)

ADA Dollars Requested	102444.36
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Notes related to requested amount

This would max us out beyond what we are eligible for, which is roughly \$250,000. If all other submissions from the Rolling Meadows Park District have been accepted for the full amount requested, the total, excluding this project, would be \$177,450.82. This would leave us with a remaining balance of \$72,549.18. Even though we are requesting the standard 33% for this sort of project, we realize that we would only receive the equivalent of the remaining balance.



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Plum Grove Park

4001 Park Drive
Palatine, Illinois 60067

Rolling Meadows Park District
3000 Central Road, Suite 100
Rolling Meadows, Illinois 60008

Issue for Construction
March 8, 2019

Project Team

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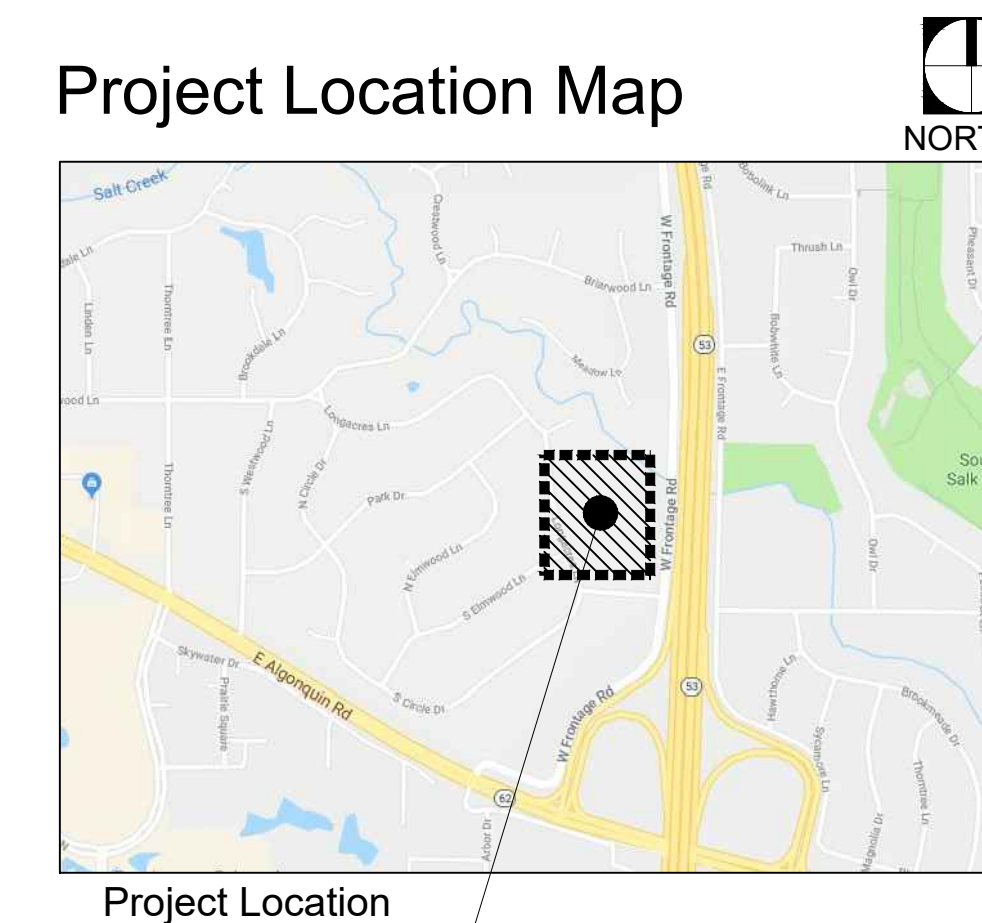
General Notes

1. Basemap information obtained from plans prepared by W-T Land Surveying received January 9, 2018.
2. Verify site conditions and information on drawings. Promptly report any concealed conditions, mistakes, discrepancies or deviations from the information shown in the Contract Documents. The Owner is not responsible for unauthorized changes or extra work required to correct unreported discrepancies.
3. Secure and pay for permits, fees and inspections necessary for the proper execution of this work. Comply with codes applicable to this work.
4. Refer to specifications for additional conditions, standards and notes.

Sheet Index

L-Series	
L1.0	Existing Conditions and Removals Plan
L2.0	Layout and Materials Plan
L3.0	Planting Plan
L4.0-L4.2	Details
C-Series	
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C-1.0	Site Demolition Plan
C-2.0	Site Geometric Plan
C-3.0	Site Development Plan
C-4.0	Site Grading Plan
C-5.0	Site Utility Plan
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C-6.1	Stormwater Pollution Prevention Details
C-7.0-C7.1	Project Specifications
E-Series	
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E2.0	Electrical Schedules
A-Series	
A1	Site Plan & Details
EX-Series	
EX-1.0	Impervious/Previous Area Exhibit
EX2.0	Disturbed Area Exhibit
EX-FP	Floodplain Exhibit
EX-XSEC	Compensatory Storage Cross Sections
EX-M	Maintenance and Monitoring Plan
S-Series	
S-1	Topographic Survey

Project Location Map



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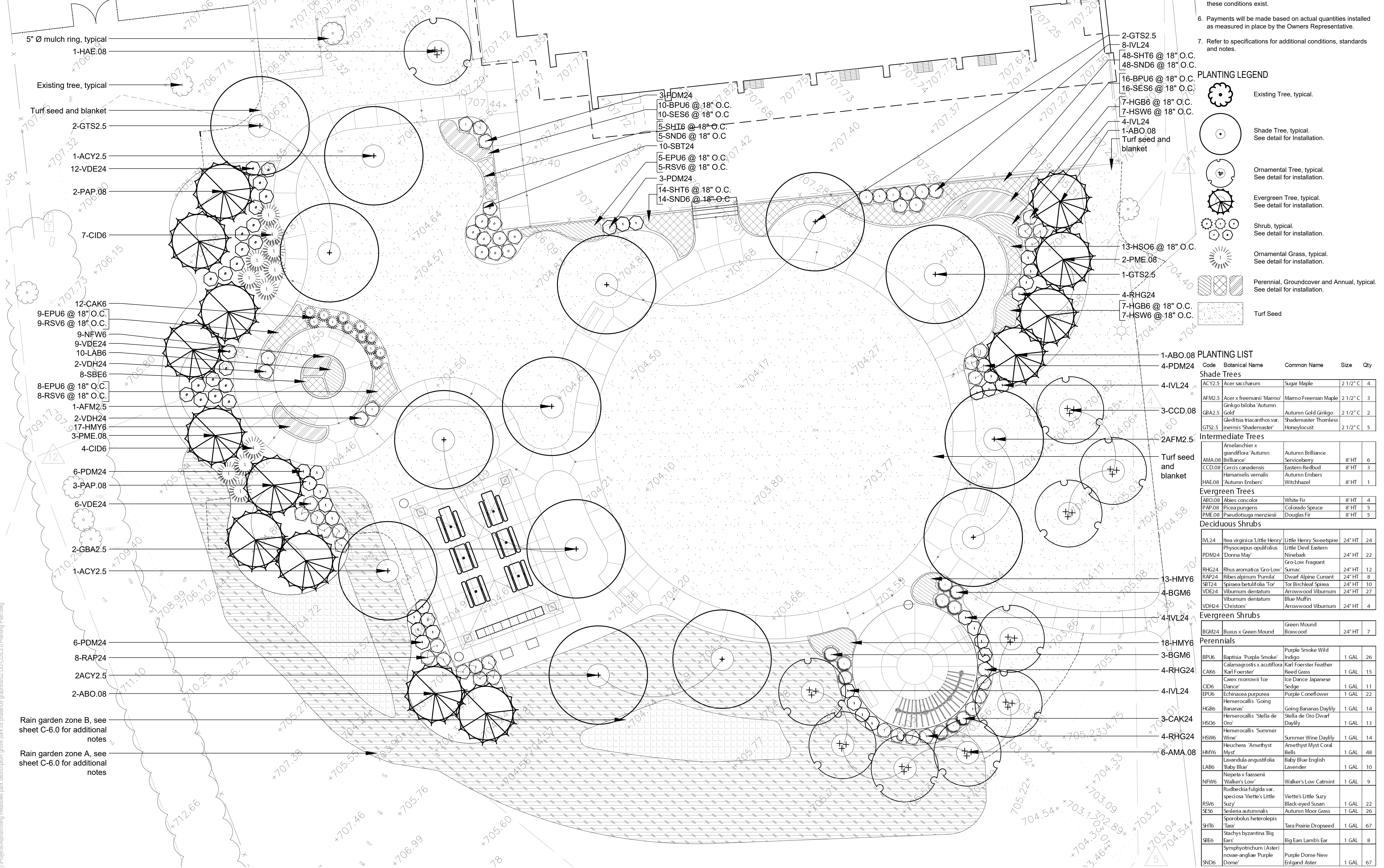
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Rain Garden Planting

Scientific Name	Common Name	Size	Quantity	Spacing	Zone
<i>Asclepias incarnata</i>	Butterfly Weed	Plug	297	18" O.C.	A
<i>Carex vulpinoidea</i>	Brown Fox Sedge	Plug	60	18" O.C.	B
<i>Echinacea purpurea</i>	Purple Coneflower	Plug	297	18" O.C.	A
<i>Juncus effusus</i>	Comon Rush	Plug	60	18" O.C.	B
<i>Liatris spicata</i>	Marsh Blazing Star	Plug	60	18" O.C.	B
<i>Monarda fistulosa</i>	Wild Bergamot	Plug	297	18" O.C.	A
<i>Parthenium integrifolium</i>	Wild Quinine	Plug	297	18" O.C.	A
<i>Penstemon digitalis</i>	Beardtounge	Plug	60	18" O.C.	B
<i>Physostegia virginiana</i>	Obedient Plant	Plug	60	18" O.C.	B
<i>Rudbeckia fugida</i>	Black-Eyed Susan	Plug	297	18" O.C.	A
<i>Schizachyrium scoparium</i>	Little Bluestem	Plug	297	18" O.C.	A
<i>Sporobolus heterolepis</i>	Prairie Dropseed	Plug	297	18" O.C.	A
<i>Tradescantia virginiana</i>	Spiderwort	Plug	60	18" O.C.	B

Zone A = side slopes (mesic)
Zone B = swale bottom (wet-mesic)



PLANTING NOTES

1. Seed limit line is approximate. Seed to limits of grading and disturbance. Contractor responsible for restoration of any unauthorized disruption outside of designated construction area.
2. Contractor responsible for erosion control in all seeded areas.
3. Tree mulch rings in turf areas are 5 foot diameter, typical. Contractor shall provide a mulch ring around all existing trees within the limit of work. Remove all existing grass from area to be mulched and provide a typical v-trench edge.
4. Bedlines are to be spade cut to a minimum depth of 3 inches unless otherwise shown on the plans. Curved bedlines are to be smooth and not segmented.
5. Do not locate plants within 10' of utility structures, or within 5' horizontally of underground utility lines unless otherwise shown on the plans. Consult with Landscape Architect if these conditions exist.
6. Payments will be made based on actual quantities installed as measured in place by the Owners Representative.
7. Refer to specifications for additional conditions, standards and notes.

PLANTING LEGEND

- Existing Tree, typical.
- Shade Tree, typical. See detail for installation.
- Ornamental Tree, typical. See detail for installation.
- Evergreen Tree, typical. See detail for installation.
- Shrub, typical. See detail for installation.
- Ornamental Grass, typical. See detail for installation.
- Perennial, Groundcover and Annual, typical. See detail for installation.
- Turf Seed

PLANTING LIST

Code	Botanical Name	Common Name	Size	Qty
Shade Trees				
ACY2.5	<i>Acer saccharum</i>	Sugar Maple	2 1/2" C	4
AFM2.5	<i>Acer x freemanii 'Marmo'</i>	Marmo Freeman Maple	2 1/2" C	3
GBA2.5	<i>Ginkgo biloba 'Autumn Gold'</i>	Autumn Gold Ginkgo	2 1/2" C	2
GTS2.5	<i>Gleditsia triacanthos var. inermis 'Shademaster'</i>	Shademaster Thornless Honeylocust	2 1/2" C	5
Intermediate Trees				
AMA.08	<i>Amelanchier x grandiflora 'Autumn Brilliance'</i>	Autumn Brilliance Spiceberry	8" HT	6
CCD.08	<i>Cercis canadensis</i>	Eastern Redbud	8" HT	3
HAE.08	<i>Hamelis vernalis</i>	Autumn Embers Witchhazel	8" HT	1
Evergreen Trees				
ABO.08	<i>Abies concolor</i>	White Fir	8" HT	4
PAP.08	<i>Picea pungens</i>	Colorado Spruce	8" HT	5
PME.08	<i>Pseudotsuga menziesii</i>	Douglas Fir	8" HT	5
Deciduous Shrubs				
IVL24	<i>Itea virginica 'Little Henry'</i>	Little Henry Sweetgale	24" HT	24
PDM24	<i>Physocarpus opulifolius 'Dorona May'</i>	Little Devil Eastern Ninebark	24" HT	22
RHG24	<i>Rhus aromatica 'Gro-Low'</i>	Gro-Low Fragrant Sumac	24" HT	12
RAP24	<i>Ribes alpinum 'Pumila'</i>	Dwarf Alpine Currant	24" HT	8
SBT24	<i>Spirea betulifolia 'Tor'</i>	Tor Birchleaf Spirea	24" HT	10
VDE24	<i>Viburnum dentatum</i>	Arrowwood Viburnum	24" HT	27
VDH24	<i>Viburnum dentatum 'Christon'</i>	Blue Muffin Arrowwood Viburnum	24" HT	4
Evergreen Shrubs				
BGM24	<i>Buxus x Green Mound</i>	Green Mound Boxwood	24" HT	7
Perennials				
BPU6	<i>Baptisia 'Purple Smoke'</i>	Purple Smoke Wild Indigo	1 GAL	26
CAK6	<i>Calamagrostis x acutiflora 'Karl Foerster'</i>	Karl Foerster Feather Reed Grass	1 GAL	15
CID6	<i>Carex monrovii 'Ice Dance'</i>	Ice Dance Japanese Sedge	1 GAL	11
EPU6	<i>Echinacea purpurea</i>	Purple Coneflower	1 GAL	22
HGB6	<i>Hemerocallis 'Going Bananas'</i>	Going Bananas Daylily	1 GAL	14
HMO6	<i>Hemerocallis 'Stella de Oro'</i>	Stella de Oro Dwarf Daylily	1 GAL	13
HSW6	<i>Hemerocallis 'Summer Wine'</i>	Summer Wine Daylily	1 GAL	14
HMY6	<i>Heschera 'Amethyst Myst'</i>	Amethyst Myst Coral Bells	1 GAL	48
LAB6	<i>Lavandula angustifolia 'Baby Blue'</i>	Baby Blue English Lavender	1 GAL	10
NFW6	<i>Nepeta x faassenii 'Walker's Low'</i>	Walker's Low Catmint	1 GAL	9
RSV6	<i>Rudbeckia fulgida var. speciosa 'Viene's Little Suzy'</i>	Viene's Little Suzy Black-eyed Susan	1 GAL	22
SE6	<i>Sesleria autumnalis</i>	Autumn Moor Grass	1 GAL	26
SH6	<i>Stachys byzantina 'Big Ears'</i>	Big Ears Lamb's Ear	1 GAL	8
SBE6	<i>Symphoricarpos (Aster) noxae 'angliae Purple Dome'</i>	Purple Dome New England Aster	1 GAL	67



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Rolling Meadows, IL 60008

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March 8, 2019

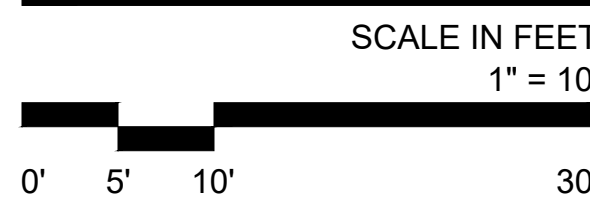
REVISIONS

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SHEET TITLE
Planting Plan



NORTH

SHEET NUMBER
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PLUM GROVE PARK 4001 PARK DRIVE ROLLING MEADOWS, ILLINOIS 60067



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I, TODD ABRAMS, P.E. DULY LICENSED IN THE STATE OF ILLINOIS BY THE DEPARTMENT OF FINANCIAL AND PROFESSIONAL REGULATION, DO HEREBY STATE THAT THIS DOCUMENT WAS PREPARED BY ME OR UNDER MY DIRECT SUPERVISION AND TO THE BEST OF MY KNOWLEDGE AND BELIEF DOES CONFORM TO THE APPLICABLE BUILDING CODES AND ORDINANCES, AND ARE IN COMPLIANCE WITH THE ENVIRONMENTAL BARRIERS ACT (410 ILCS 25) AND THE ILLINOIS ACCESSIBILITY CODE (11 ILL. ADM. CODE 400).

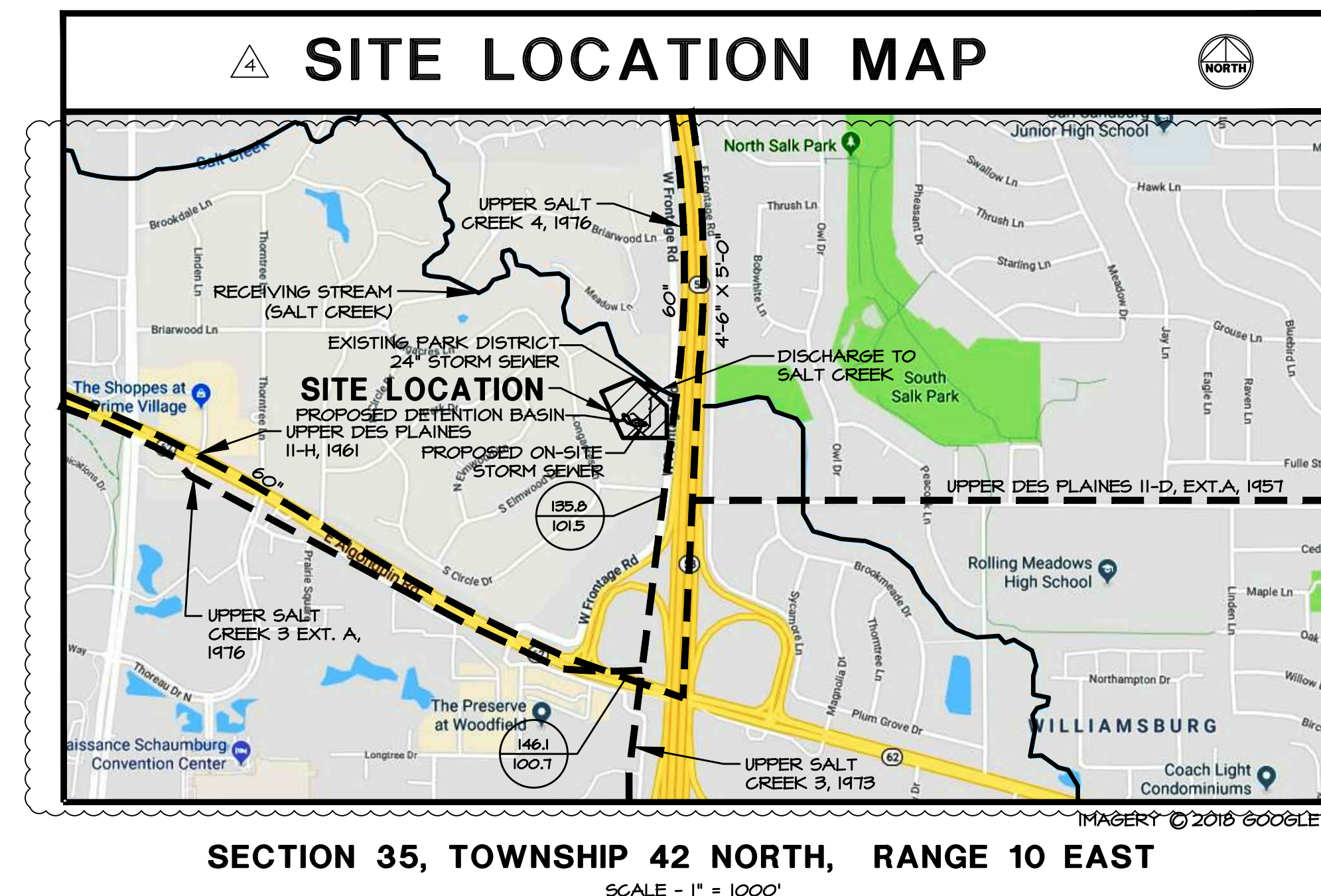
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TODD ABRAMS - ILLINOIS P.E. # 062-061600
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CONTRACTOR MUST LOCATE PRIVATE UTILITIES IN AREA
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DRAWING INDEX		
SHEET	DESCRIPTION	DATE
T-1.0	TITLE SHEET	1-8-19
C-1.0	SITE DEMOLITION PLAN	8-4-18
C-2.0	SITE GEOMETRIC PLAN	8-24-18
C-3.0	SITE DEVELOPMENT PLAN	8-24-18
C-4.0	SITE GRADING PLAN	1-8-19
C-5.0	SITE UTILITY PLAN	1-8-19
C-5.1	SITE UTILITY DETAILS	1-8-19
C-6.0	STORMWATER POLLUTION PREVENTION PLAN	8-14-18
C-6.1	STORMWATER POLLUTION PREVENTION DETAILS	8-24-18
C-7.0	PROJECT SPECIFICATIONS	8-24-18
C-7.1	MWRD GENERAL SPECIFICATION	1-8-19
EX-1.0	PROPOSED IMPERVIOUS VS. PERVIOUS EXHIBIT	1-8-19
EX-2.0	DISTURBANCE EXHIBIT	8-14-18
EX-FP	FLOODPLAIN EXHIBIT	1-8-19
EX-XSEC	COMPENSATORY STORAGE CROSS SECTIONS	1-8-19
EX-M	MAINTENANCE AND MONITORING PLAN	1-8-19
S-1	TOPOGRAPHIC SURVEY (PREPARED BY W-T LAND SURVEYING, INC.)	1-9-18
S-1	TOPOGRAPHIC SURVEY (PREPARED BY W-T LAND SURVEYING, INC.)	3-26-18



LEGEND
 --- STORM SEWER
 ——— MWRD SEWERS
 (135.0 / 101.5) GROUND ELEVATION CGD
 (135.0 / 101.5) SEWER INVERT ELEVATION CGD

BENCHMARKS:

BENCHMARK #1 - EAST-NORTHEAST UPPER FLANGE BOLT OF FIRE HYDRANT LOCATED ON THE SOUTH SIDE OF THE EAST PARKING LOT ISLAND (AS SHOWN). ELEVATION=106.51' (NAVD88)

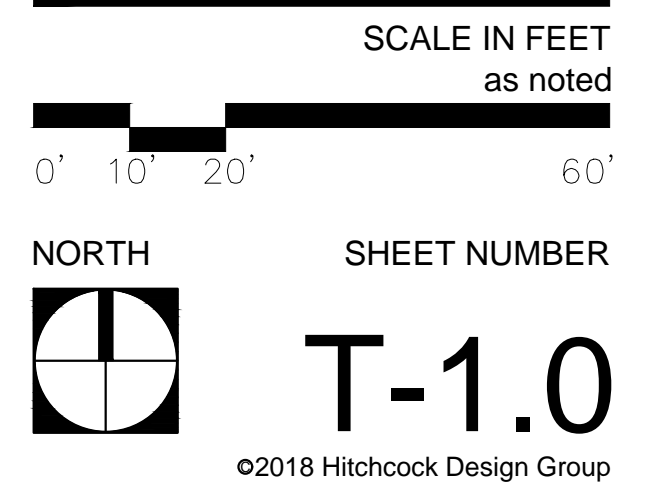
BEING THAT THIS PROJECT IS PERMITTED UNDER THE NEW WATERSHED MANAGEMENT ORDINANCE (NMO), THE MWRD REQUIRES 48 HOURS OF ADVANCE NOTIFICATION PRIOR TO ANY GROUND DISTURBANCE. THE MWRD WILL BE INSPECTING FOR APPLICABLE EROSION CONTROL AND SEDIMENT CONTROL MEASURES SUCH AS SILT FENCING, INLET PROTECTION, CONCRETE WASH, ETC., FOLLOWED BY SANITARY SEWER AND VOLUME CONTROL INSTALLATION INSPECTIONS. PLEASE REFER TO THE APPROVED PERMIT/PLANS AND HAVE THESE MEASURES IN PLACE IN ACCORDANCE WITH THE SPECIFICATIONS.

Issued
March 8, 2019

No	Date	Issue

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SHEET TITLE
Title Sheet



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SHEET TITLE
Site Demolition Plan

SCALE IN FEET
as noted

0' 10' 20' 60'

NORTH

SHEET NUMBER
C-1.0

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SITE DEMOLITION NOTES:

- A. CONTRACTOR SHALL PERFORM ALL DEMOLITION WORK IN ACCORDANCE WITH ALL APPLICABLE FEDERAL, STATE, AND LOCAL REQUIREMENTS.
- B. THE CONTRACTOR SHALL OBTAIN ALL NECESSARY DEMOLITION PERMITS AND COORDINATE ALL DEMOLITION WITH THE MUNICIPALITY AND OWNERS REPRESENTATIVE TO ENSURE PROTECTION AND MAINTENANCE OF SANITARY AND WATER UTILITIES AS NECESSARY AND TO PROVIDE STORM WATER CONVEYANCE UNTIL NEW FACILITIES ARE CONSTRUCTED, TESTED, AND PLACED IN OPERATION.
- C. CONTRACTOR SHALL DEVELOP AND IMPLEMENT A DAILY PROGRAM OF DUST CONTROL PROCEDURES PRIOR TO DEMOLITION OF ANY STRUCTURES. MODIFICATION OF DUST CONTROL PROCEDURES SHALL BE PERFORMED BY THE CONTRACTOR TO THE SATISFACTION OF THE MUNICIPALITY AND COMPLY WITH THE NPDES II REQUIREMENTS OF THE ILLINOIS ENVIRONMENTAL PROTECTION AGENCY AND THE INDIVIDUAL STORM WATER POLLUTION PREVENTION PLAN FOR THIS PROJECT.
- D. ALL EXISTING TREES, BRUSH AND MISCELLANEOUS VEGETATION TO BE REMOVED OR DEMOLISHED SHALL BE REMOVED FROM THE SITE AND LEGALLY DISPOSED OF BY THE CONTRACTOR.
- E. VOIDS LEFT BY ANY ITEM REMOVED UNDER ANY PROPOSED BUILDING, PAVEMENT, OR WALK OR WITHIN 24" THEREOF SHALL BE BACKFILLED WITH ENGINEERED FILL ACCORDING TO THE GEOTECHNICAL REPORT.
- F. ALL EXISTING BUILDINGS, FOUNDATIONS, CONCRETE OR ASPHALT PAVEMENT OR WALKS, CURB AND GUTTER AND MISCELLANEOUS STRUCTURES (INCLUDING, BUT NOT LIMITED TO, FENCES, POLES, YARD LIGHTS, ELECTRICAL PANELS, AND MISCELLANEOUS DEBRIS) INDICATED TO BE DEMOLISHED SHALL BE REMOVED OR DEMOLISHED AND REMOVED FROM THE SITE AND DISPOSED OF LEGALLY BY THE CONTRACTOR.
- G. CONTACT GAS COMPANY PRIOR TO DEMOLITION. LOCATION OF EXISTING GAS SERVICES ARE UNKNOWN.
- H. ALL EXISTING TREES SHALL REMAIN UNLESS OTHERWISE NOTED.
- I. ALL EXISTING UTILITIES SHALL REMAIN UNLESS OTHERWISE NOTED.
- J. CONTRACTOR SHALL HIRE A PRIVATE UTILITY LOCATOR TO LOCATE UTILITIES PRIOR TO CONSTRUCTION AND SHALL CONTACT THE SITE ENGINEER IF A CONFLICT EXISTS.
- K. CONTRACTOR SHALL PROVIDE REMOVAL AND REPLACEMENT AND SHORING AS NECESSARY TO MEET OSHA AND LOCAL CODE, AS WELL AS MANUFACTURER'S REQUIREMENTS.
- L. ALL FOUNDATIONS FOR ALL FENCES, SIGNS, ETC. NOTED FOR REMOVAL SHALL BE REMOVED AND LEGALLY DISPOSED OF OFFSITE.
- M. PROOF-ROLLING SHALL BE PERFORMED FOR ALL SUBGRADE PRIOR TO CONSTRUCTION OF NEW PAVEMENT. ALL SUBGRADE PROOF-ROLLING SHALL BE WITNESSED AND APPROVED BY A MATERIALS TESTING AGENCY TO BE HIRED BY THE OWNER. CONTRACTOR TO COORDINATE ALL PROOF-ROLLING WITH THE MATERIALS TESTING AGENCY. CONTACT THE ENGINEER AND MATERIAL TESTING AGENCY SO THAT THEY MAY WITNESS THE PROOF ROLL. PROOF ROLL SHALL BE PROVIDED FOR ALL PAVEMENT AREAS SPECIFIED FOR FULL DEPTH REMOVAL AND REPLACEMENT.
- N. EXISTING CONDITIONS AND TOPOGRAPHY SHOWN REPRESENTS SITE CONDITIONS PER THE TOPOGRAPHIC SURVEY LAST DATED 3-26-18. PREPARED BY W-T LAND SURVEYING. CONTRACTOR SHALL FIELD VERIFY EXISTING ELEVATIONS AND CONDITIONS (INCLUDING BUT NOT LIMITED TO VERIFICATION OF CONTROL AND ALL UTILITIES WHETHER DEPICTED OR NOT) PRIOR TO CONSTRUCTION AND NOTIFY ENGINEER OF ANY DISCREPANCIES.
- O. SEE SHEET S-1 TOPOGRAPHIC SURVEY FOR ALL EXISTING LOCATED UTILITY DATA.
- P. CLEAR SITE AS NECESSARY TO CONSTRUCT PROPOSED IMPROVEMENTS.
- Q. ALL ITEMS MARK "EXISTING OR EXISTING TO REMAIN" TO BE PROTECTED FROM DAMAGE FOR THE DURATION OF CONSTRUCTION.
- R. CONTRACTOR TO PROVIDE SOIL TESTING SERVICES FOR COMPLETION OF THE ILLINOIS ENVIRONMENTAL PROTECTION AGENCY'S LFG-662 AND/OR LFG-663 FORMS AS PART OF THEIR CONTRACT.
- S. ALL EXISTING UTILITIES TO BE ABANDONED IN PLACE SHALL BE CAPPED WITH 2' LONG (MIN) NON-SHRINK CONCRETE MORTAR PLUGS AT BOTH ENDS.

PROJECT NOTES:

1. NEW FULL DEPTH SAWCUT OF EXISTING CONCRETE PAVEMENT TO PROVIDE CLEAN CONSTRUCTION BREAK.
2. EXISTING CONCRETE SIDEWALK TO REMAIN.
3. EXISTING AREA LIGHT TO REMAIN.
4. EXISTING TELCO PEDESTAL TO REMAIN.
5. EXISTING CLEANOUT TO REMAIN.
6. EXISTING HANDRAIL TO REMAIN.
7. EXISTING TREE TO REMAIN. PROTECT DURING CONSTRUCTION.
8. EXISTING WROUGHT IRON FENCE TO REMAIN.
9. EXISTING RETAINING WALL TO REMAIN.
10. EXISTING BUILDING TO REMAIN.
11. EXISTING STORM STRUCTURE TO REMAIN.
12. EXISTING STORM SEWER TO REMAIN.
13. EXISTING SANITARY STRUCTURE TO REMAIN.
14. EXISTING SANITARY SEWER TO REMAIN.
15. EXISTING WATER MAIN TO REMAIN.
16. EXISTING VALVE VAULT TO REMAIN.
17. EXISTING TRANSFORMER TO REMAIN.
18. EXISTING STORM SEWER TO BE REMOVED AND CAPPED AT DOWNSTREAM END.
19. EXISTING GRAVEL PAVEMENT TO BE REMOVED AS NECESSARY TO INSTALL A MINIMUM OF 12" OF TOPSOIL.
20. EXISTING CONCRETE PAVEMENT TO BE REMOVED FULL DEPTH TO MEET THE BOTTOM OF THE PROPOSED PAVEMENT CROSS SECTIONS (PROPOSED SUBGRADE ELEVATION). SEE THE SITE DEVELOPMENT PLAN FOR THE PROPOSED PAVEMENT CROSS SECTIONS AND THE SITE GRADING PLAN FOR THE PROPOSED FINISHED GRADES.
21. EXISTING BENCH TO REMAIN.
22. EXISTING CONCRETE BARRIER CURB TO REMAIN.
23. EXISTING PLAYGROUND EQUIPMENT TO REMAIN.
24. EXISTING BUILDING OVERHANG TO REMAIN.
25. EXISTING SIGN TO REMAIN.
26. EXISTING GAS WITNESS POST TO REMAIN.
27. EXISTING STORM STRUCTURE TO BE REMOVED.
28. EXISTING WROUGHT IRON FENCE TO BE REMOVED.
29. NOT USED.
30. EXISTING CLEANOUT TO BE REMOVED.
31. EXISTING VALVE AND VAULT TO BE REMOVED.
32. EXISTING SANITARY SEWER TO BE ABANDONED IN-PLACE. SEAL BOTH PIPE ENDS WITH 2' LONG (MIN) NON-SHRINK CONCRETE MORTAR PLUG.
33. EXISTING WATER MAIN TO BE CAPPED WITH A 2' LONG (MIN) NON-SHRINK CONCRETE MORTAR PLUG.

HATCH LEGEND

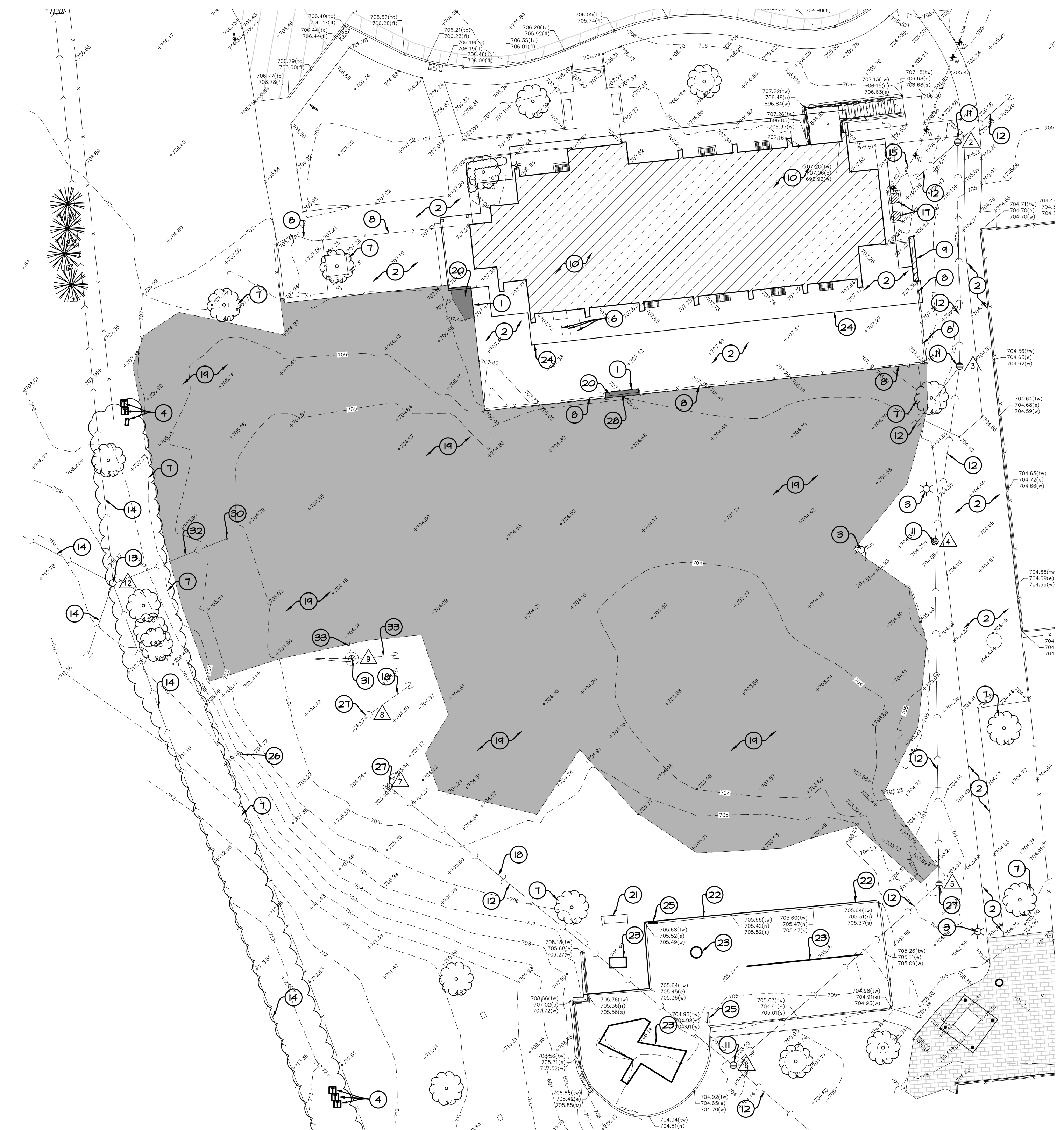
- EXISTING CONCRETE TO BE REMOVED
- EXISTING GRAVEL TO BE REMOVED

DEMOLITION LEGEND

- EXISTING STORM SEWER
- EXISTING SANITARY SEWER
- EXISTING WATER MAIN
- EXISTING CLOSED MANHOLE
- EXISTING OPEN GRATE MANHOLE
- EXISTING BEEHIVE GRATE MANHOLE
- EXISTING CURB INLET
- EXISTING FIRE HYDRANT
- EXISTING VALVE VAULT
- EXISTING B-BOX
- EXISTING GAS VAULT

EXISTING UTILITY DATA

- RM=704.56' (WATER)
48" CONCRETE STRUCTURE
698.23' @ TOP OF PIPE (6" DI NW/SE)
- RM=705.52' (STORM)
60" CONCRETE STRUCTURE
NN=698.46' (24" CPP NE,SW)
NN=703.22' (2" PVC SSW)
- RM=704.85' (STORM)
60" CONCRETE STRUCTURE
NN=698.60' (24" CPP N)
NN=698.55' (18" CPP SSW)
NN=700.35' (6" CPP SW)
- RM=704.33' (STORM)
48" CONCRETE STRUCTURE
NN=698.78' (24" CPP NNE)
NN=698.88' (18" CPP S)
- RM=702.87' (STORM)
48" CONCRETE STRUCTURE
NN=699.02' (18" CPP N,SW)
- RM=703.49' (STORM)
48" CONCRETE STRUCTURE
NN=699.27' (12" CPP NW)
NN=699.12' (18" CPP NE)
NN=701.79' (6" PVC SE)
- RM=704.04' (STORM)
48" CONCRETE STRUCTURE
NN=702.51' (12" CPP SE)
- RM=704.99' (STORM)
48" CONCRETE STRUCTURE WITH SUMP PUMP
702.54' @ TOP OF PIPE (2" PVC NE)
BOTTOM OF STRUCTURE=699.88'
- RM=705.01' (WATER)
24" CONCRETE STRUCTURE
701.24' @ TOP OF PIPE (2" DI N/E)
- RM=704.30' (SANITARY)
48" CONCRETE STRUCTURE
NN=691.35' (8" CLAY NW,SE)
- RM=703.98' (SANITARY)
48" CONCRETE STRUCTURE
NN=690.38' (8" CLAY NW,SE)
- RM=709.28' (SANITARY)
48" CONCRETE STRUCTURE
NN=699.25' (8" CLAY NW)
NN=698.76' (8" CLAY NNE)
NN=699.83' (8" CLAY E)
NN=698.76' (8" CLAY SSE)
NN=699.53' (8" CLAY SW)
- RM=704.08' (SANITARY)
48" CONCRETE STRUCTURE
NN=696.36' (8" PVC W)
NN=696.36' (8" CLAY NNE/SSW)
- RM=712.16' (SANITARY)
48" CONCRETE STRUCTURE
NN=704.16' (8" CLAY NW,SSW)
NN=703.86' (8" CLAY NNE/SE)



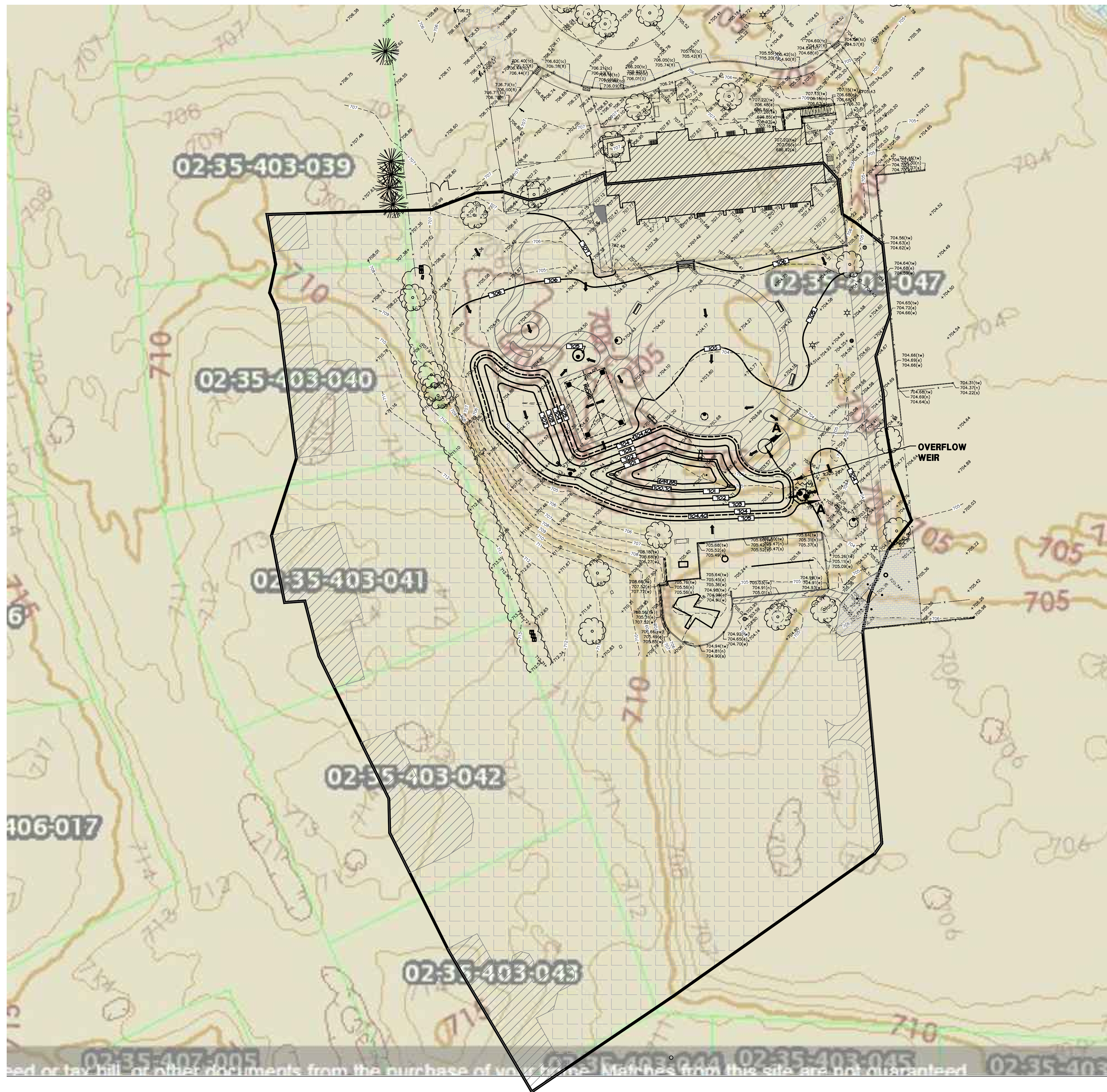
WT-CIVIL JOB# CE17152

W-T CIVIL ENGINEERING, LLC.
CIVIL AND STRUCTURAL ENGINEERING

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HATCH LEGEND

- IMPERVIOUS AREA
- PERVIOUS AREA

EXISTING CONDITIONS

IMPERVIOUS AREA = 0.416 ACRES
 PERVIOUS AREA = 2.673 ACRES
 RUNOFF COEFFICIENT = $[(0.416 \times 0.90) + (2.673 \times 0.45)] / 3.149 = 0.52$

PROPOSED CONDITIONS

IMPERVIOUS AREA = 0.600 ACRES
 PERVIOUS AREA = 2.544 ACRES
 RUNOFF COEFFICIENT = $[(0.600 \times 0.90) + (2.544 \times 0.45)] / 3.149 = 0.54$



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PREPARED FOR
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 Park District**

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PROJECT
**Plum Grove
 Park**

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Issued
 March 8, 2019
 REVISIONS

No	Date	Issue

CHECKED BY: JEB DRAWN BY: DNF/BN

SHEET TITLE
**IMPERVIOUS /
 PERVIOUS AREA
 EXHIBIT**

SCALE IN FEET
 as noted

NORTH SHEET NUMBER
EX-1.0
 ©2018 Hitchcock Design Group

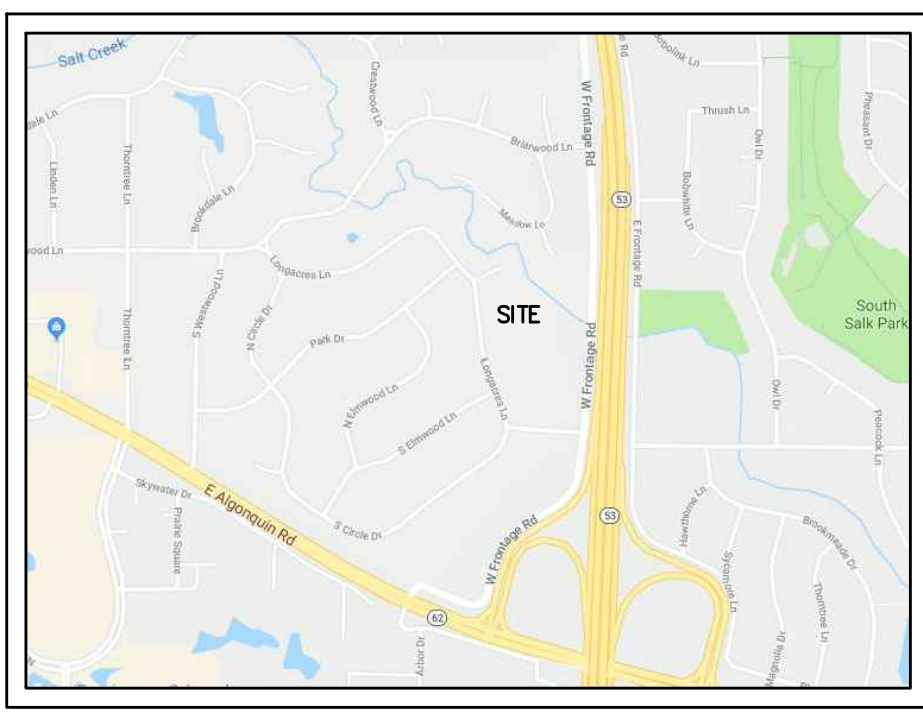
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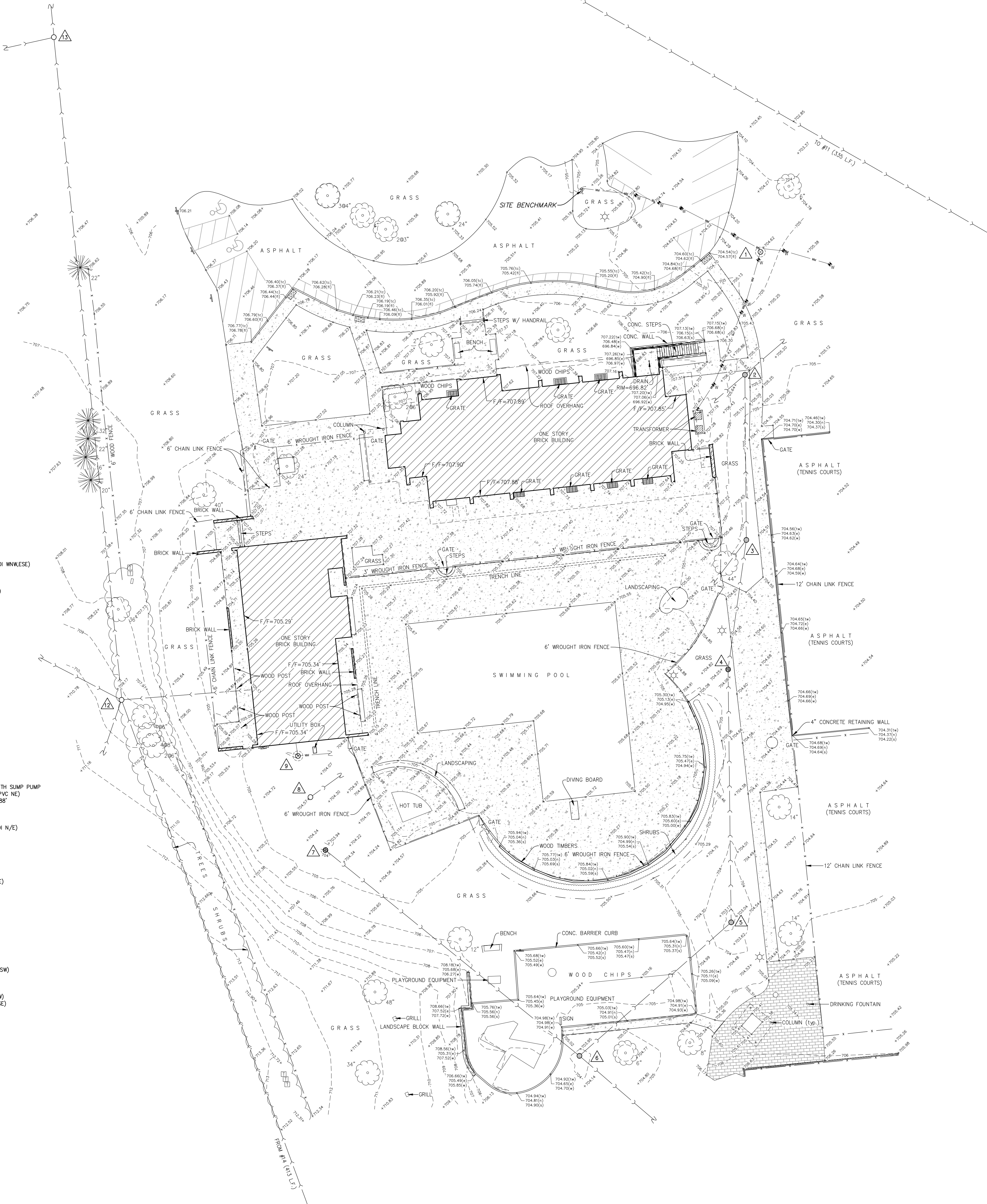
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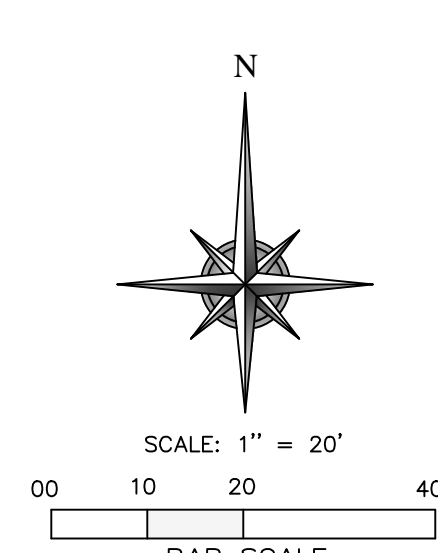
TOPOGRAPHIC SURVEY



LOCATION MAP



- 1 RIM=704.56' (WATER)
48" CONCRETE STRUCTURE
698.25' @ TOP OF PIPE (6" DI WNWSE)
- 2 RIM=705.52' (STORM)
60" CONCRETE STRUCTURE
INV=698.46' (24" CPP NE,SW)
INV=703.22' (2" PVC SSW)
- 3 RIM=704.85' (STORM)
60" CONCRETE STRUCTURE
INV=698.60' (24" CPP N)
INV=698.55' (18" CPP SSW)
INV=700.35' (6" CPP SW)
- 4 RIM=704.33' (STORM)
48" CONCRETE STRUCTURE
INV=698.78' (24" CPP NNE)
INV=698.88' (18" CPP S)
- 5 RIM=702.87' (STORM)
48" CONCRETE STRUCTURE
INV=699.02' (18" CPP N,SW)
- 6 RIM=703.49' (STORM)
48" CONCRETE STRUCTURE
INV=699.27' (12" CPP NW)
INV=699.12' (18" CPP NE)
INV=701.79' (6" PVC SE)
- 7 RIM=704.04' (STORM)
48" CONCRETE STRUCTURE
INV=702.51' (12" CPP SE)
- 8 RIM=704.99' (STORM)
48" CONCRETE STRUCTURE WITH SUMP PUMP
702.54' @ TOP OF PIPE (2" PVC NE)
BOTTOM OF STRUCTURE=692.88'
- 9 RIM=705.01' (WATER)
24" CONCRETE STRUCTURE
701.24' @ TOP OF PIPE (2" DI N/E)
- 10 RIM=704.30' (SANITARY)
48" CONCRETE STRUCTURE
INV=691.33' (8" CLAY NW,SE)
- 11 RIM=703.98' (SANITARY)
48" CONCRETE STRUCTURE
INV=690.38' (8" CLAY NW,SE)
- 12 RIM=709.28' (SANITARY)
48" CONCRETE STRUCTURE
INV=699.28' (8" CLAY WNW)
INV=698.76' (8" CLAY NNE)
INV=698.63' (8" CLAY E)
INV=698.76' (8" CLAY SSE)
INV=699.53' (8" CLAY SW)
- 13 RIM=704.06' (SANITARY)
48" CONCRETE STRUCTURE
INV=696.36' (6" PVC W)
INV=696.36' (8" CLAY NNE,SSW)
- 14 RIM=712.16' (SANITARY)
48" CONCRETE STRUCTURE
INV=704.16' (6" CLAY NW,SSW)
INV=703.86' (8" CLAY NNE,ESE)



- NOTES:**
- SITE BENCHMARK - EAST-NORTHEAST UPPER FLANGE BOLT OF FIRE HYDRANT LOCATED ON THE SOUTH SIDE OF THE EAST PARKING LOT ISLAND (AS SHOWN). ELEVATION=706.57' (NAVD88)
 - THE LOCATION OF UNDERGROUND UTILITIES WAS DETERMINED BY FIELD OBSERVATION AND VISIBLE MARKINGS ONLY.
 - FIELD WORK COMPLETED ON DECEMBER 29TH, 2018
 - SURVEY PREPARED FOR: HITCHCOCK DESIGN GROUP
 - BUILDING DIMENSIONS SHOWN ARE MEASURED FROM THE OUTSIDE FACE OF THE BUILDING.
 - BASIS OF BEARINGS IS TRUE NORTH BASED ON ILLINOIS STATE PLANE COORDINATE SYSTEM, ILLINOIS EAST 1201 ZONE.
 - ANY DISCREPANCIES FOUND WITHIN THIS DOCUMENT NEED TO BE REPORTED TO THE SURVEYOR AS SOON AS POSSIBLE.

STATE OF ILLINOIS)
) SS
COUNTY OF COOK)

WE THE W-T GROUP DO HEREBY DECLARE THAT THIS TOPOGRAPHIC SURVEY WAS MADE UNDER OUR DIRECTION AND SUPERVISION. THIS PROFESSIONAL SERVICE CONFORMS TO THE CURRENT ILLINOIS MINIMUM STANDARDS FOR TOPOGRAPHIC SURVEYS.

GIVEN UNDER OUR HAND AND SEAL THIS 9TH DAY OF JANUARY A.D. 2018 AT HOFFMAN ESTATES, ILLINOIS.

THE W-T GROUP, LLC

Franjo I. Matijic
FRANJO I. MATIJIC PLS #035-003556 EXPIRES 11/30/2018
ILLINOIS PROFESSIONAL DESIGN FIRM LICENSE NO. 184.007570-0015

LEGEND			
---	PROPERTY LINE	○	UTILITY POLE
---	CENTER LINE	○	TELEPHONE MANHOLE
---	EASEMENT LINE	○	FLARED END SECTION
---	BUILDING SETBACK	○	CLOSED MANHOLE
---	RECORD DATA	○	OPEN GRATE MANHOLE
---	SPOT GRADE	○	BEEHIVE GRATE MANHOLE
---	CONCRETE	○	GUTTER FRAME MANHOLE
---	EVERGREEN/DECIDUOUS	○	VALVE VAULT
---	SHRUB/SHRUB LINE	○	FIRE HYDRANT
---	MONITOR WELL	○	B-BOX / SERVICE VALVE
---	GAS VALVE	○	POST LIGHT/GROUND LIGHT
---	UTILITY MARKINGS	○	AREA LIGHT/LIGHT POLE
---	MAILBOX	○	STREET LIGHT
---		○	TRAFFIC SIGNAL
---		○	MAST ARM SIGNAL
---		○	HANDHOLE (electric/traffic)
---		○	GAS METER
---		○	ELECTRIC METER
---		○	PEDESTAL (telco,elec,cable)
---		○	SOIL BORING
---		○	PARKING METER
---		○	GUARDRAIL
---		○	GUY WIRE ANCHOR
---		○	CONTOUR LINE
---		○	TREE LINE / HEDGE LINE
---		○	EDGE GRAVEL/STONE
---		○	FENCE LINE
---		○	STORM SEWER
---		○	SANITARY SEWER
---		○	COMBO SEWER
---		○	WATER SERVICE LINE
---		○	WATER MAIN
---		○	OVERHEAD LINE
---		○	FIBER OPTIC LINE
---		○	GAS LINE
---		○	U.S. TELCO LINE
---		○	U.G. ELECTRIC LINE

JOB : S17301	SCALE : 1"=20'	TOPOGRAPHIC SURVEY PLUM GROVE PARK ROLLING MEADOWS PARK DISTRICT 4001 PARK DRIVE PALATINE, ILLINOIS	W-T LAND SURVEYING LAND AND CONSTRUCTION SURVEYORS 2675 Pratum Avenue Hoffman Estates, Illinois 60132 PH: (224) 293-6333 FAX: (224) 293-6444 www.wtengineering.com IL LICENSE NO: 184.007570-0015 EXP: 04/30/19 COPYRIGHT © 2017 THE W-T GROUP, LLC	REVISIONS	DATE	BY
SHEET	DRAWN : REM					
S-1	BOUNDARY : N/A					
OF ONE SHEETS	FIELD WORK : MS/BA CHECK : FIM					







