Friendship Park

04/20/2023

by Matt Dziubinski in Member District ADA Project id. 36413149 Request

1000 W. Central Rd Mount Prospect, Illinois 60056 United States 8479566773 mdziubinski@mppd.org

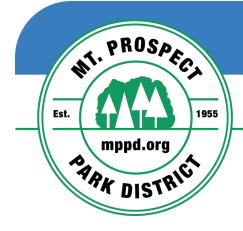
Original Submission

Title

Name Matt Dziubinski Job Title **Director of Parks & Planning F-mail Address** mdziubinski@mppd.org Phone Number 8479566773 Park District Mt. Prospect **Project Location Friendship Park Project Status** Addition New Alteration **Recreation Facilities and Amenities Project Type Routes and Surfaces Plumbing Elements and Facilities** Communications Communications-**Engineers- Consultants** select a Project Category below: **Fountains Plumbing Elements** and Facilities-select a Project Category below: Recreation Facilities Exercise Machines- Equipment and Amenities- select Benches- Picnic Tables a Project Category below:

05/09/2023

Routes and Surfaces- select a Project Category below:	Accessible Routes- Means of Egress Parking Spots Sidewalks Walking Surfaces Play Surfaces		
Benefits of the Project	This project will provide those with accessibility challenges the same access to recreational opportunities.		
Items that willFitness station, shade structure at the playground, looped pathway seating areas around pathway, improved accessibility to tennis and new pickleball courts, improved parking, and a outdoor drinking fountain.			
The project is designed or constructed, or applies humanThe 2010 Standards for Accessible Design ASTM Standard for Accessible Exercise Equipment ASTM F 1951 Standard for Accessible Playground Surfaces Agency's ADA Transition Planwith:With:			
Upload Project Relate	ed Files, Photos, Videos or Audio		
Drinking_Fountain.p	odf		
Fitness_Equipment	pdf		
Geometry_Plans.pd	f		
Keystone_Ridge_Pu	Illman_Bench.pdf		
Shelter.pdf			
Fitness_Updated_2	3_02_10.pdf		
TS-SQ24-04.pdf			
DOC050823-050820			
Friendship_Park_Redevelopment_Phase_1_NWSRA_5_1_2023_FINAL_MD.pdf			
Budget Table for ADA Related Expenses			
Budget Table.xlsx			
ADA Dollars Requested	363158.5		
Notes related to requested amount	Thank you, Matt.		



May 1, 2023

Ms. Tracey Crawford, CTRS, CPRP Executive Director Northwest Special Recreation Association 3000 Central Rd. - Suite 205 Rolling Meadows, IL 60008

Re: ADA Improvements- Rosemary S. Argus Friendship Park Redevelopment Phase #1

Dear Tracey,

The Mt. Prospect Park District hereby notifies and requests approval of the NWSRA Board of Directors for the proposed expenditures of funds from the Park District's Special Recreation levy to pay for the following improvements at Rosemary S. Argus Friendship Park. Friendship Park is a community park located on the southeast side of the Park District. The funds will be used for general park construction and paid to a contractor.

• Request reimbursement for 50% of the cost of labor to install new outdoor fitness equipment. The cost of the labor is \$10,000. We request authorization for the Park District to use ADA funds in the amount of **\$5,000**.

• Request reimbursement for 100% of the cost of 1,000 sf of surfacing. The surface shall meet the current ADA Standards (2010) and Accessibility as determined in Chapter 2 Scoping Requirements 206.2.2 Accessible Route, Chapter 3 Building Blocks 305.2 Floor and Ground Surfaces. We request authorization for the Park District to use ADA funds in the amount of **\$12,000**.

• Request reimbursement for 50% of the cost of new fitness equipment. The cost of the new fitness equipment is \$20,453. The proposed fitness station meets and exceeds current ADA Standards (2010). The fitness station accessibility is as determined in Chapter 10 Recreation Facilities 1008 Play Areas and ASTM 3101-21a Standard Specification for Unsupervised Public Use Outdoor Fitness Equipment. We request authorization for the Park District to use ADA funds in the amount of **\$10,226.50**.

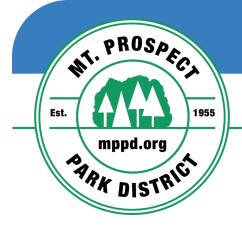
• Request reimbursement for 5' of concrete pathway width and clear table floor space which is about 66% of 5400 sf of concrete walk. The cost of the concrete walk is \$72,000. The concrete walks shall meet the current ADA Standards (2010) and Accessibility as determined in Chapter 2 Scoping Requirements 206.2.2 Accessible Route within a site Chapter 4 Accessible Routes 403 Walking Surfaces. We request authorization for the Park District to use ADA funds in the amount of **\$47,520**.

• Request reimbursement for 50% of cost of an ADA picnic table and 2 ADA benches. The cost of four installed picnic tables is \$10,000 and the cost of 4 ADA benches is \$7,200. The ADA picnic table and benches shall meet the current ADA Standards (2010) and Accessibility as determined in Chapter 2 Scoping Requirements 226 Dining Surfaces and in Chapter 9 Built in Elements 902 Dining Surfaces. We request authorization for the Park District to use ADA funds in the amount of **\$8,600**.

Central Community Center	RecPlex	Lions Recreation Center	Friendship Park Conservatory	Mt. Prospect Golf Club
1000 W. Central Rd.	420 W. Dempster St.	411 S. Maple St.	395 W. Algonquin Rd.	600 See-Gwun Ave.
Mount Prospect, IL 60056	Mount Prospect, IL 60056	Mount Prospect, IL 60056	Des Plaines, IL 60018	Mount Prospect, IL 60056
847-255-5380	847-640-1000	847-632-9333	847-298-3500	847-259-4200

Our Mission:

To provide exceptional parks and recreation experiences that enrich the quality of life for present and future generations



• Request reimbursement for 5' of pathway width and 4,664 lineal feet of new path or refurbished path. We are adding 48,600 sf of asphalt paving for a paving total of \$218,700. The asphalt shall meet the current ADA Standards (2010) and Accessibility as determined in Chapter 2 Scoping Requirements 206.2.2 Accessible Route within a site Chapter 4 Accessible Routes 402 accessible Routes 403 Walking Surfaces including 403.5.3 Passing Space. We request authorization for the Park District to use ADA funds in the amount of **\$144,342**.

• Request 100% reimbursement for clear floor space at 4 new benches and 15 existing benches. The cost for each bench pad is \$1,100. The bench pads shall meet current ADA Standards (2010) and Accessibility as determined in Chapter 9 Built In Elements 903.2 Clear Floor Space or Ground Space for Benches. We request authorization for the Park District to use ADA funds in the amount of **\$20,900**.

• Request reimbursement for the cost of parking lot asphalt paving, painting and handicap signage of 5 handicap spaces or 2,400 sf. of asphalt paving. We request authorization of \$17,000 for asphalt paving and striping and \$1,500 for signage for the handicap parking and accessible route. This work shall meet the 2018 Illinois Accessibility Code Chapter 5 Section 502 Parking Spaces. We request authorization for the Park District to use ADA funds in the amount of **\$18,500**.

• Request 50% reimbursement for funding of new accessible pickleball courts where there currently are none. We request authorization of the installed court cost and access gates (excluding drainage, demolition and fencing and work outside of the courts) to provide access to pickleball for players with a disability. The cost for this work is \$70,600. We request authorization for the Park District to use ADA funds in the amount of **\$35,300**.

• Request 20% reimbursement for funding of a new shade shelter near the playground where one currently does not exist. The installed cost for the shelter is \$52,00.00 We request authorization for the Park District to use ADA funds in the amount of **\$10,400**.

• Request 100% reimbursement for funding of an accessible and ADA compliant wall drinking fountain with bottle filler. The installed cost of the drinking fountain is \$18,000. The drinking fountain will meet or exceed the ADA Standard as in section 602 "Drinking Fountains." We request authorization for the Park District to use ADA funds in the amount of **\$18,000**.

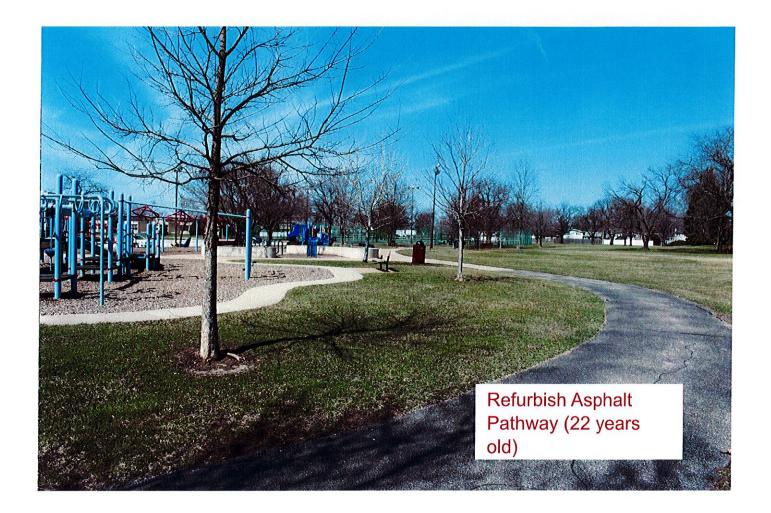
• Request reimbursement for funding of a portion of Consulting/Engineering Fees (Eriksson Engineering). The design work attributable to the Accessibility Fund is 39% of \$83,000. We request authorization for the Park District to use ADA funds in the amount of **\$32,370**.

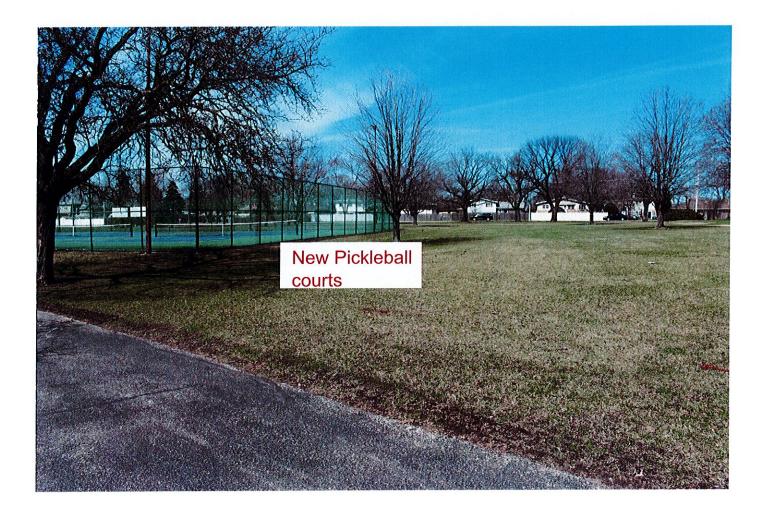
We request authorization by the NWSRA for the Park District to use ADA funds for a combined total of **\$363,158.50** for accessibility improvements made as part of the Rosemary S. Argus. The total cost of work for Rosemary S. Argus Friendship Park phase #1 redevelopment is \$1,161,513.

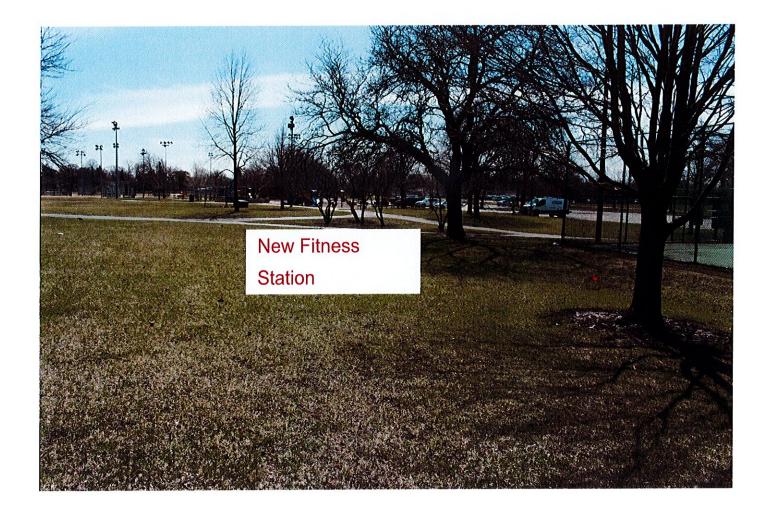
If you have any questions or require additional information, please do not hesitate to contact me at (847) 956-6773 ext. 460 or mdziubinski@mppd.org. Thank you for your consideration.

Sincerely, Matt Dziubinski Director of Parks & Planning

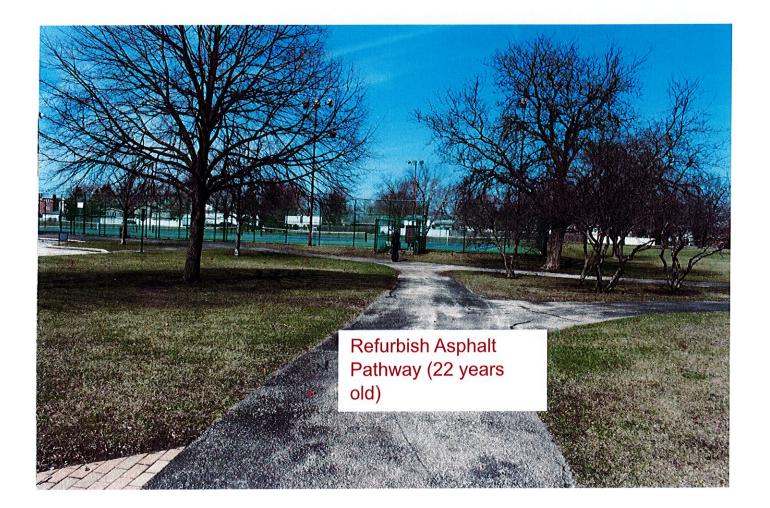
CC: Jim Jarog, Executive Director

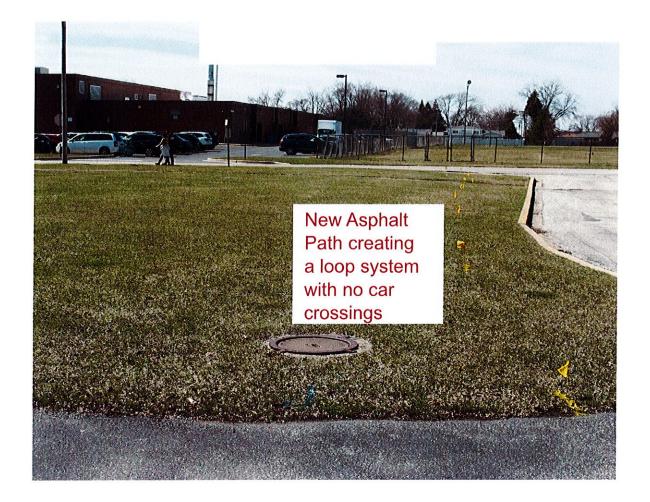


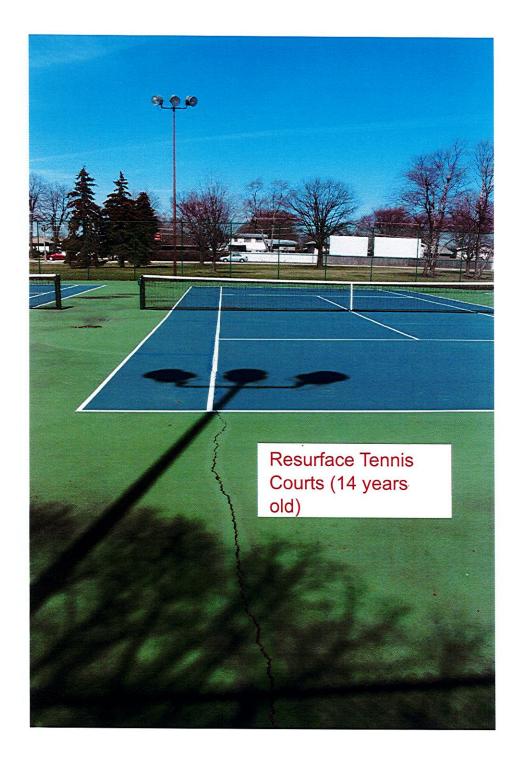


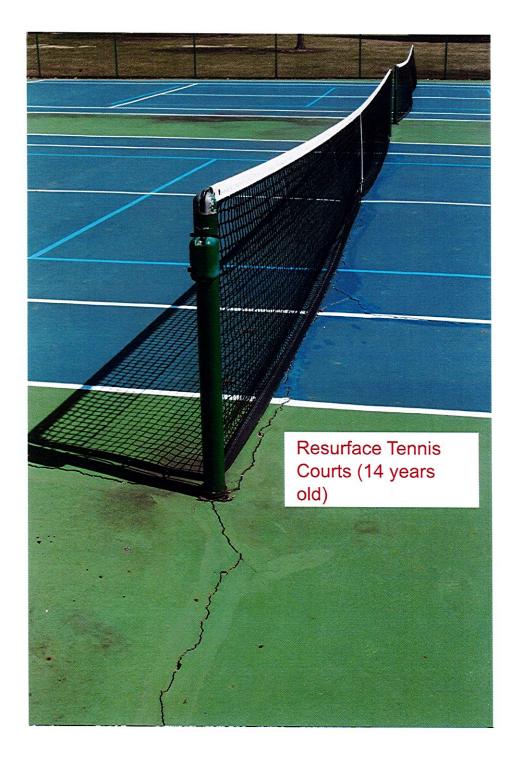


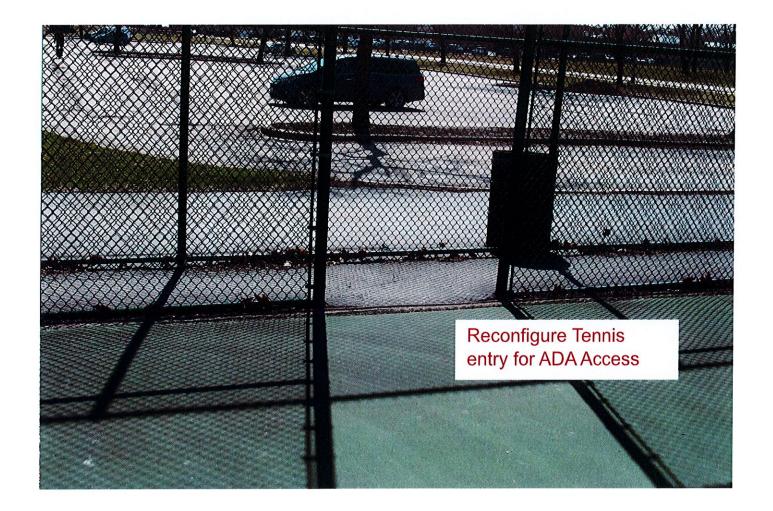


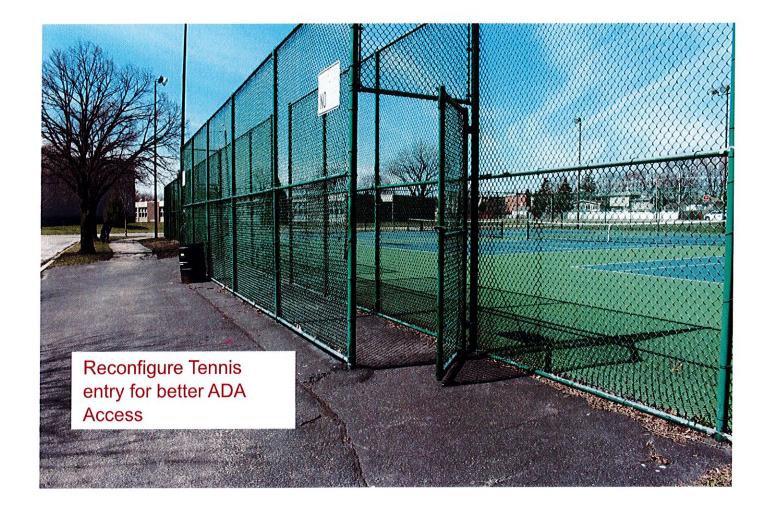


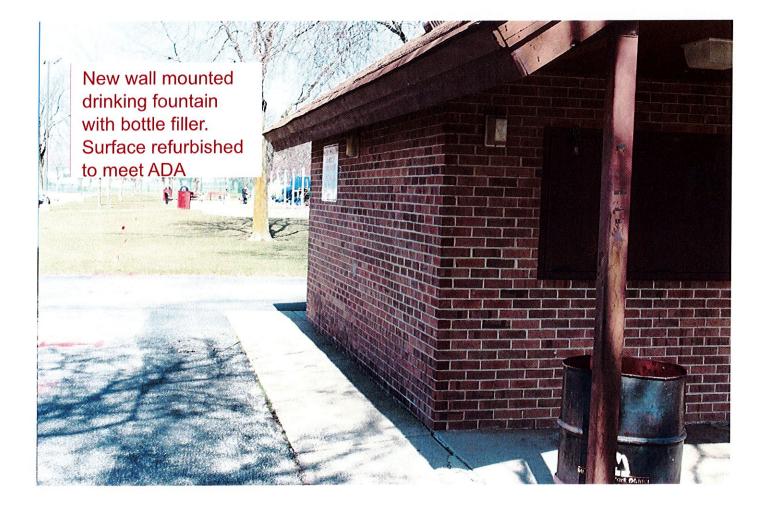


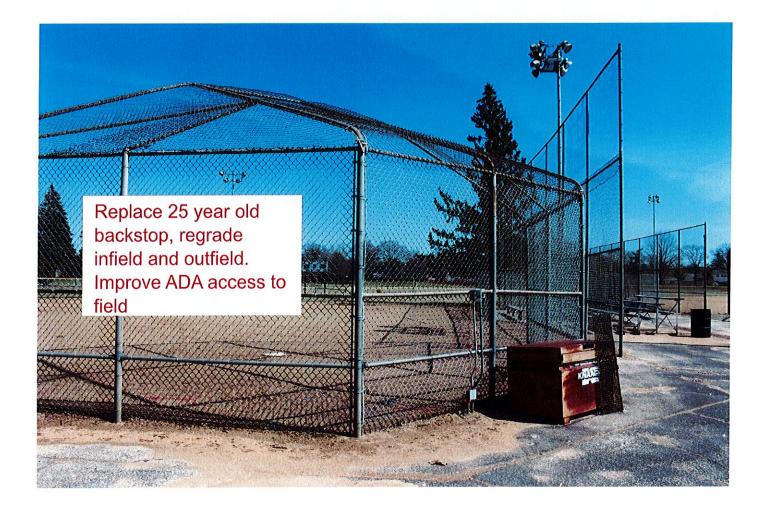


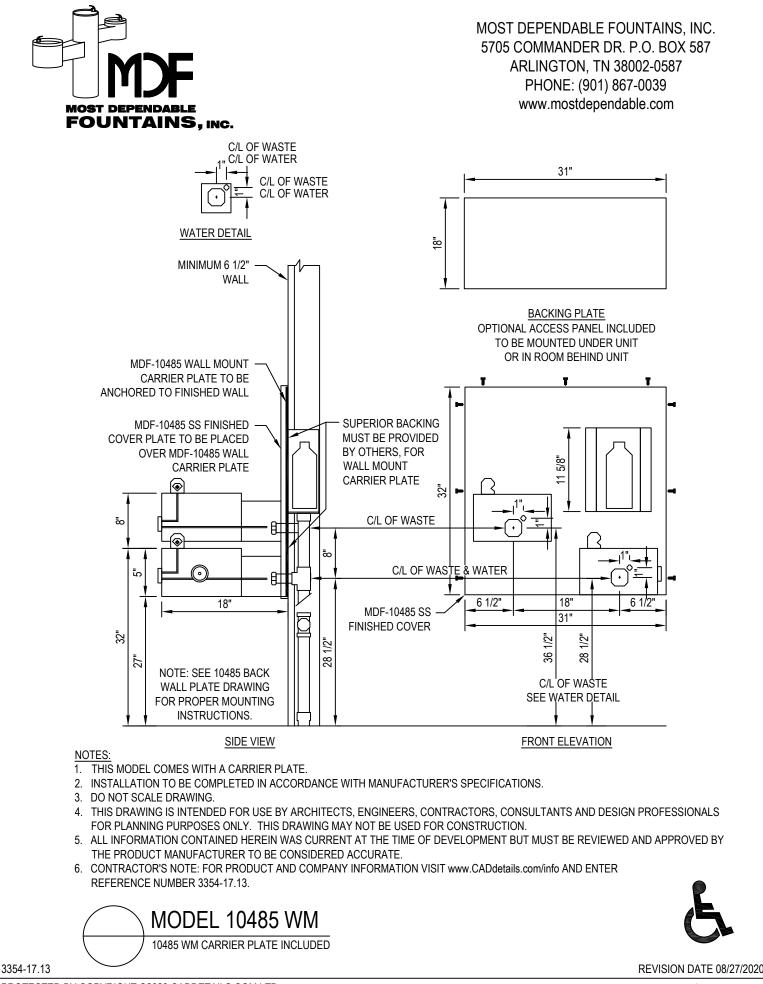












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February 10, 2023

FRIENDSHIP PARK MT. PROSPECT, IL OPTION 3 FREESTANDING COMPONENTS

<u>QTY.</u>	<u>NO.</u>	DESCRIPTION UNIT PRICE	P	RICE
		13+ Outdoor Fitness Stations		
1	192451B	Ab Crunch/Leg Lift 2"SM	\$	2,174
1	192454B	Balance Steps 2"SM		2,956
1	192456B	Chest/Back Press 2"SM		6,746
1	192461B	Squat press 2"SM		6,746
1	205945B	Steel Post w/2 and 1T Attachments 2"SM		1,255
1	205946B	Steel Post w/2 and 2 Attachments 2"SM		1,255
1	206894A	HealthBeat Epoxy		-

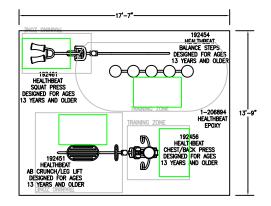
Equipment Subtotal	\$ 21,131
Shipping Costs	 1,013
Equipment Total	\$ 22,144

**Note: Due to the volatile cost of raw materials, supply chain and labor shortages, prices and lead times can change without notice. Unfortunately, we cannot guarantee or hold prices quoted at this time.

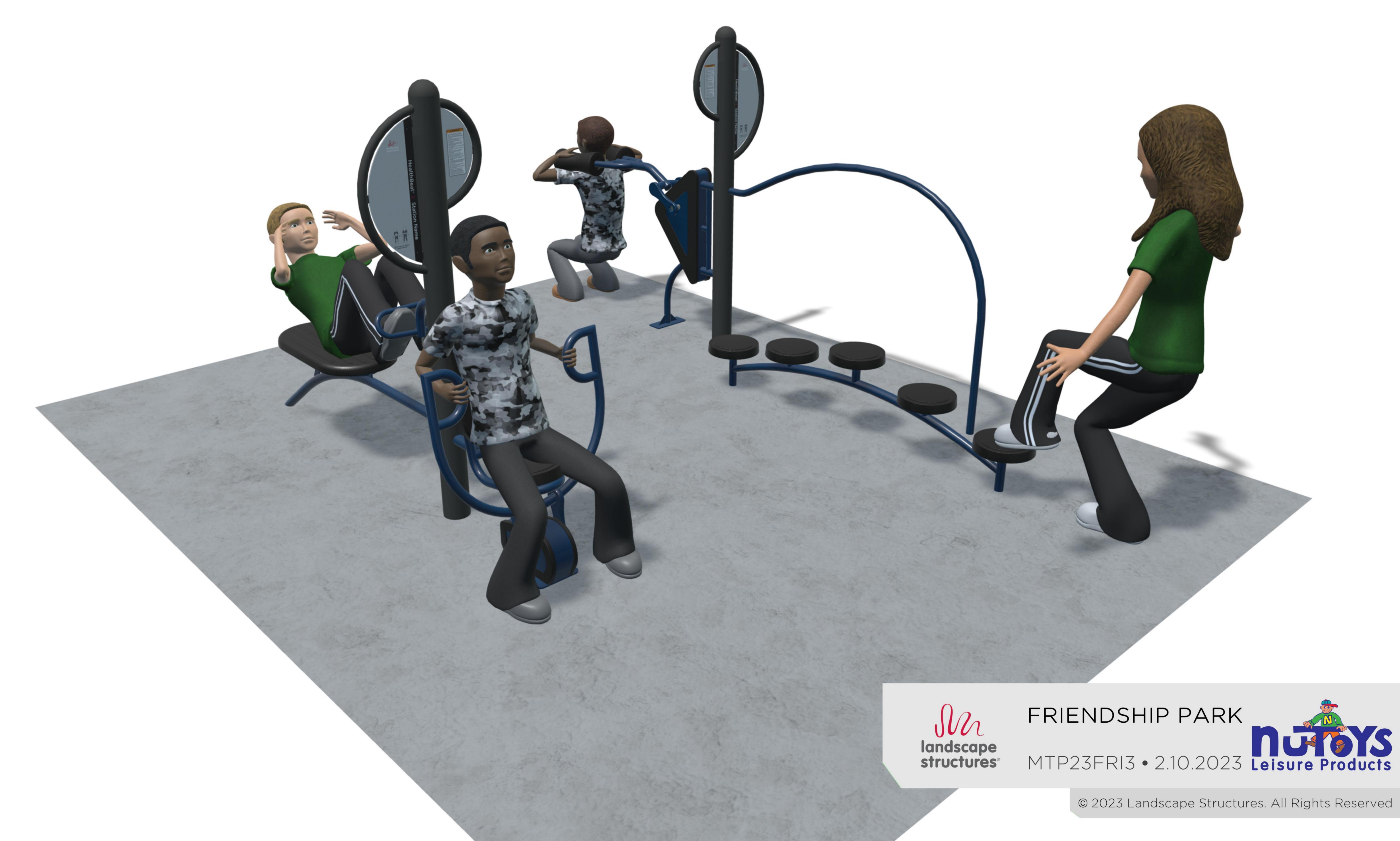


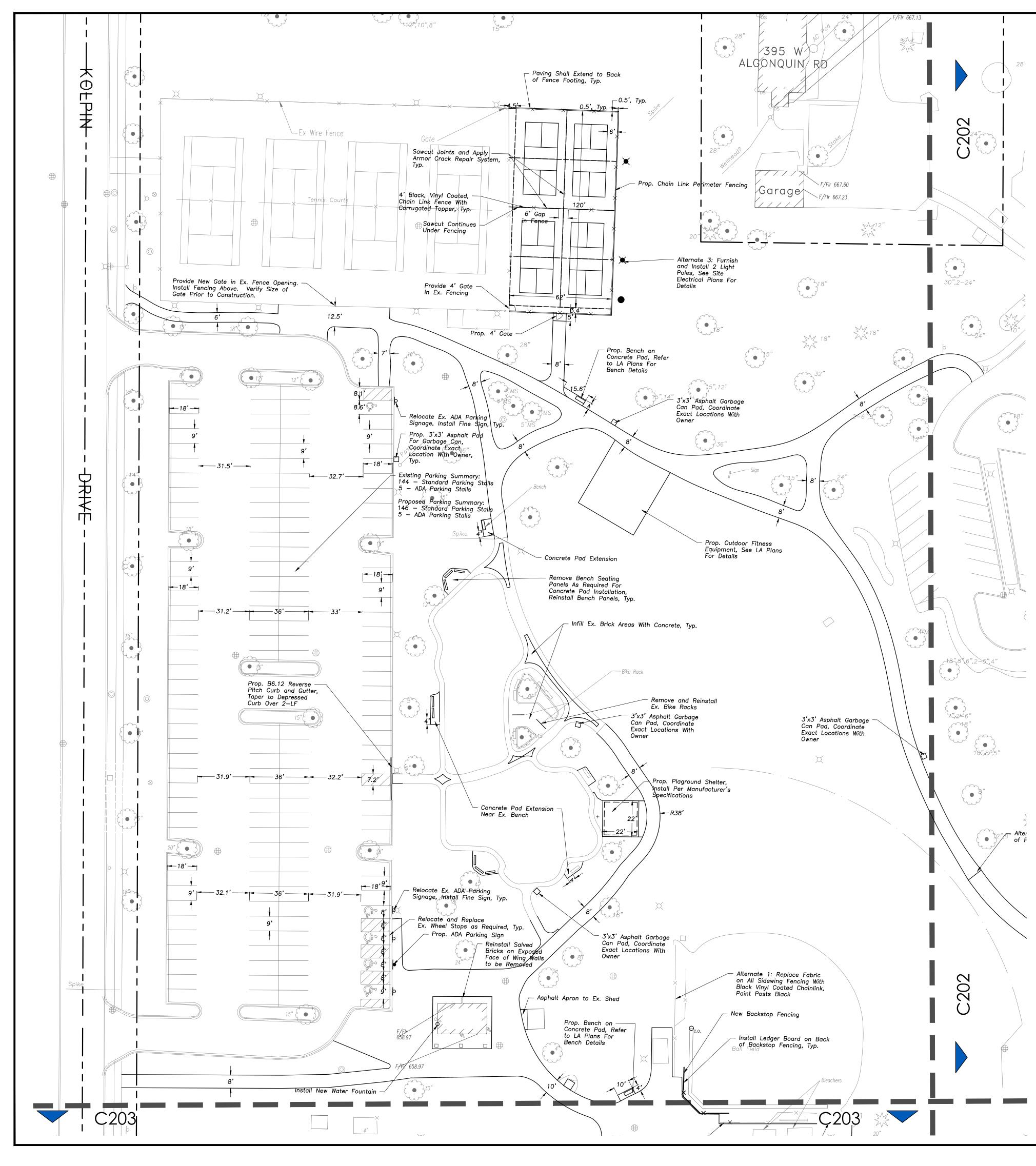


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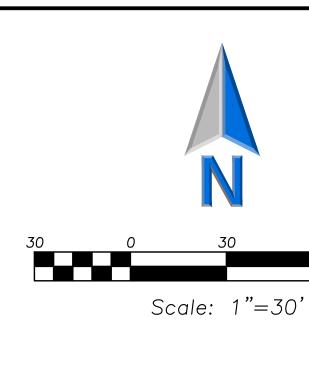








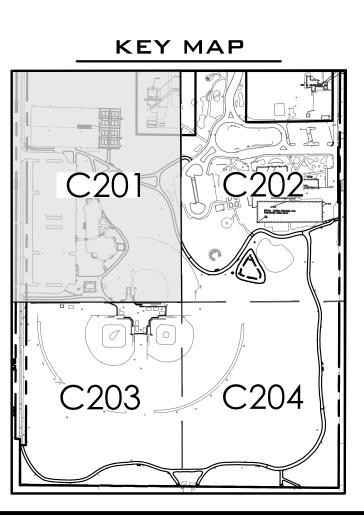
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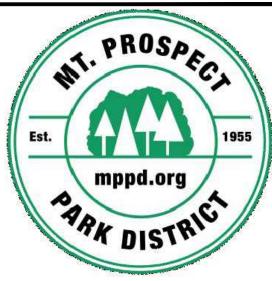


GEOMETRY NOTES

- 1. All Dimensions Contained Herein Reference Back Of Curb, Face Of Retaining Wall, Edge Of Pavement, Center of Structure And Outside Face Of Building Foundation Unless Otherwise Noted.
- All Pavement Striping Shall Be 4" Wide Yellow Paint Per Specifications, Two Coats for Latex Paints. All Cross Hatch Striping Shall Be 45° At 2'-0" Centers.
- Center of the Space and Within 5 Feet of the Space. 4. Traffic Sign Posts Shall Be Breakaway Green U-Channel Posts, 2-lb/ft, 11 Gauge Steel, Embedded 42" Minimum Into Ground.
- 5. Proposed Improvements Are Not Be Installed Within 6' of Existing Vertical Improvements, Including Fencing and Light Poles. Notify Engineer and Owner If Conflict Exists.

Schedule Note: No Work Shall Start or Parking and Pathway Access Must Remain Open Until July 5.





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x 784.0

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3. All Accessible Parking Signs (R7-8) Must Be Placed at the

Manhole Catch Basin Inlet Area Drain Clean Out Flared End Section Storm Sewer Sanitary Sewer Combined Sewer \longrightarrow _____W_____ Water Main _____ G _____ Gas Line _____OH_____ Overhead Wires Electrical Cable (Buried) _____ F _____ _____ T _____ Telephone Line Fire Hydrant Valve Vault Buffalo Box Downspout Bollard Gas Valve Gas Meter Electric Meter ComEd Manhole Hand Hole Light Pole Light Pole w/ Mast Arm Utility Pole Telephone Pedestal Telephone Manhole Sigr Fence Accessible Parking Stall Curb & Gutter Depressed Curb Curb Elevation × C 782.50 x G 782.00 Gutter Elevation x P 783.25 Pavement Elevation × W 782.10 Sidewalk Elevation Ground Elevation Top of Retaining Wall × T/W 785.20 Elevation •• -----Swale Contour Line Deciduous Tree ` **●** ` Coniferous Tree > Yxy $\frown \frown \frown \frown \frown$ Brushline

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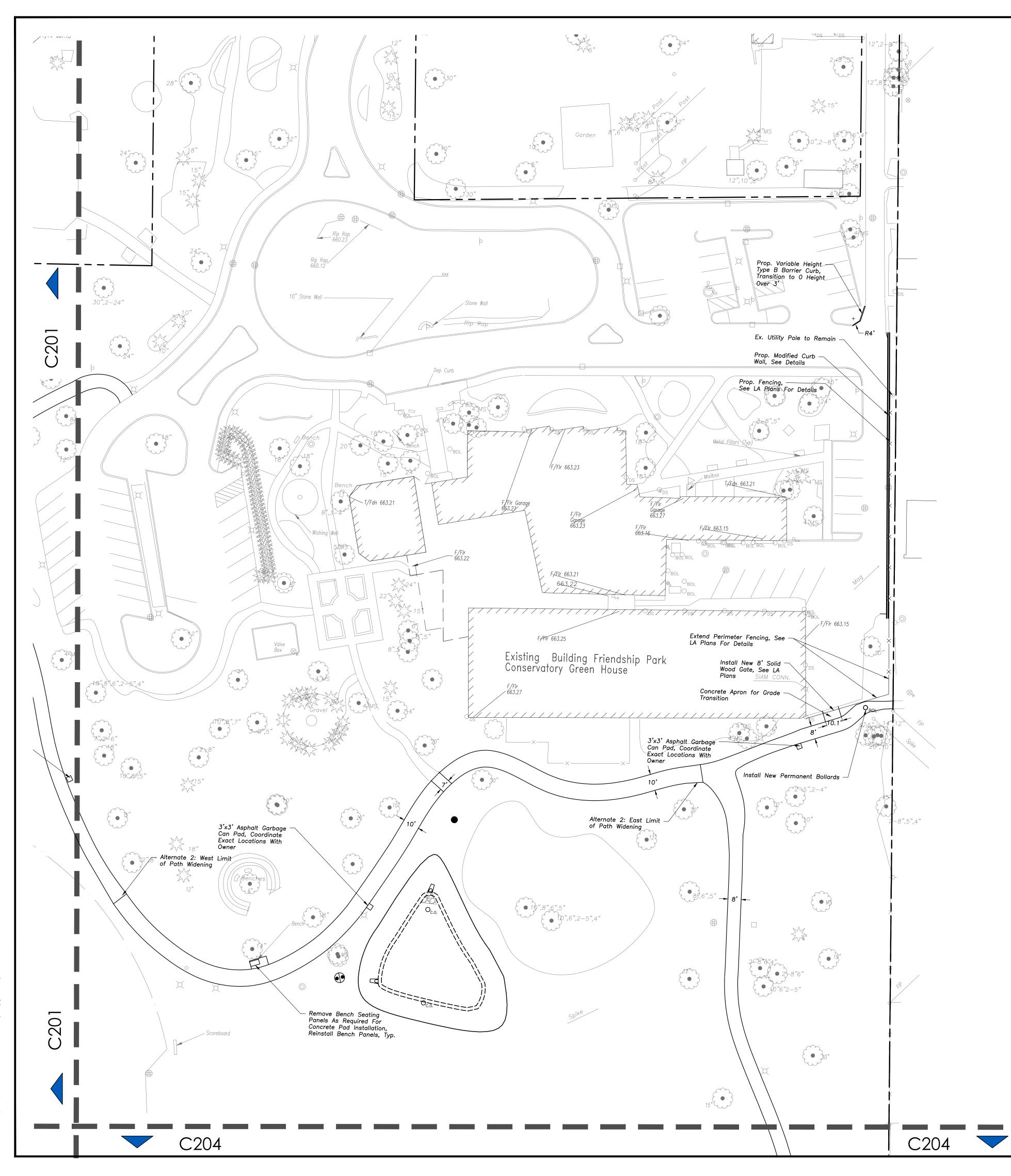
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GENERAL NOTES

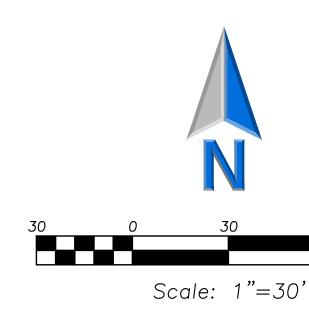
Tree Protection

- 1. The Location of Existing Underground Utilities, Such As Watermains, Sewers, Gas Lines, Etc., As Shown On The Plans, Has Been Determined From The Best Available Information and Is Given For The Convenience of The Contractor. However, The Owner and The Engineer Do Not Assume Responsibility In The Event That During Construction, Utilities Other Than Those Shown May Be Encountered, and That The Actual Location of Those Which Are Shown May Be Different From The Location As Shown On The Drawings. Contact Engineer Immediately If Surface and/or Subsurface Features Are Different Than Shown On The Drawings.
- Notify The Engineer Without Delay of Any Discrepancies Between the Drawings and Existing Field Conditions.
- 3. Contractor Shall Provide Private Utility Locating Services for the Project Area.
- 4. Notify The Owner, Engineer and The City of Des Plaines A Minimum of 48 Hours In Advance of Performing Any Work.
- 5. All Areas, On or Off Site, Disturbed During Construction Operations and Not Part of the Work As Shown Hereon Shall Be Restored To Original Condition to the Satisfaction of the Owner at No Additional Cost to the Owner. It is Incumbent Upon Contractor to Show That Damaged Areas Were Not Disturbed By Construction Operations.
- 6. These Drawings Assume That The Contractor Will Utilize An Electronic Drawing File (DWG) to Stake All Site Improvements Accordingly. Contractor Shall Re-Establish Horizontal Control. Horizontal Control Points Not Provided.
- 7. No Person May Utilize The Information Contained Within These Drawings Without Written Approval From Eriksson Engineering Associates, Ltd.
- 8. The Engineer Is Furnishing These Drawings For Construction Purposes As A Convenience To The Owner, Surveyor, or Contractor. Prior To The Use Of These Drawings For Construction Purposes, The User Of This Media Shall Verify All Dimensions And Locations Of Buildings and Structures With The Drawings And Site Plan, and Coordinate All Dimensions and Locations of All Site Items. If Conflicts Exist The User Of This Information Shall Contact The Engineer Immediately.
- 9. Provide An As-built Survey Prepared By A Licensed Professional Land Surveyor In Accordance With The Authorities Having Jurisdiction Which Shall Include As a Minimum All Detention Basins and Best Management Practices, Include All Storm and Sanitary Sewers, Structure Locations, Sizes, Rim and Invert Elevations, Final Detention Volume Calculations For The Basin(s), Watermain and Valve and Appurtenance Locations.
- 10. The Illinois Department Of Transportation Standard Specifications For Road And Bridge Construction Latest Edition, And All Addenda Thereto, Shall Govern The Earthwork And Paving Work Under This Contract Unless Noted Otherwise.

13	ERIKSSON ERIKSSON ENGINEERING ASSOCIATES, LUIT FASSOCIATES, LUIT F
	MT. PROSPECT PARK DISTRICT ROSEMARY S. ARGUS FRIENDSHIP PARK IMPROVEMENTS 395 W ALGONQUIN ROAD DES PLAINES, ILLINOIS
R	EXPIRATION DATE:
N	Date Description 02/14/23 ISSUE FOR BID
	ERIKSSON ENGINEERING ASSOCIATES, LTD., 2023 PLAN & DESIGN ARE THE PROPERTY OF ERIKSSON ENGINEERING ASSOCIATES, LTD. EPERODUCTION OF ANY PART OF THESE PLANS IS PERMITTED WITHOUT THE WRITTEN EART OF ERIKSSON ENGINEERING ASSOCIATES, LTD. ign By: Approved By: JG BJA 11/01/22
S	BJA TTYOT722 eet Title: SITE GEOMETRY PLAN - NW
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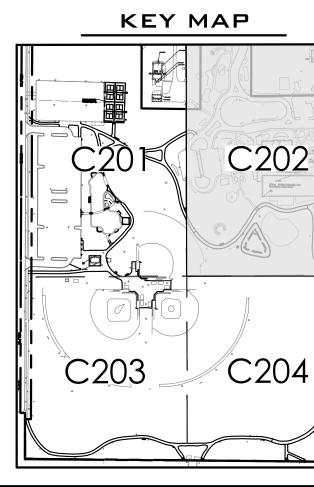
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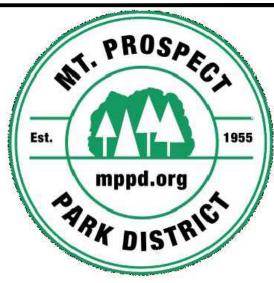


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0, \Box _____)____ _____ **`____** _____w____ _____G_____ ——ОН——— ——Е—— —____T ____ 凤 \bigcirc Ζ O_{DS} Ο $\mathsf{O}_{\mathsf{BOL}}$ ()Ц S \bigcirc -0-()ſſ \cap x-----x-----> (5) _____ C 782.50 G 782.00

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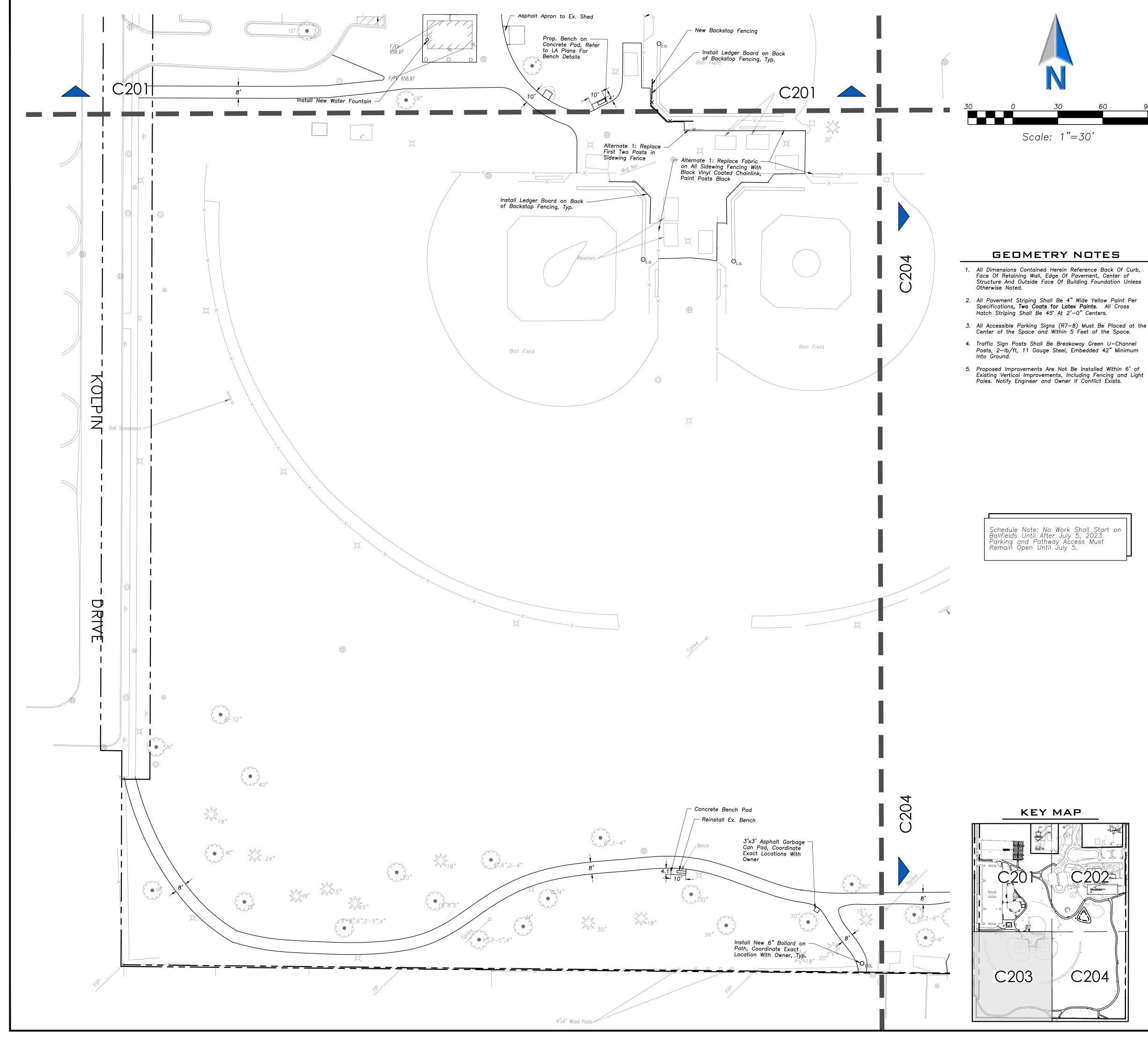
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GENERAL NOTES

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No.	Date 02/14/23	Descripti	ion	
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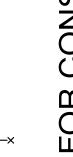


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)	Storm Sewer	>
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W	Water Main	w
G	Gas Line	G
OH	Overhead Wires	——он——
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x G 782.00	Gutter Elevation	G 782.00
x P 783.25	Pavement Elevation	<u>P 783.25</u>
× W 782.10	Sidewalk Elevation	<u>W 782.10</u>
× 784.0	Ground Elevation	_x 784.0
× T/W 785.20	Top of Retaining Wall Elevation	
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	Tree Protection	





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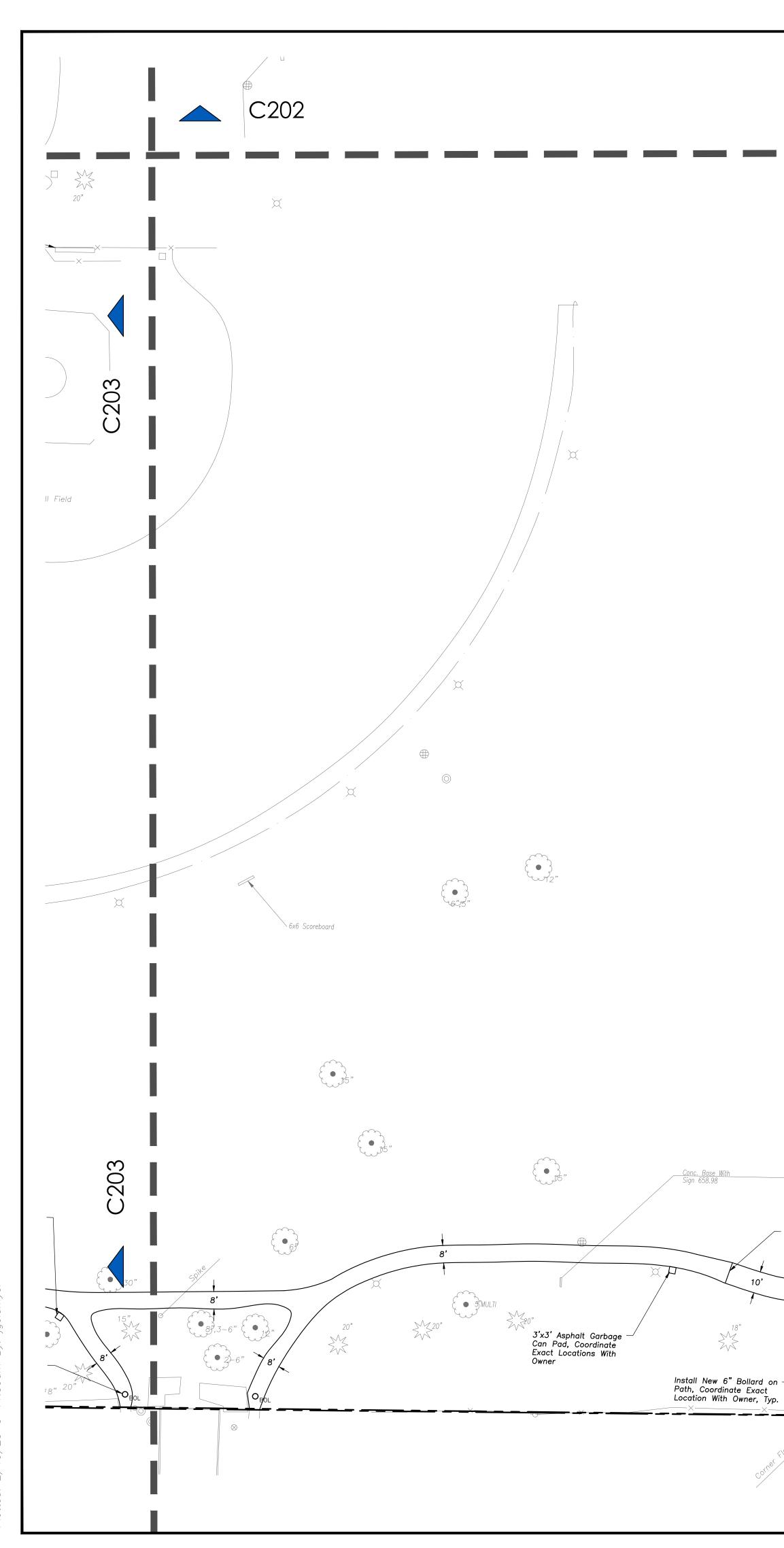


GENERAL NOTES

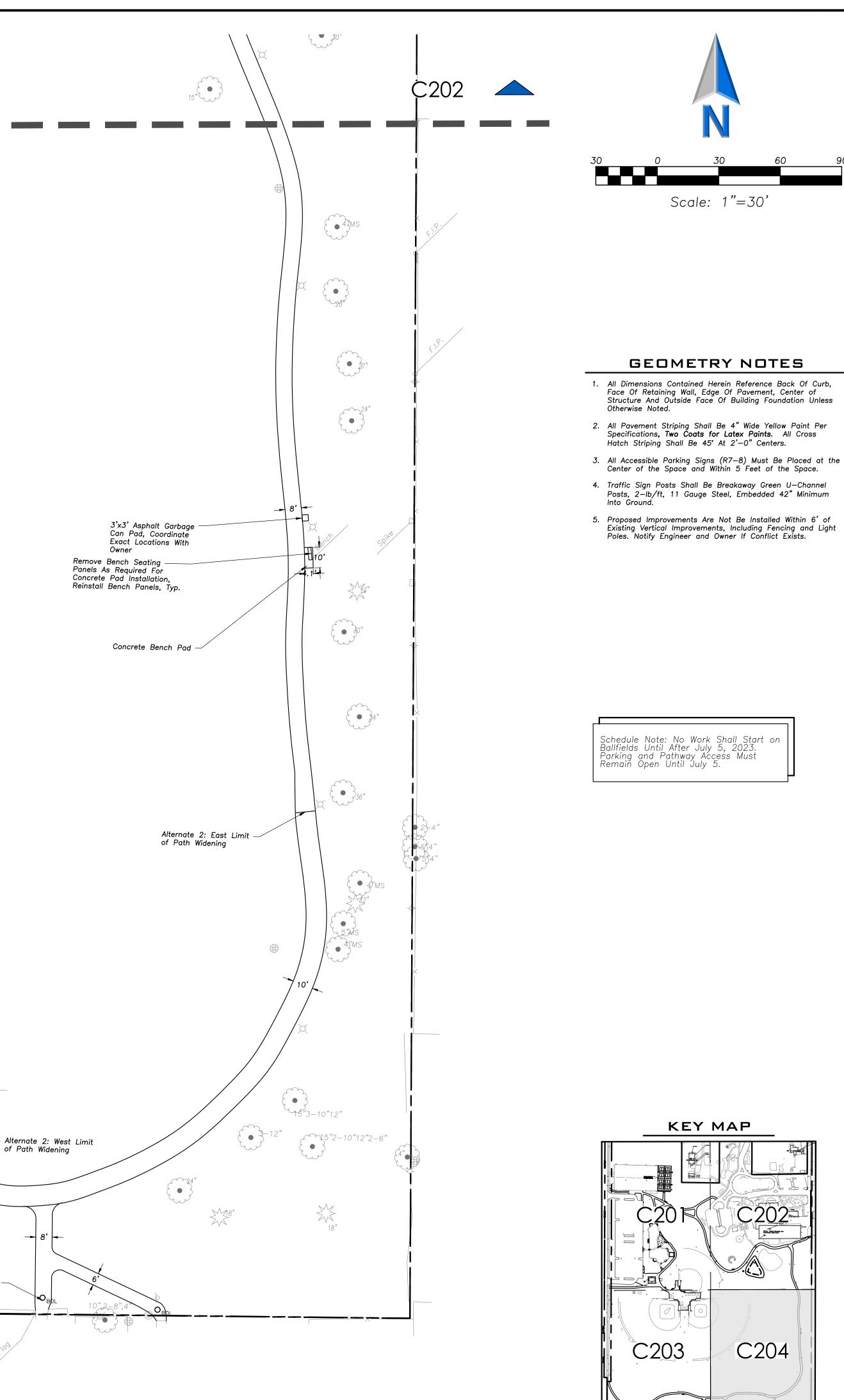
Tree Protection

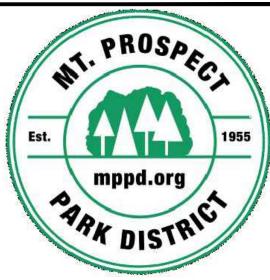
- 1. The Location of Existing Underground Utilities, Such As Watermains, Sewers, Gas Lines, Etc., As Shown On The Plans, Has Been Determined From The Best Available Information and Is Given For The Convenience of The Contractor. However, The Owner and The Engineer Do Not Assume Responsibility In The Event That During Construction, Utilities Other Than Those Shown May Be Encountered, and That The Actual Location of Those Which Are Shown May Be Different From The Location As Shown On The Drawings. Contact Engineer Immediately If Surface and/or Subsurface Features Are Different Than Shown On The Drawings.
- Notify The Engineer Without Delay of Any Discrepancies Between the Drawings and Existing Field Conditions.
- 3. Contractor Shall Provide Private Utility Locating Services for the Project Area.
- 4. Notify The Owner, Engineer and The Village of Des Plaines A Minimum of 48 Hours In Advance of Performing Any Work.
- 5. All Areas, On or Off Site, Disturbed During Construction Operations and Not Part of the Work As Shown Hereon Shall Be Restored To Original Condition to the Satisfaction of the Owner at No Additional Cost to the Owner. It is Incumbent Upon Contractor to Show That Damaged Areas Were Not Disturbed By Construction Operations.
- 6. These Drawings Assume That The Contractor Will Utilize An Electronic Drawing File (DWG) to Stake All Site Improvements Accordingly. Contractor Shall Re-Establish Horizontal Control. Horizontal Control Points Not Provided.
- 7. No Person May Utilize The Information Contained Within These Drawings Without Written Approval From Eriksson Engineering Associates, Ltd.
- 8. The Engineer Is Furnishing These Drawings For Construction Purposes As A Convenience To The Owner, Surveyor, or Contractor. Prior To The Use Of These Drawings For Construction Purposes, The User Of This Media Shall Verify All Dimensions And Locations Of Buildings and Structures With The Drawings And Site Plan, and Coordinate All Dimensions and Locations of All Site Items. If Conflicts Exist The User Of This Information Shall Contact The Engineer Immediately.
- 9. Provide An As-built Survey Prepared By A Licensed Professional Land Surveyor In Accordance With The Authorities Having Jurisdiction Which Shall Include As a Minimum All Detention Basins and Best Management Practices, Include All Storm and Sanitary Sewers, Structure Locations, Sizes, Rim and Invert Elevations, Final Detention Volume Calculations For The Basin(s), Watermain and Valve and Appurtenance Locations.
- 10. The Illinois Department Of Transportation Standard Specifications For Road And Bridge Construction Latest Edition, And All Addenda Thereto, Shall Govern The Earthwork And Paving Work Under This Contract Unless Noted Otherwise.





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EXISTING		PROPOSED
\bigcirc	Manhole	۲
\bigoplus	Catch Basin	۲
	Inlet	
\bigtriangleup	Area Drain	
О _{с.0.}	Clean Out	O _{c.o.}
	Flared End Section	
)	Storm Sewer	>
——)——	Sanitary Sewer)
\longrightarrow	Combined Sewer	—
W	Water Main	w
G	Gas Line	G
OH	Overhead Wires	——-ОН———
——————————————————————————————————————	Electrical Cable (Buried)	——Е——
——— T ———	Telephone Line	—т
Q	Fire Hydrant	A
\otimes	Valve Vault	\bullet
$\otimes_{_{B}}$	Buffalo Box	€ _B
O_{DS}	Downspout	O _{DS}
\bigcirc_{BOL}	Bollard	O_{BOL}
$\otimes_{_{G}}$	Gas Valve	
\mathbb{M}_{G}	Gas Meter	
M _E	Electric Meter	
0_	ComEd Manhole	
H	Hand Hole	
Ž	Light Pole	×
e)Q	Light Pole w/ Mast Arm	
-0-	Utility Pole	-0-
⊠ _T	Telephone Pedestal	
	Telephone Manhole	
b	Sign	
۲ ۲	Fence	1 xx
L	Accessible	£.
Q15	Parking Stall	<u>O</u> B
	Curb & Gutter	
	Depressed Curb	
× C 782.50 × G 782.00	Curb Elevation	<u> </u>
	Gutter Elevation	
	Pavement Elevation	<u>P 783.25</u>
× W 782.10	Sidewalk Elevation	<u>W 782.10</u> 784.0
× 784.0 × T/W 785.20	Ground Elevation	_x 784.0 T/W 785.20
~ 1/ W /03.20	Top of Retaining Wall Elevation	<u> </u>
701	Swale	
	Contour Line	/01
× ξ ● }	Deciduous Tree	
W w	Coniferous Tree	
$(\vee) \sim $	Brushline	
	Tree Protection Fencing at Drip Line	×



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Project Type (From ab Project Category (From Above)	Media File #/Name	Project Category Cost	ADA Portion of Project Cate	6 ADA Dollars Requested
Recreation Facilities & Exercise Equipment (Install)		10000	5000	50.00%
Routes & Surfaces Accessible Routes		12000	12000	100.00%
Recreation Facilities & Exercise Equipment (Purchase)		20453	10226.5	50.00%
Routes & Surfaces Accessible Routes		72000	47520	66.00%
Recreation Facilities & Benches- Picnic Tables		17200	8600	50.00%
Routes & Surfaces Accessible Routes		218700	144342	66.00%
Recreation Facilities & Benches- Picnic Tables		20900	20900	100.00%
Routes & Surfaces Parking Spots		18500	18500	100.00%
Routes & Surfaces Play Surfaces		70600	35300	50.00%
Recreation Facilities &		52000	10400	20.00%
Plumbing Elements ar Fountains		18000	18000	100.00%
Communications Engineers/Consultants		83000	32370	39.00%
				#DIV/0!
Total Project Cost	6133			
Total ADA Portion of Project Cost	363158			
Total % of ADA Dollars Requested	59.21	1%		