

Title	<b>Palatine Hills Golf Course</b>	12/05/2023
	by <b>Jim Holder</b> in <b>Member District ADA Project Request</b>	id. 44873444
	250 E Wood Street Palatine, Illinois 60067 United States 847-705-5131 ADAProjects@palatineparks.org	

## Original Submission 12/05/2023

Score	n/a
Name	Jim Holder
Job Title	Superintendent of Parks & Planning
E-mail Address	adaprojects@palatineparks.org
Phone Number	847-705-5131
Park District	Palatine
Project Location	Palatine Hills Golf Course
Project Status	New
Project Type	Routes and Surfaces
Routes and Surfaces- select a Project Category below:	Accessible Routes- Means of Egress Ramps
Benefits of the Project	Allows individuals with mobility issues to access the Club House,
Items that will become ADA Compliant	Access to the facility.
The project is designed or constructed, or applies human resources, to comply with:	The 2010 Standards for Accessible Design The Illinois Accessibility Code

Upload Project Related Files, Photos, Videos or Audio

[00\\_PHGC\\_ADA\\_Ramp\\_Calculations.pdf](#)

[01\\_2021.094\\_Palatine\\_PD\\_Golf\\_Course\\_-\\_Ramp\\_Addition\\_-\\_Permit\\_Set\\_Final.pdf](#)

[02\\_PHGC\\_Ramp\\_Project\\_Activity\\_Report.pdf](#)

[03\\_PHGC\\_ADA\\_Ramp\\_Budget\\_Report.pdf](#)

[IMG\\_3622.jpg](#)

[IMG\\_3624.jpg](#)

[IMG\\_3626.jpg](#)

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Budget Table for ADA Related Expenses

[Budget Table.xlsx](#)

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ADA Dollars Requested	44596.14
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Notes related to requested amount	This project was completed by PPD staff. All expenses are for materials except for the concrete flat work at the entrance of the ramp.
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**GENERAL NOTES**

- DESIGN AND CONSTRUCTION SHALL BE IN ACCORDANCE WITH VILLAGE OF PALATINE AND COOK COUNTY, IL BUILDING CODES.
- VERIFY ALL EXISTING CONDITIONS RELATED TO CONSTRUCTION COMPARED TO THE INFORMATION PROVIDED IN THE CONSTRUCTION DOCUMENTS. IF DISCREPANCIES OR CONFLICTS BETWEEN THE TWO ARE DISCOVERED, NOTIFY THE ARCHITECT FOR CLARIFICATION PRIOR TO SUBMITTING A BID AND/OR PERFORMING WORK.
- COMPLY WITH ALL APPLICABLE STATE AND LOCAL CODES.
- COORDINATE ALL TRADES PRIOR TO PERFORMING WORK INCLUDING BUT NOT LIMITED TO MECHANICAL, PLUMBING, ELECTRICAL, AND STRUCTURAL.
- OTHER WORK MAY BE PERFORMED UNDER A SEPARATE CONTRACT. COORDINATE WITH ALL OTHER CONTRACTED TRADES SO AS TO NOT INTERFERE WITH THEIR WORK.
- STORE MATERIALS IN A MANNER NOT TO OVERSTRESS, OVERLOAD, OR OTHERWISE PUT AN INAPPROPRIATE LOAD ON ANY STRUCTURE DURING CONSTRUCTION.
- SCHEDULE AND COORDINATE ALL SHUT-DOWNS OF EXISTING UTILITIES WITH THE OWNER PRIOR TO SHUT DOWN. PREPARE ALL NECESSARY WORK PRIOR TO SHUT-DOWNS. IF AT ALL POSSIBLE, COMBINE UTILITY SHUT-DOWNS TO MINIMIZE THE IMPACT OF THE OWNER'S OPERATION OF EXISTING FACILITIES. SEE SPECIFICATIONS FOR ANY FURTHER DETAILS.
- LOCATE ALL MATERIALS, EQUIPMENT, TRUCKS, DUMPSTERS, AND CONSTRUCTION FACILITIES IN AREAS APPROVED BY OWNER. SPECIAL CARE SHALL BE TAKEN TO PREVENT DAMAGE TO EXISTING BUILDING STRUCTURE, LANDSCAPING, AND PAVED AREAS. PROVIDE WOOD PLANK PROTECTION BELOW ALL DUMPSTERS AND OTHER HEAVY EQUIPMENT. ALL DAMAGED ITEMS SHALL BE REPAIRED OR REPLACED AT NO EXPENSE TO THE OWNER.
- PROTECT OR SAFELY STORE ALL BUILDING AND SITE ELEMENTS THAT ARE SCHEDULED TO REMAIN OR BE REUSED TO AVOID DAMAGE DURING THE CONSTRUCTION PROCESS. DAMAGED ITEMS SHALL BE REPAIRED OR REPLACED AT NO EXPENSE TO THE OWNER.
- REPAIR ALL AREAS DAMAGED FROM THE CONSTRUCTION WORK. PATCH AND/OR PROVIDE NEW FINISHES AT ALL DAMAGED AREAS WITH MATERIALS AND FINISHES TO MATCH THE EXISTING CONDITIONS. NEW MATERIALS AND FINISHES SHALL BE BROUGHT TO A STOPPING POINT TO MINIMIZE DETECTION OF REPAIR. VERIFY LOCATIONS WITH ARCHITECT.
- ALL WORK OUTLINED IN THE PROJECT SCOPE THAT EXTENDS INTO AREAS LABELED "NIC" SHALL BE INCLUDED IN THE CONTRACTOR'S SCOPE OF WORK TO INSURE A COMPLETE AND FULLY OPERATIONAL SYSTEM.
- TAKE SPECIAL CARE NOT TO DAMAGE OR INTERRUPT THE EXISTING SERVICES INCLUDING, BUT NOT LIMITED TO, ELECTRICAL WIRING, PNEUMATIC CONTROL LINES, SOUND SYSTEM WIRING, FIRE ALARM WIRING, COMPUTER/NETWORK CABLING, AND TEMPERATURE CONTROLS. THESE ITEMS AND THE LIKE ARE FULLY OPERATIONAL. VERIFY THE CONDITION AND OPERATION OF EACH SYSTEM BEFORE, DURING, AND AFTER CONSTRUCTION. SYSTEMS DAMAGED DURING CONSTRUCTION SHALL BE PLACED BACK INTO SERVICE PROMPTLY AND AT NO ADDITIONAL COST TO THE OWNER. REFER TO THE MEP DRAWINGS FOR FURTHER INFORMATION.
- DO NOT SCALE THE DRAWINGS TO DETERMINE A DIMENSION.
- ALL PLAN DIMENSIONS ARE SHOWN AND INDICATED WITH A NOMINAL WIDTH.
- DETAILS ARE TYPICAL AND ARE NOT TO BE CONSTRUCTED AS LIMITED TO THOSE AREAS SPECIFICALLY INDICATED. IF IN QUESTION, VERIFY APPLICATION WITH ARCHITECT PRIOR TO SUBMITTING A BID AND/OR PERFORMING WORK.
- USE STAINLESS STEEL FASTENERS IN ALL PRESERVATIVE TREATED WOOD.

**SYMBOLS LEGEND**

**ROOM IDENTIFICATION TAG**

ROOM NAME  
ROOM NUMBER

**DOOR IDENTIFICATION TAG**

DOOR LOCATION  
DOOR NUMBER

**ELEVATION TAG**

DRAWING NUMBER  
SHEET NUMBER

**SECTION TAG**

TAG NOTE  
DRAWING NUMBER  
SHEET NUMBER

NOTE: ARROW FILL REMOVED WHEN USING THE BUILDING SECTION TAG

**DETAIL TAG**

TAG NOTE  
DRAWING NUMBER  
SHEET NUMBER

**MATCH LINE**

AREA A  
AREA B

HANDICAP ACCESSIBLE  
AREA OF REFUGE  
DATUM TAG  
ELEVATION HEIGHT

**ABBREVIATIONS**

ACT	ACOUSTICAL CEILING TILE	NIC	NOT IN CONTRACT
AFF	ABOVE FINISHED FLOOR	OC	ON CENTER
ALUM	ALUMINUM	OD	OUTSIDE DIAMETER
APPROX	APPROXIMATE	OPP	OPPOSITE
AV	AUDIO/VISUAL	OZ	OUNCE
B/	BOTTOM OF	PLAM	PLASTIC LAMINATE
BD	BOARD	PLBG	PLUMBING
CJ	CONTROL JOINT	PS	PROJECTION SCREEN
CMU	CONCRETE MASONRY UNIT	PSF	POUNDS PER SQUARE FOOT
CONT	CONTINUOUS	PSI	POUNDS PER SQUARE INCH
CPT	CARPET	P.T.	PRESERVATIVE TREATED WOOD
CT	CERAMIC TILE	QT	QUARRY TILE
DS	DOWNSPOUT	RCP	REFLECTED CEILING PLAN
DWG(S)	DRAWING(S)	REQ'D	REQUIRED
EJ	EXPANSION JOINT	RTB	RESILIENT TACKBOARD
ELEC	ELECTRICAL	SCH	SCHEDULE
EQ	EQUALLY SPACED	SFRM	SPRAY-APPLIED FIRE-RESISTIVE MATERIALS
ETR	EXISTING TO REMAIN	SIM	SIMILAR
EWC	ELECTRIC WATER COOLER	SOG	SLAB ON GRADE
EXT	EXTERIOR	SPECS	SPECIFICATIONS
FBO	FURNISHED BY OTHERS	STRUCT	STRUCTURAL
FD	FLOOR DRAIN	T/	TOP OF
FRTW	FIRE RETARDANT TREATED WOOD	TYP	TYPICAL
FP	FIRE PROTECTION	UNO	UNLESS NOTED OTHERWISE
GA	GAGE, GAUGE	VB	VINYL BASE
GALV	GALVANIZED	VCT	VINYL COMPOSITION TILE
GC	GENERAL CONTRACTOR	VIF	VERIFY IN FIELD
GYP	GYPSONUM	WP	WORK POINT
HM	HOLLOW METAL	W/	WITH
INT	INTERIOR		
INFO	INFORMATION		
MAX	MAXIMUM		
MECH	MECHANICAL		
MEP	MECHANICAL, ELECTRICAL, PLUMBING		
MFR	MANUFACTURE(R)		
MIN	MINIMUM		
MISC	MISCELLANEOUS		

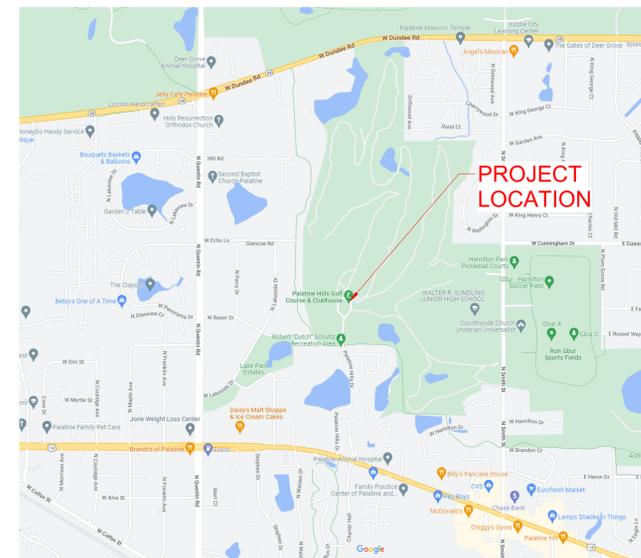
# ISSUED FOR PERMIT PALATINE PARK DISTRICT PALATINE HILLS GOLF COURSE CLUB HOUSE RAMP ADDITION 512 W NORTHWEST HIGHWAY, PALATINE, IL 60067

**INDEX OF DRAWINGS**

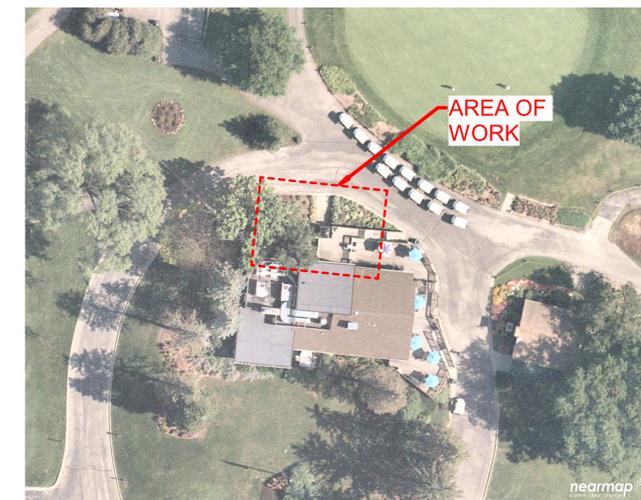
G0.1 TITLE SHEET

**ARCHITECTURAL - DLA ARCHITECTS, LTD 847.742.4063**

- A1.1 SITE DEMOLITION PLAN
- A1.2 RAMP FOUNDATION PLAN
- A1.3 RAMP FRAMING PLAN
- A1.4 RAMP PLAN
- SUR-1 TOPOGRAPHIC SURVEY



**LOCATION MAP**  
NOT TO SCALE



**AREA OF WORK**  
NOT TO SCALE

**LICENSED ARCHITECT'S CERTIFICATION OF PLANS AND SPECIFICATIONS FOR NEW CONSTRUCTION**

*I hereby certify that these plans and specifications, dated MAY 16, 2022, for PALATINE HILLS GOLF COURSE, located at 512 W NORTHWEST HWY, PALATINE, IL 60067, for PALATINE PARK DISTRICT, were prepared under my supervision using the 2015 INTERNATIONAL BUILDING CODE and to the best of my knowledge, comply with applicable requirements of the City of Palatine, the county of Cook and the State of Illinois.*

Architect's Firm: DLA Architects, Ltd.  
 Architect's Name: LOUIS F. NOTO, JR.  
 License Number: IL #001-017259  
 License Expiration: NOVEMBER 30, 2022  
 Signature: \_\_\_\_\_

**DLA ARCHITECTS**  
www.dla-llc.com

form follows learning

Two Pierce Place | Suite 1300 | Itasca | 60143 | 847.742.4063

**PALATINE PARK DISTRICT  
 PALATINE HILLS GOLF COURSE CLUB HOUSE RAMP ADDITION  
 512 W NORTHWEST HIGHWAY, PALATINE, IL 60067**

**Palatine Park District**

DATE: 5/16/2022 DESCRIPTION: ISSUED FOR PERMIT

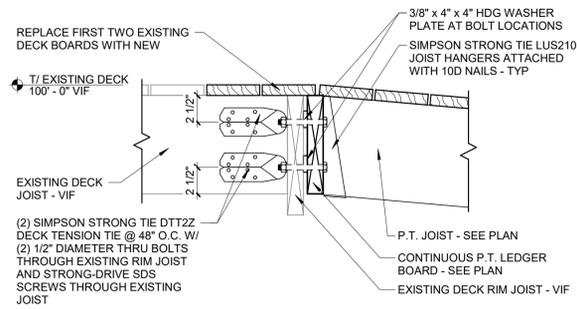
PROJECT # 2021.094  
DATE: MAY 16, 2022

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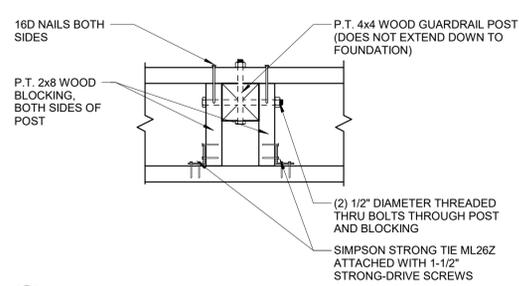
SHEET: G0.1



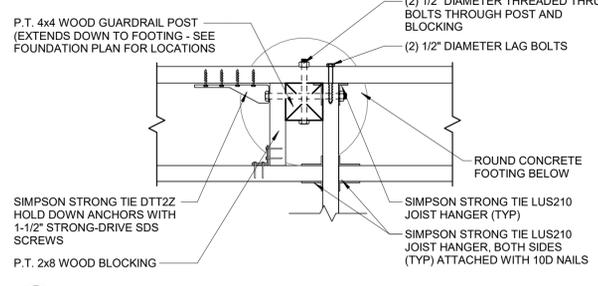




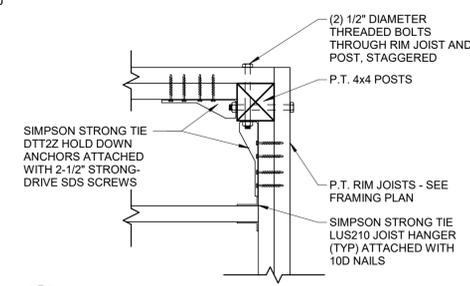
**2 DETAIL**  
1 1/2" = 1'-0"



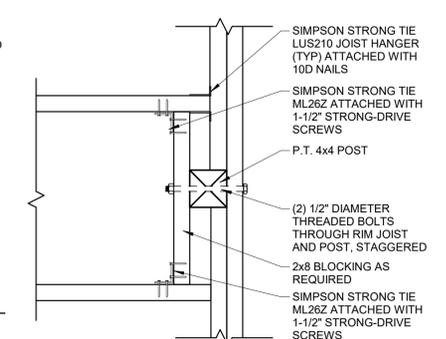
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**4 DETAIL**  
1 1/2" = 1'-0"

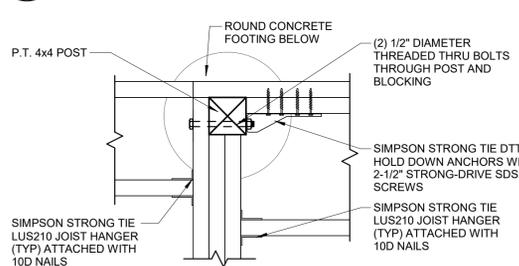


**5 DETAIL**  
1 1/2" = 1'-0"

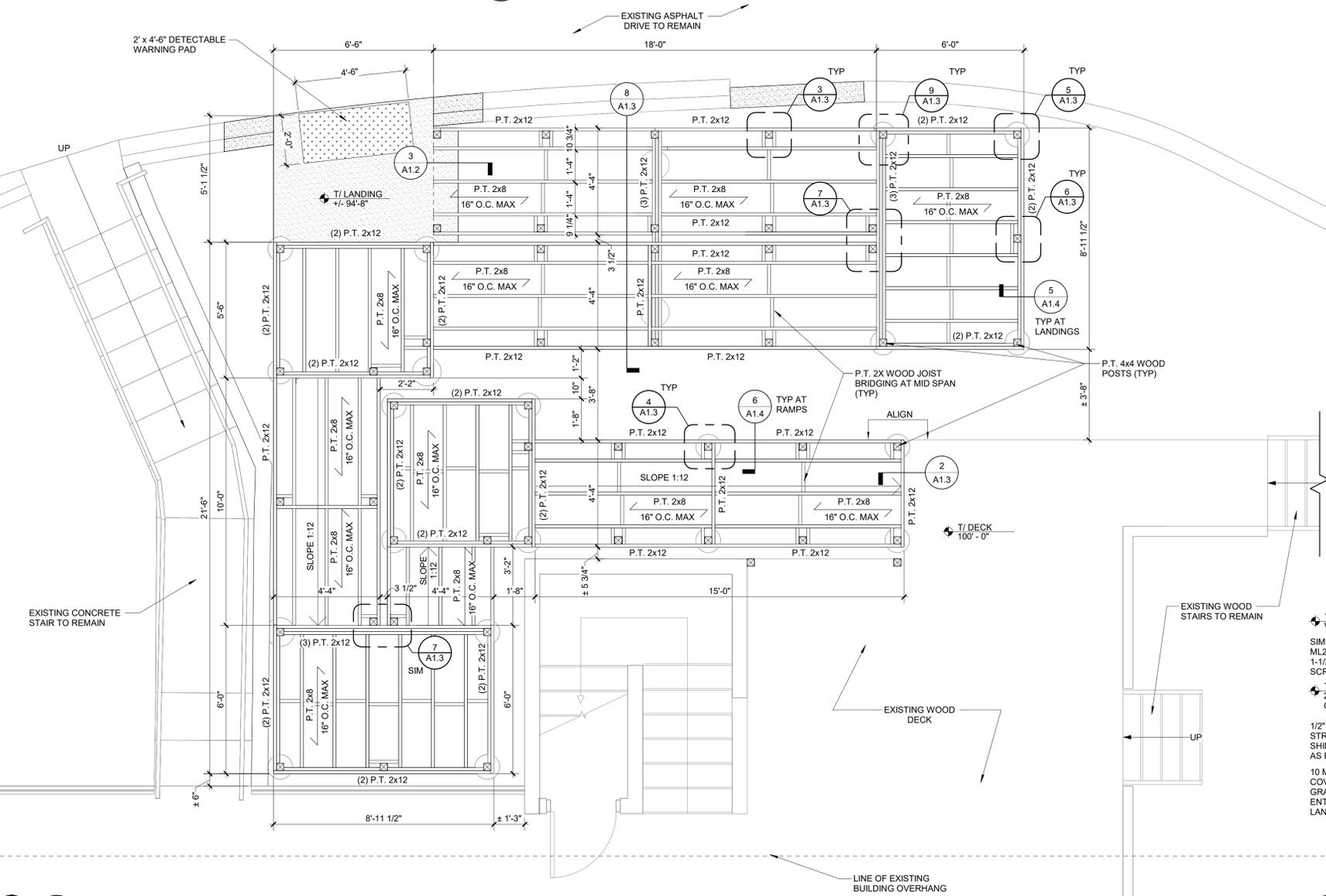


**6 DETAIL**  
1 1/2" = 1'-0"

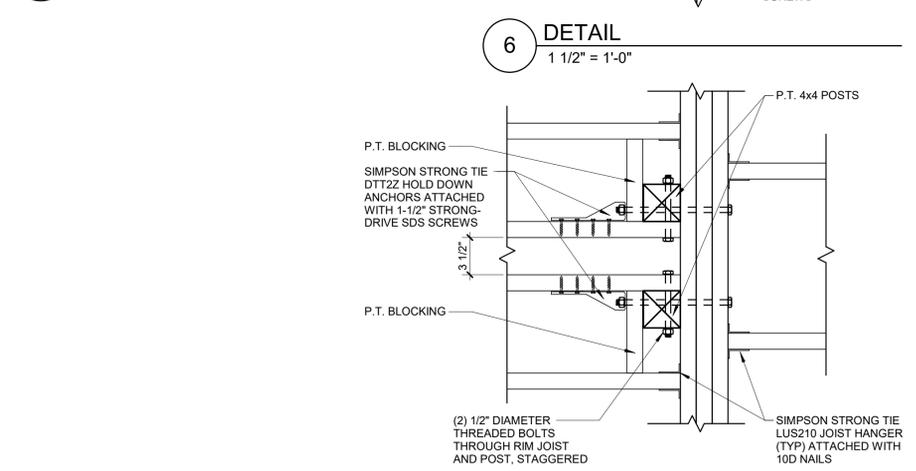
- STRUCTURAL NOTES:**
1. USE SIMPSON STRONG TIE LUS210 JOIST HANGERS AT ENDS OF ALL DECK JOISTS (TYP)
  2. ALL EXTERIOR JOIST HANGERS TO BE HOT DIPPED GALVANIZED
  3. ALL NEW WOOD SUPPLIED AND INDICATED ON THE DRAWINGS SHALL BE SOUTHERN PINE AND SHALL BE NO. 1 STRUCTURAL GRADE WITH A MINIMUM Fb = 1000 PSI. LUMBER SHALL BE STAMPED WITH THE GRADE MARK OF AN APPROVED TESTING AGENCY.
  4. WOOD CONSTRUCTION SHALL FOLLOW STANDARD CONSTRUCTION PRACTICES AS PROVIDED IN THE NATIONAL DESIGN SPECIFICATIONS OF THE N.F.P.S.A.
  5. PRESERVATIVE TREATMENT OF THE WOOD IS REQUIRED AND SHALL CONFORM TO THE "AMERICAN WOOD PRESERVER'S ASSOCIATION" STANDARD C3: "LUMBER, TIMBERS AND TIES. PRESERVATIVE TREATMENT BY PRESSURE PROCESS". IN ADDITION, ALL WOOD TREATED UNDER THIS STANDARD SHOULD BEAR THE MARK OF AN AGENCY AUTHORIZED TO INSPECT TREATED WOOD PRODUCTS. ALL STRUCTURAL ITEMS TREATED WITH WATERBOURNE PRESERVATIVES SHOULD BE REDRIED AFTER THE TREATMENT TO A MOISTURE OF 15% OR LESS. FOR THE LUMBER GRADEMARK TO BE VALID AFTER THE TREATMENT, THE LUMBER MUST ADHERE TO THE GRADE REQUIREMENTS AND THE MOISTURE CONTENT OF THE GRADE REPRESENTED BY THE MARK. OILBOURNE PRESERVATIVES SHALL HAVE A MINIMUM RETENTION ASSAY OF 12 LBS/CU.FT. AND WATERBOURNE PRESERVATIVES SHALL HAVE A MINIMUM ASSAY RETENTION OF 0.8 LBS/CU.FT.



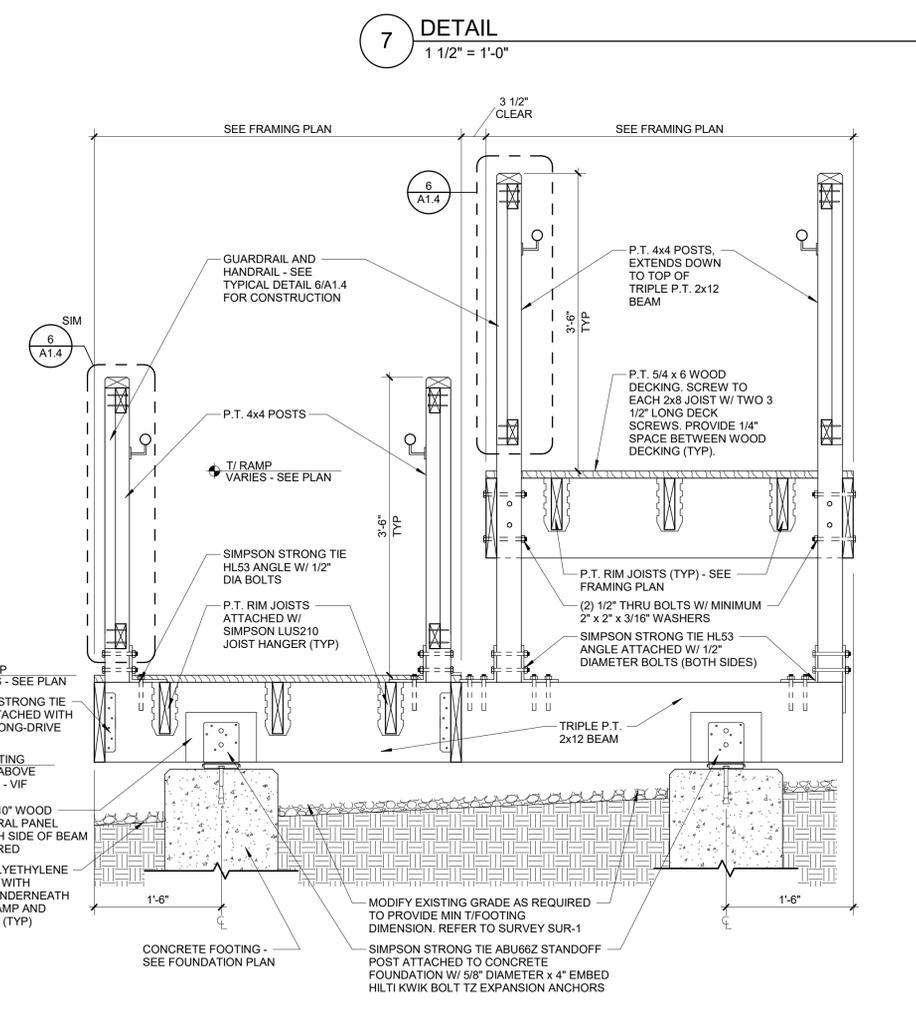
**9 DETAIL**  
1 1/2" = 1'-0"



**1 MAIN DECK FRAMING PLAN**  
3/8" = 1'-0"



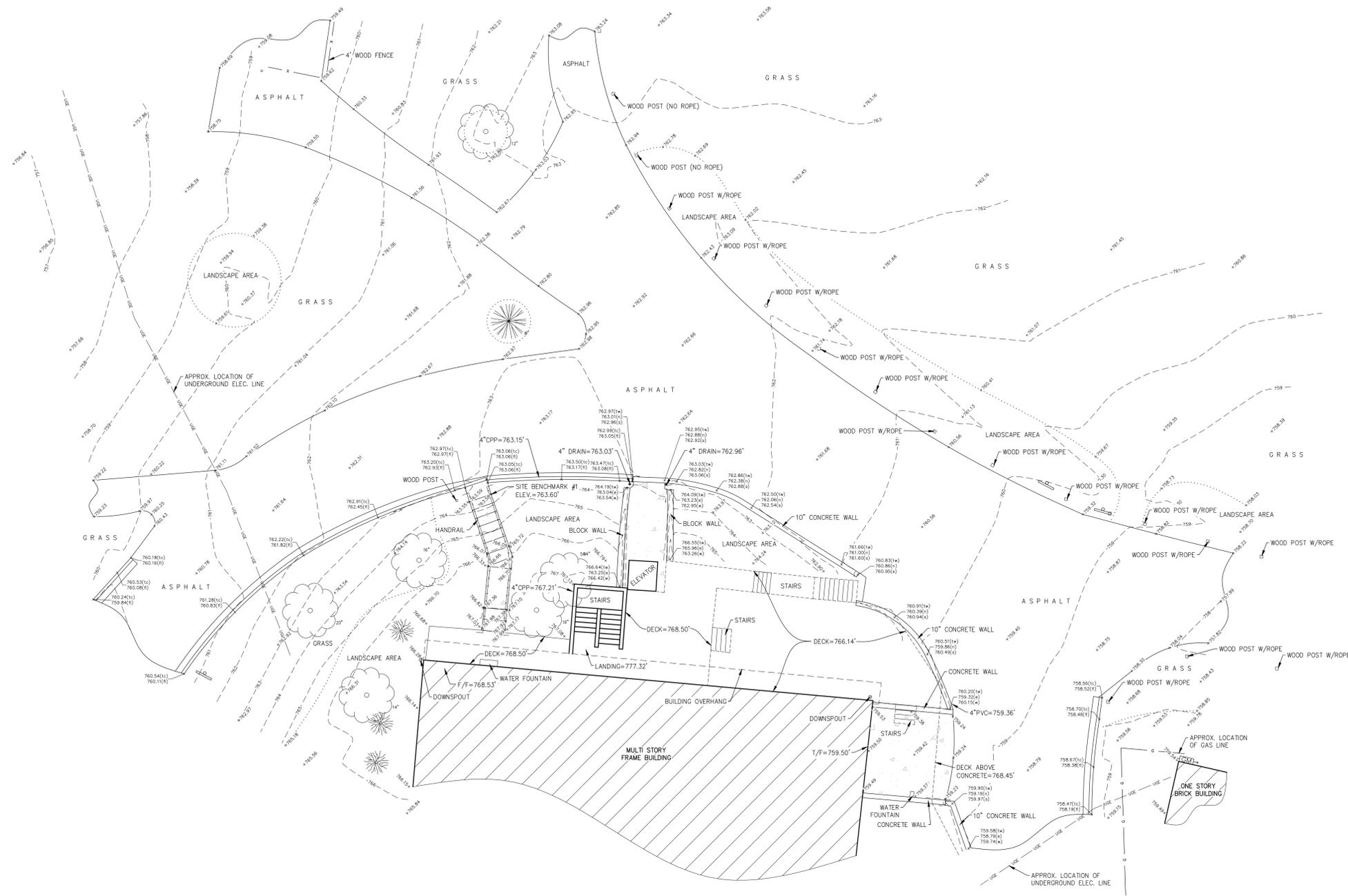
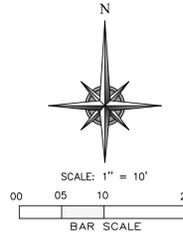
**7 DETAIL**  
1 1/2" = 1'-0"



**8 SECTION AT RAMP SWITCHBACK**  
1" = 1'-0"



# TOPOGRAPHIC SURVEY



LEGEND			
—	PROPERTY LINE	1/1	TOP FOUNDATION/THRESHOLD
---	CENTER LINE	1/1	TYPICAL SIGN
- - -	EASEMENT LINE	○	FLARED END SECTION
---	BUILDING SETBACK	○	CLOSED MANHOLE
---	RECORD DATA	○	OPEN GRATE MANHOLE
---	TOP OF (CURB/WALL, ETC.)	○	BEEHIVE GRATE MANHOLE
---	BOTTOM OF (GRASS, GUTTER, ETC.)	○	GUTTER FRAME MANHOLE
---	CONCRETE	○	VALVE VAULT
---	EVERGREEN/DECIDUOUS	○	FIRE HYDRANT
---	WITH SIZE IN INCHES	○	B-BOX / SERVICE VALVE
---	SHRUB / SHRUB LINE	○	POST LIGHT/GROUND LIGHT
---	MONITOR WELL	○	AREA LIGHT/LIGHT POLE
---	GAS VALVE	○	STREET LIGHT
---	UTILITY MARKINGS	○	TRAFFIC SIGNAL
---	(cable, elec, fiber)	○	MAST ARM SIGNAL
---	(tel, water, gas)	○	HANDHOLE (electric, traffic)
---	MAILBOX	○	WATER MAIN
---		○	OVERHEAD LINE
---		○	FIBER OPTIC LINE
---		○	GAS LINE
---		○	U.G. TELEO LINE
---		○	ELECTRIC METER
---		○	U.G. ELECTRIC LINE
---		○	SOIL BORING
---		○	TEL/ELEC MANHOLE
---		○	UTILITY POLE
---		○	GUARDRAIL
---		○	CITY WIRE ANCHOR
---		○	CONTOUR LINE
---		○	TREE LINE / HEDGE LINE
---		○	EDGE GRAVEL/STONE
---		○	FENCE LINE
---		○	STORM SEWER
---		○	SANITARY SEWER
---		○	COMBO SEWER
---		○	WATER SERVICE LINE

- SURVEY NOTES:**
1. SITE BENCHMARK - CROSS CUT IN CONCRETE STEPS, 26' NW OF THE NW CORNER OF ELEVATOR AND 30' NE OF THE NW BUILDING CORNER AS SHOWN. ELEVATION=763.60' (NAVD88)
  2. THE LOCATION OF UNDERGROUND UTILITIES WAS DETERMINED BY FIELD OBSERVATION AND VISIBLE MARKINGS ONLY.
  3. FIELD WORK COMPLETED ON FEBRUARY 18TH, 2022.
  4. SURVEY PREPARED FOR: PALATINE PARK DISTRICT.
  5. ANY DISCREPANCIES FOUND WITHIN THIS DOCUMENT NEED TO BE REPORTED TO THE SURVEYOR AS SOON AS POSSIBLE.

STATE OF ILLINOIS )  
 ) SS  
 COUNTY OF COOK )

WE THE W-T GROUP DO HEREBY DECLARE THAT THIS TOPOGRAPHIC SURVEY WAS MADE UNDER OUR DIRECTION AND SUPERVISION, THIS PROFESSIONAL SERVICE CONFORMS TO THE CURRENT ILLINOIS MINIMUM STANDARDS FOR TOPOGRAPHIC SURVEYS.

GIVEN UNDER OUR HAND AND SEAL THIS 25TH DAY OF FEBRUARY A.D. 2022 AT HOFFMAN ESTATES, ILLINOIS.

THE W-T GROUP, LLC

*Franjo I. Matić*

FRANJO I. MATIĆ - PLS #035-003556 EXPIRES 11/30/2026  
 ILLINOIS PROFESSIONAL DESIGN FIRM LICENSE NO. 184.007570-0015



AQUATIC \ CIVIL \ MECHANICAL \ ELECTRICAL \ PLUMBING \ TELECOMMUNICATION \ STRUCTURAL \ ACCESSIBILITY CONSULTING \ DESIGN & PROGRAM MANAGEMENT \ LAND SURVEY

**WT GROUP**  
 Engineering with Precision, Pace and Passion.  
 1875 Powers Avenue Hoffman Estates, IL 60112  
 T: 224.293.6333 | F: 224.293.6444  
 wengrping.com  
 IL License No: 184.007570-0015 Expires: 04.30.2023  
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**WT Group**  
 Engineering • Design • Consulting

**PALATINE HILLS GOLF COURSE**  
 512 NORTHWEST HIGHWAY  
 PALATINE, ILLINOIS

ISSUE  
 TO CLIENT DATE 2/24/22

CHECK-FIRM  
 DRAWN-REM  
 JOB: C220018

**SUR-1**  
 SHEET 1 OF 1  
 TOPOGRAPHIC SURVEY



