

Title **Carinal Drive Park 2708 Cardinal Drive Rolling Meadows IL 60008** 02/15/2023
id. 35496000
by **ADA Projects** in Member District **ADA Project Request**
3000 Central Road
Rolling Meadows, Illinois
60008
United States
18473444877
ADAprojects@rmparks.org

Original Submission 02/15/2023

Name	Dominic Calderisi
Job Title	Safety Coordinator / Project Manager
E-mail Address	dcalderisi@rmparks.org
Phone Number	18473444877
Park District	Rolling Meadows
Project Location	Carinal Drive Park 2708 Cardinal Drive Rolling Meadows IL 60008
Project Status	New
Project Type	Routes and Surfaces
Routes and Surfaces- select a Project Category below:	Accessible Routes- Means of Egress Athletic Surfaces Play Surfaces Walking Surfaces Sidewalks Parking Spots

Benefits of the Project

Rolling Meadows Park District's Cardinal Drive Park underwent a complete tear down and renovation of a brand-new state of the art playground. This playground features inclusive amenities allowing greater accessibility for people with disabilities to engage in increased recreational activities. Persons with disabilities will be able to utilize playground equipment specifically designed for them to use and enjoy. Additionally, "Perfect Turf" flooring throughout the playground provides a surface for people with disabilities more easily access to the equipment.

Finally, there have been improvements of hard surfaces including expanding the parking lot to create new handicap spaces, a sidewalk leading from the parking lot to the playground and a sidewalk circling the perimeter of the playground. Also, the surfaces of the asphalt parking spaces including the curbs, gutters, and sidewalks have all been renovated. This improvement allows for greater accessibility to Cardinal Drive Park and its amenities, especially for those with disabilities, thereby narrowing the play gap between people of all abilities. It also allows for greater accessibility to playground equipment, especially for those with disabilities, thereby further narrowing the play gap between people of all abilities. One of the main purposes of this ADA Project was to make the playground accessible to children who otherwise would not be able to access the playground.

Items that will become ADA Compliant

Accessible play equipment, entry path, walkways, play surfacing, site furnishings, and handicap parking spaces..

The project is designed or constructed, or applies human resources, to comply with:

The 2010 Standards for Accessible Design
The Illinois Accessibility Code
The 2013 Final Guideline for Outdoor Developed Areas Owned and Operated by the Federal Government
ASTM F 1951 Standard for Accessible Playground Surfaces

Upload Project Related Files, Photos, Videos or Audio

[CARDINAL_PLAYGROUND_INVOICE_Chadwick.pdf](#)

[nutoys_cardinal_drive_equipment.pdf](#)

[Perfect_Turf_-_Cardinal_Drive_Park_-_Invoice_210192.pdf](#)

[01_20210315_cardinal_drive_bid_drawings.pdf](#)

[02_20210315_cardinal_drive_bid_specs.pdf](#)

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Budget Table for ADA Related Expenses

[Budget Table.xlsx](#)

ADA Dollars Requested	134748.6
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Notes related to requested amount	n/a
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Cardinal Drive Park

2708 Cardinal Drive
Rolling Meadows, Illinois 60008

Rolling Meadows Park District
3000 Central Road
Rolling Meadows, Illinois 60008

Issue for Bid March 15, 2021

Project Team

Landscape Architect Sheets: L-series
Hitchcock Design Group
22 East Chicago Avenue, Suite 200A
Naperville, Illinois 60540
T 630.961.1787

Civil Engineer Sheets C-series
The W-T Group, LLC
Civil Engineering Division
2675 Pratum Avenue
Hoffman Estates, Illinois 60192
T 224.293.6333

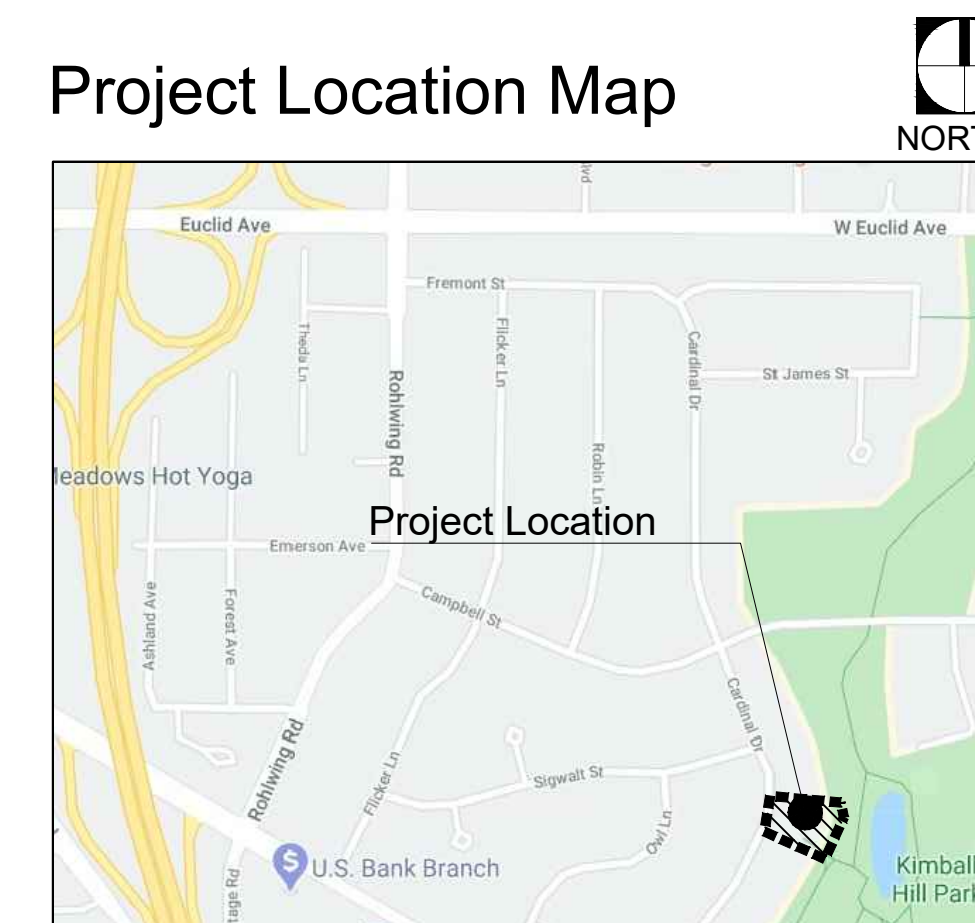
General Notes

1. Basemap information obtained from plans prepared by WT Group received February 18, 2020.
2. Verify site conditions and information on drawings. Promptly report any concealed conditions, mistakes, discrepancies or deviations from the information shown in the Contract Documents. The Owner is not responsible for unauthorized changes or extra work required to correct unreported discrepancies.
3. Secure and pay for permits, fees and inspections necessary for the proper execution of this work. Comply with codes applicable to this work.
4. Refer to specifications for additional conditions, standards and notes.

Sheet Index

- L-Series**
- L1.0 Existing Conditions Plan
 - L2.0 Site Preparation and Removals Plan
 - L3.0 Layout and Materials Plan
 - L4.0 Planting Plan
 - L4.1 Plant List
 - L5.0-L5.4 Details
- C-Series**
- T-1.0 Title Sheet
 - C-1.0 Overall Site Plan
 - C2.0-C-2.1 Site Demolition Plan
 - C-3.0-C-3.1 Site Geometric Plan
 - C-4.0-C-4.1 Site Development Plan
 - C-4.2 Site Development Details
 - C-5.0-C-5.1 Site Grading Plan
 - C-6.0-C-6.1 Site Utility Plan
 - C-6.2-C-6.3 Site Utility Details
 - C-7.0-C-7.1 Stormwater Pollution Prevention Plan
 - C-7.2 Stormwater Pollution Prevention Details
 - C-8.0-C-8.2 Project Specifications
 - SUR 1 - Boundary and Topographic Survey
 - SUR 2 - Boundary and Topographic Survey
 - POND-1 Topographic Survey

Project Location Map

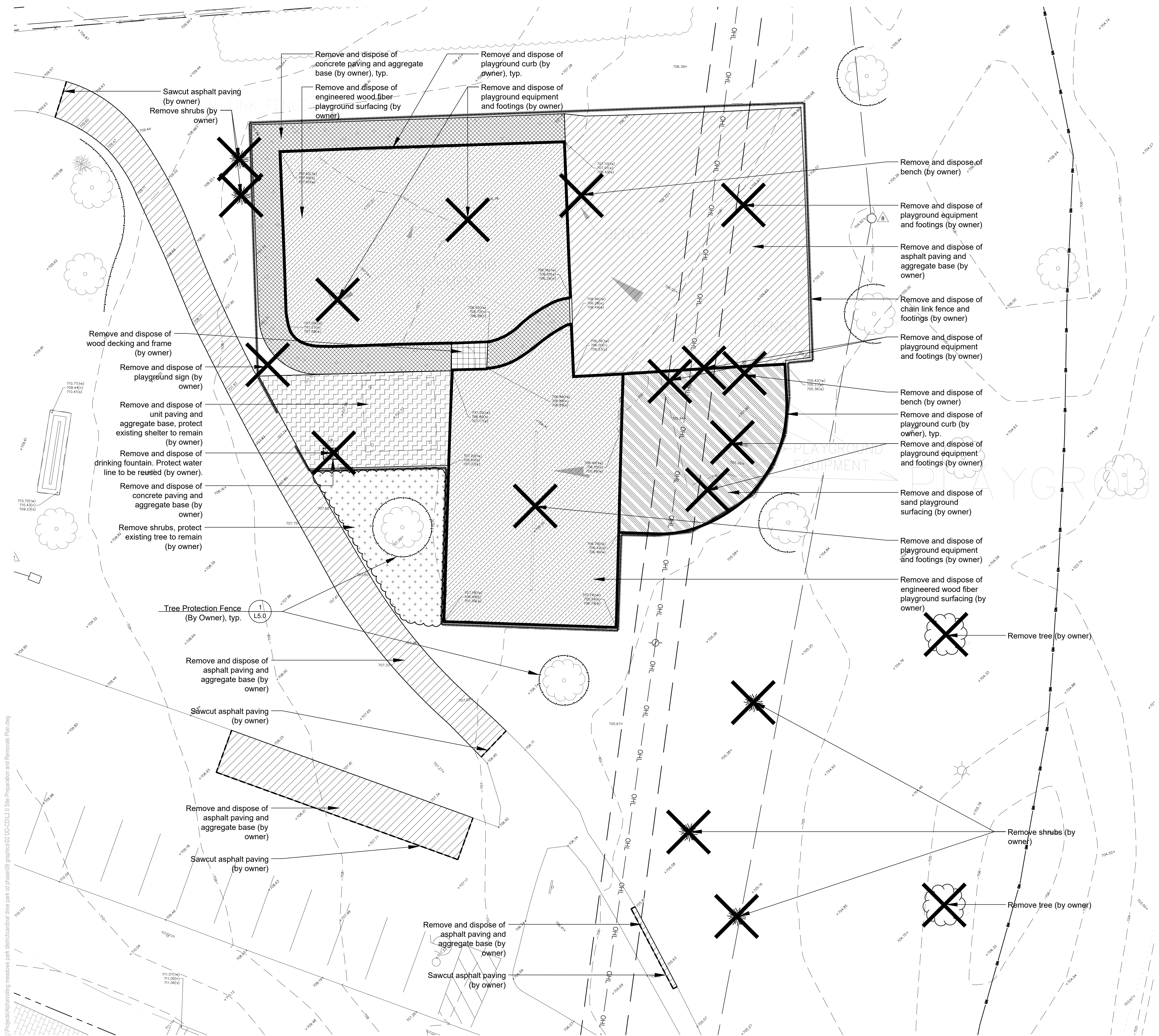


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SITE PREPARATION AND REMOVALS NOTES

- Owner shall install construction fence at the limits of construction prior to beginning work. Contractor to maintain and adjust construction fencing as needed during progress of construction. Staging and construction access shall be approved by Owner.
- Owner shall install tree protection fencing as shown on the plans prior to beginning work. Contractor to maintain and adjust tree protection fencing as needed during progress of construction. Storage of materials, vehicular access, and all other construction activities are strictly prohibited within the limits of the tree protection fencing.
- Plans indicate general location and limits of removals. Contractor shall perform removals only as necessary for construction of proposed improvements. No additional payments will be made for removals or restoration not required to construct the improvements as drawn and specified. Refer to Layout Plan for more specific information regarding proposed improvements and verify conditions in the field prior to performing removals.
- Sawcut and remove concrete paving to nearest joint where indicated. All saw cuts required for removal items to be included in the unit cost of that particular pay item.
- Tree stumps shall be ground to a minimum depth of 18" below existing grade or as required to properly perform the work.
- Remove and dispose of turf where planting beds are designated. Refer to Planting Plan for limits of proposed landscape improvements.
- Where turf or plantings are proposed in existing paved areas, remove all base material.
- Remove all utilities designated for removal to extent required for improvements, unless otherwise noted. Cap ends of any remaining underground conduit and piping, and pull all electrical wire out at source.
- Items indicated for Removal shall include complete removal of above grade item and below grade appurtenances (foundations, urban fill, wiring, piping, etc.) including disposal off-site following applicable codes and ordinances, unless otherwise shown on the plans.
- Contractor to protect all existing utilities and all other site features not designated for removal. Contractor is responsible for replacing/repairing any existing utilities or other site features damaged during construction to the original condition at no cost to the Owner.
- Contractor responsible for maintaining existing utility services (electrical, sanitary, storm) during construction unless otherwise indicated in the Contract Documents.
- Contractor shall coordinate all work so public sidewalk remains open throughout construction.
- Refer to civil plans for additional utility adjustments and removals.
- Refer to specifications for additional conditions, standards and notes.

SITE PREPARATION AND REMOVALS LEGEND

- Remove and dispose concrete paving and aggregate base. Remove subgrade material as needed. (By Owner)
- Remove and dispose asphalt paving and aggregate base. Remove subgrade material as needed. (By Owner)
- Remove and dispose unit paving and aggregate base. Remove subgrade material as needed. (By Owner)
- Remove all playground equipment, footings, sand play surfacing, and aggregate base. Remove subgrade material as needed. (By Owner)
- Remove all playground equipment, footings, wood fiber, and aggregate base. Remove subgrade material as needed. (By Owner)
- Remove wood deck and aggregate base. Remove subgrade material as needed. (By Owner)
- Remove and dispose of shrubs. (By Owner)
- Tree Protection Fence (By Owner)
- Item to be removed (By Owner)
- Curb to be removed (By Owner)
- Limit of sawcut (By Owner)
- Remove and dispose of fence (By owner)



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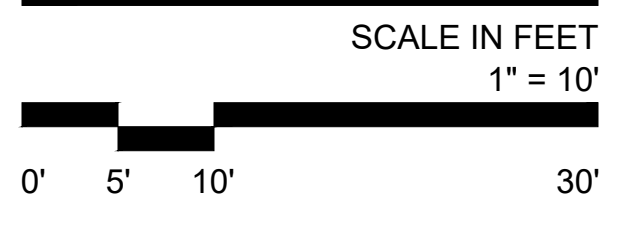
PREPARED FOR
Rolling Meadows Park District
3000 Central Road, Suite 100
Rolling Meadows, Illinois 60008

PROJECT
Cardinal Drive Park
2708 Cardinal Drive
Rolling Meadows, Illinois 60008
CONSULTANTS
Civil Engineering
The W-T Group, Civil Engineering Department
Hoffman Estates, Illinois 60192
T 224.293.6333

ISSUE FOR BID
March 15, 2021
REVISIONS

No	Date	Issue

CHECKED BY JEB DRAWN BY JFB
SHEET TITLE
Site Preparation and Removals Plan



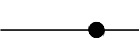



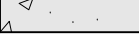
SHEET NUMBER
L2.0
©2021 Hitchcock Design Group

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LAYOUT NOTES

- Contractor responsible for field layout of all new improvements. Digital files of geometric information will be provided upon request in AutoCAD format. No additional payment will be made for adjustments necessary to construct the work as drawn.
- Contractor responsible to coordinate work in order to obtain approval of all layout by Owners Representative prior to construction. No additional payment will be made to correct work if constructed incorrectly without pre-approval by Owners Representative.
- Contractor responsible to maintain all layout stakes during construction. No additional payment will be made to replace layout stakes.
- Place stakes at edges of sport courts, limits of playground, and every 25 feet on center along centerline of all pathways for review by the Owner's Representative prior to earthwork operations.
- All curves and radii to be smooth and not segmented.
- Contractor to provide layout stakes every 10 feet minimum for large arcs where radius points are not accessible.
- Adjustment to stake locations due to discrepancies between coordinates and dimensions is incidental to the contract. No additional payments will be made for this work.
- All roadway widths are measured from edge of pavement to edge of pavement unless otherwise shown on the plans.
- Contractor responsible to take delivery, assemble and install all materials and furnishings per manufacturer's instructions.
- Place control and expansion joints as shown on plans and details for all curbs, walks, and concrete paving. Where joints are not shown, place control joints a maximum of 10 feet on center, expansion joints a maximum of 30 feet on center, and between all separate pours.
- Contractor will maintain use zone requirements within play surfacing; no use zone will overlap or be tangent unless noted. Adjust playground barrier curb and/or adjacent paving as needed to accommodate play equipment fall zones.
- Coordinate location of storm line with playground footings and obtain Owner's approval prior to installation.
- Layout of play surface shall be verified in field by landscape architect.
- Refer to specifications for additional conditions, standards and notes.

LAYOUT LEGEND

-  Expansion Joint (By Owner)
-  Asphalt Paving (By Others)
-  Concrete Paving (By Owner)
-  Play Surfacing - Poured in Place Rubber on Concrete Base (concrete base By Owner, PIP surfacing By Others)
-  Play Surfacing - Artificial Turf

PLAY EQUIPMENT SCHEDULE

Item	Description	Material
A	5-12 play structure	Landscape Structures
B	Welcome Sign	Landscape Structures
C	Swings (2 belt, 1 bucket, 1 face-to-face, 2 ADA)	Landscape Structures
D	2-5 play structure	Landscape Structures
E	Kettle Junior Drum	Landscape Structures
F	Ditty Metallophone	Landscape Structures
G	We-Saw	Landscape Structures
H	Omnispin spinner	Landscape Structures

Playground equipment to be purchased and installed by the owner.

ISSUE FOR BID
March 15, 2021

REVISIONS

No	Date	Issue

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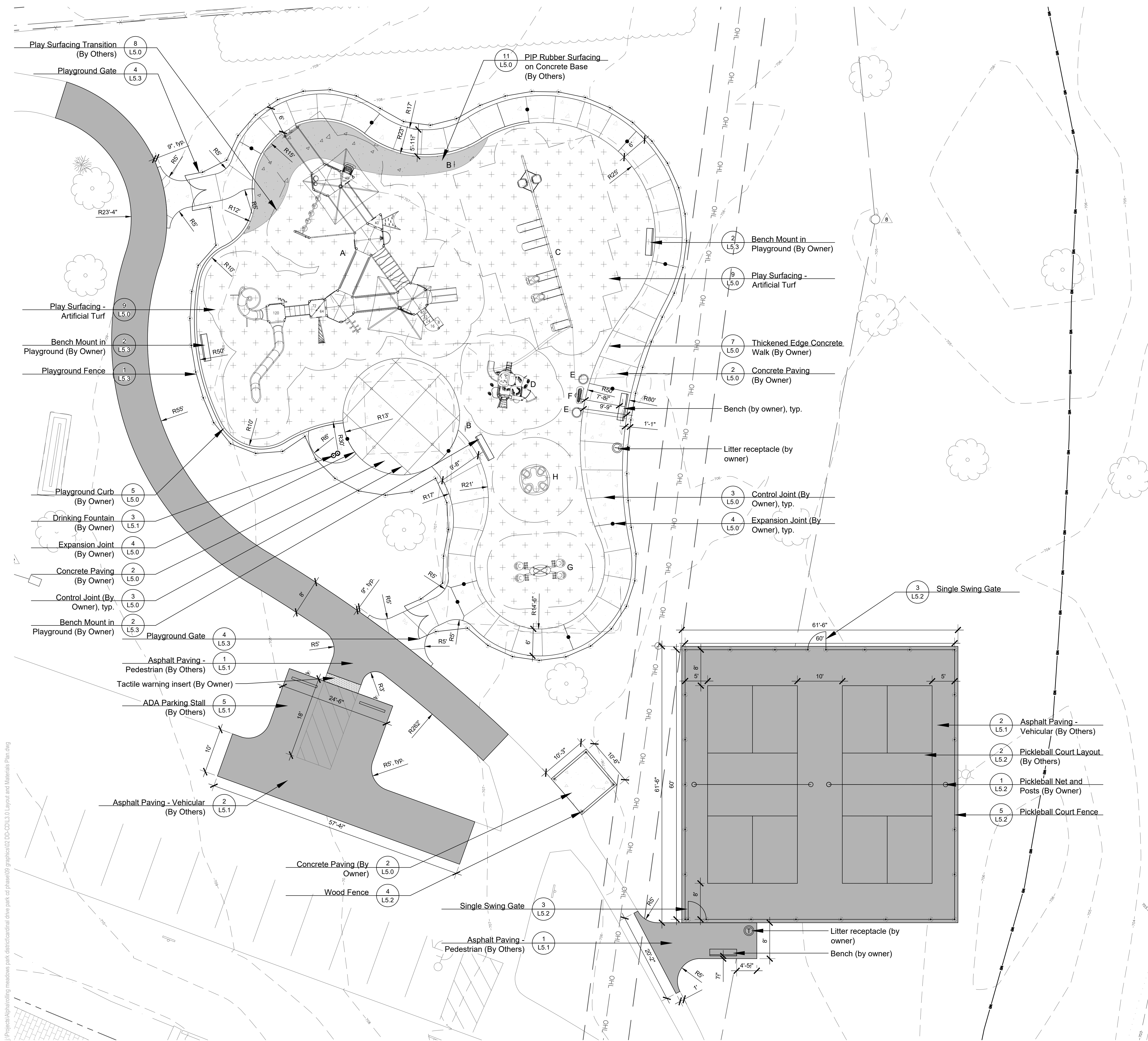
SHEET TITLE
Layout and Materials Plan

SCALE IN FEET
1" = 10'



NORTH SHEET NUMBER

L3.0



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CARDINAL PARK INCLUSIVE PLAYGROUND

2708 CARDINAL DRIVE ROLLING MEADOWS, IL 60008

DRAWING INDEX

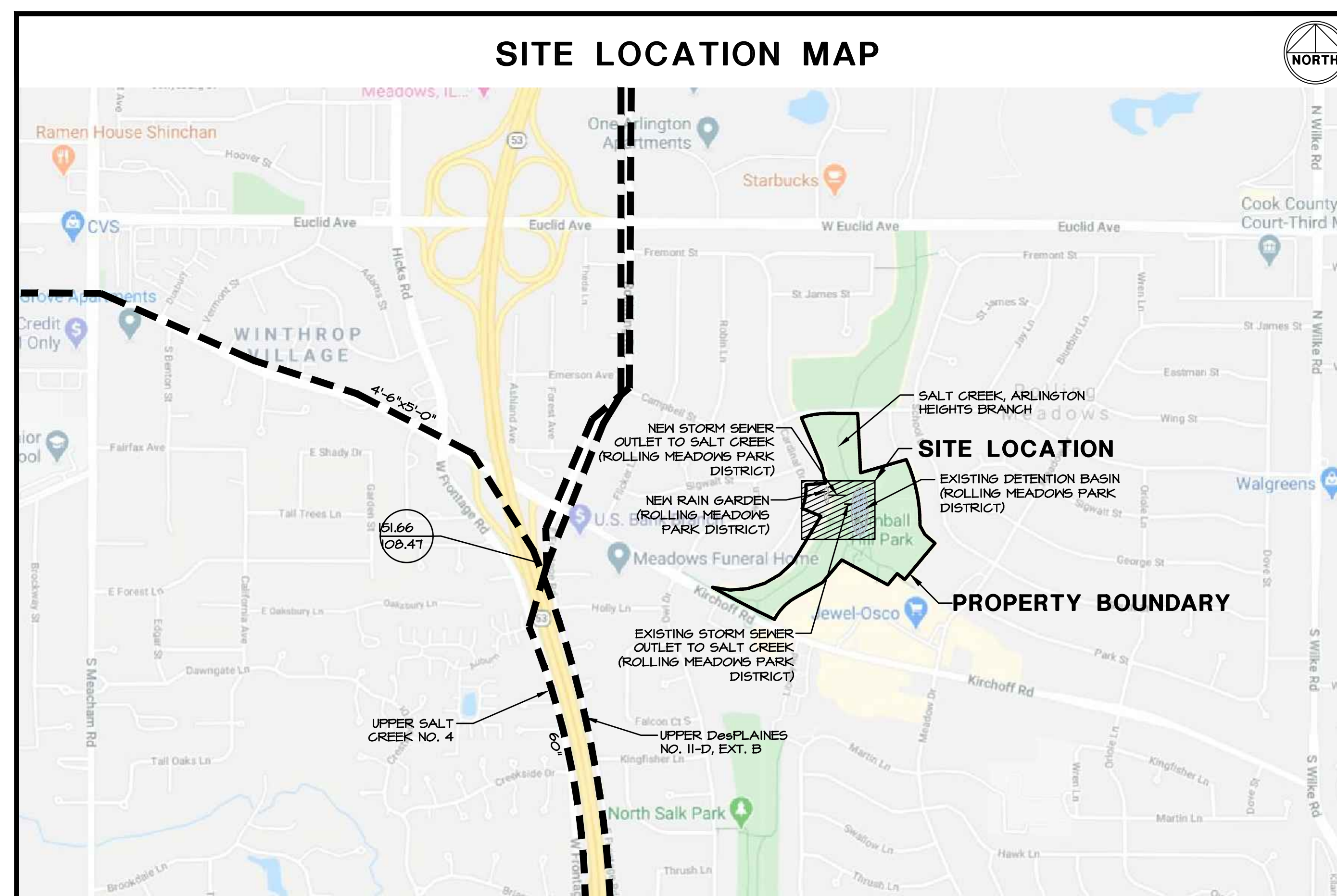
SHEET	DESCRIPTION	DATE
T-1.0	TITLE SHEET	03-15-21
C-1.0	OVERALL SITE PLAN	03-15-21
C-2.0 - C-2.1	SITE DEMOLITION PLAN	03-15-21
C-3.0 - C-3.1	SITE GEOMETRIC PLAN	03-15-21
C-4.0 - C-4.1	SITE DEVELOPMENT PLAN	03-15-21
C-4.2	SITE DEVELOPMENT DETAILS	03-15-21
C-5.0 - C-5.1	SITE GRADING PLAN	03-15-21
C-6.0 - C-6.1	SITE UTILITY PLAN	03-15-21
C-6.2 - C-6.3	SITE UTILITY DETAILS	03-15-21
C-7.0 - C-7.1	STORMWATER POLLUTION PREVENTION PLAN	03-15-21
C-7.2	STORMWATER POLLUTION PREVENTION DETAILS	03-15-21
C-8.0 - C8.2	PROJECT SPECIFICATIONS	03-15-21
SUR-1 - SUR-2	BOUNDARY AND TOPOGRAPHIC SURVEY (PREPARED BY W-T LAND SURVEYING)	09-06-19
POND-1	TOPOGRAPHIC SURVEY (PREPARED BY W-T LAND SURVEYING)	12-16-20

NOTES:

SITE BENCHMARK - SQUARE ON LIGHT POLE BASE.
ELEVATION = 105.33' (NAVD88)

BEING THAT THIS PROJECT IS PERMITTED UNDER THE NEW WATERSHED MANAGEMENT ORDINANCE (NMO), THE MWRD REQUIRES 48 HOURS OF ADVANCE NOTIFICATION PRIOR TO ANY GROUND DISTURBANCE. THE MWRD WILL BE INSPECTING FOR APPLICABLE EROSION CONTROL AND SEDIMENT CONTROL MEASURES SUCH AS SILT FENCING, INLET PROTECTION, CONCRETE WASH, ETC., FOLLOWED BY SANITARY SEWER AND VOLUME CONTROL. INSTALLATION INSPECTIONS, PLEASE REFER TO THE APPROVED PERMIT/PLANS AND HAVE THESE MEASURES IN PLACE IN ACCORDANCE WITH THE SPECIFICATIONS.

THE CONTRACTOR SHALL NOTIFY ALL AFFECTED PROPERTY OWNERS WHOSE PROPERTY IS ADJACENT TO ANY COMMON AREA EASEMENT WHERE WORK IS TO BE PERFORMED, A MINIMUM OF TWENTY FOUR (24) HOURS IN ADVANCE OF ANY WORK.



NOT TO SCALE

MAP DATA © 2020 6006LE

SECTION 25
TOWNSHIP 42 NORTH
RANGE 10 EAST

LEGEND

—) — STORM SEWER
- - - - - MWRD. SEWERS

CIVIL ENGINEERING STATEMENT AND SEAL

I, CHRISTOPHER SLYKAS, P.E., DULY LICENSED IN THE STATE OF ILLINOIS BY THE DEPARTMENT OF FINANCIAL AND PROFESSIONAL REGULATION DO HEREBY STATE THAT THIS DOCUMENT WAS PREPARED BY ME OR UNDER MY DIRECT SUPERVISION AND TO THE BEST OF MY KNOWLEDGE AND BELIEF DOES CONFORM TO THE APPLICABLE BUILDING CODES AND ORDINANCES, AND ARE IN COMPLIANCE WITH THE ENVIRONMENTAL BARRIERS ACT (410 ILCS 25) AND THE ILLINOIS ACCESSIBILITY CODE (71 ILL. ADM. CODE 400).

DATE: _____

CHRISTOPHER SLYKAS - ILLINOIS P.E. # 062-055826
DATE OF EXPIRATION - NOVEMBER 30, 2021

DRAINAGE STATEMENT

TO THE BEST OF OUR KNOWLEDGE AND BELIEF, THE DRAINAGE OF SURFACE WATERS WILL BE CHANGED BY THE CONSTRUCTION OF THIS SUBDIVISION, BUT REASONABLE PROVISION HAS BEEN MADE FOR THE COLLECTION AND DIVERSION OF SUCH SURFACE WATERS INTO PUBLIC AREAS, OR DRAINS WHICH THE SUBDIVIDER HAS THE RIGHT TO USE, AND THAT SUCH SURFACE WATERS WILL BE PLANNED FOR IN ACCORDANCE WITH GENERALLY ACCEPTED ENGINEERING PRACTICES SO AS TO REDUCE THE LIKELIHOOD OF DAMAGE TO THE ADJOINING PROPERTY BECAUSE OF THE CONSTRUCTION OF THIS SUBDIVISION.

DATED THIS _____ DAY OF _____

CHRISTOPHER SLYKAS - ILLINOIS P.E. # 062-055826

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CONTRACTOR MUST LOCATE PRIVATE UTILITIES IN AREA OF CONSTRUCTION PRIOR TO PROCEEDING WITH WORK

ISSUE

TO	DATE
100% DD	9-15-20
50%CD	9-29-20
50%CD	12-10-20
100%CD	1-4-21
PERMIT	1-11-21
MWRD	3-3-21
FOR BID	3-15-21

CHECK: CMS

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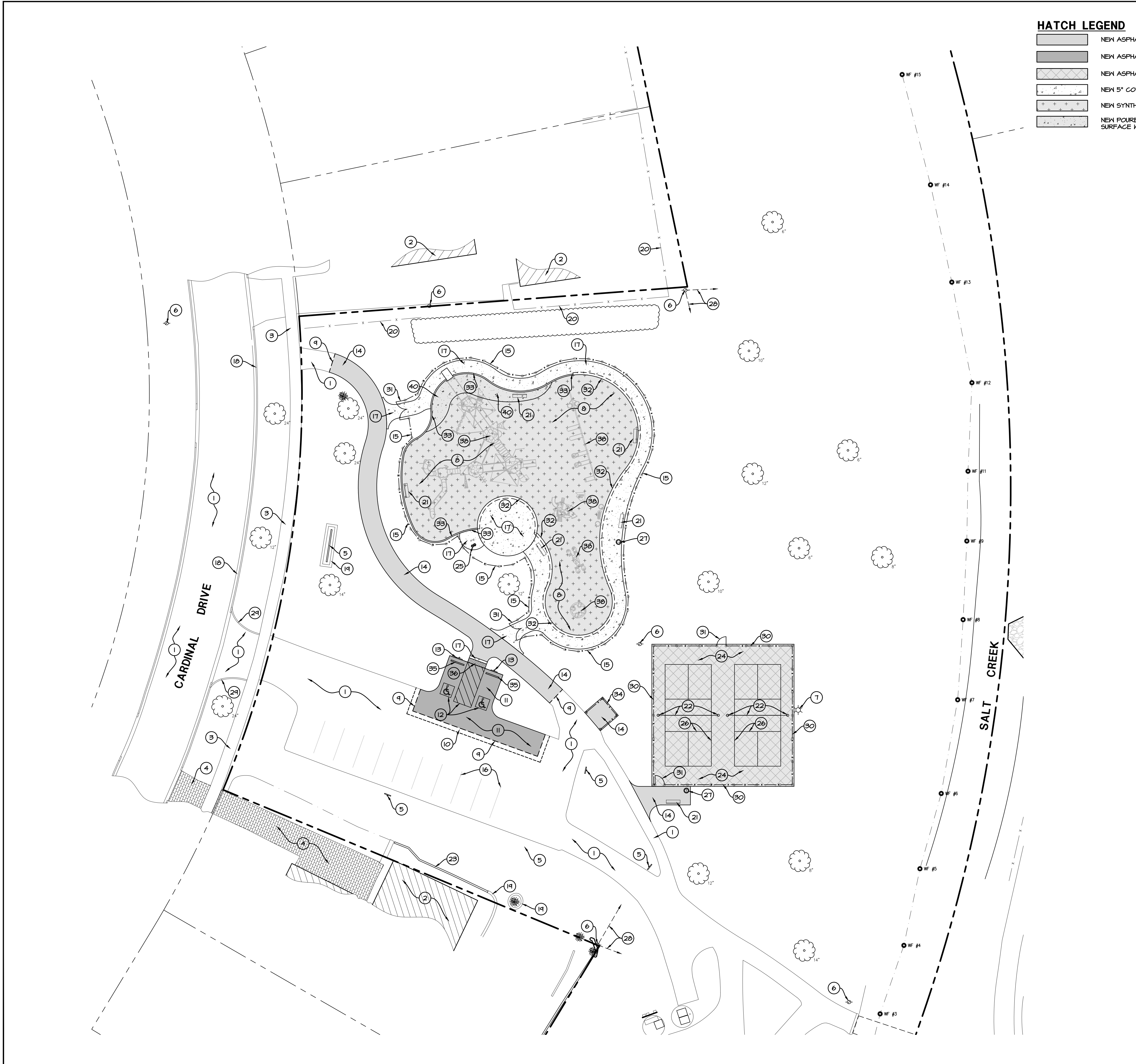
T-1.0
TITLESHEET

CARDINAL PARK
INCLUSIVE PLAYGROUND
2708 CARDINAL DRIVE
ROLLING MEADOWS, IL 60008

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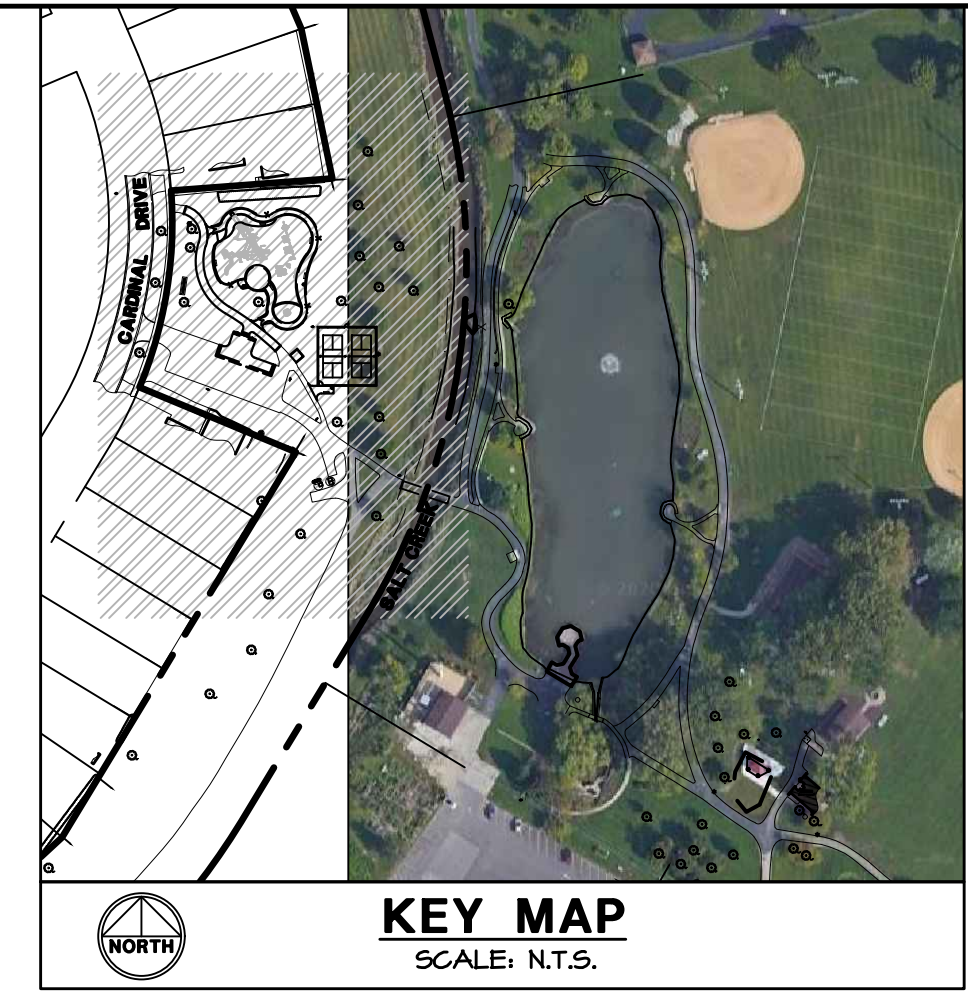
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HATCH LEGEND

	NEW ASPHALT PAVEMENT - PEDESTRIAN
	NEW ASPHALT PAVEMENT - VEHICULAR
	NEW ASPHALT PAVEMENT - PICKLEBALL COURT
	NEW 5' CONCRETE PAVING
	NEW SYNTHETIC TURF PLAYGROUND SURFACE
	NEW POURED IN PLACE RUBBER SURFACE WITH CONCRETE BASE

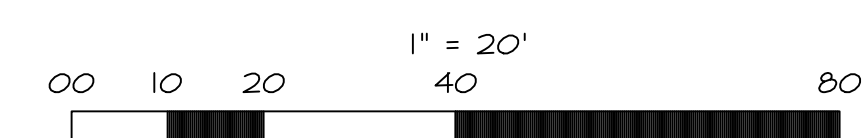


SITE DEVELOPMENT NOTES:

- EXISTING CONDITIONS AND TOPOGRAPHY SHOWN REPRESENTS SITE CONDITIONS PER THE BOUNDARY AND TOPOGRAPHIC SURVEY LAST DATED 09-06-19 AND 12-16-20, PREPARED BY WT GROUP. CONTRACTOR SHALL FIELD VERIFY EXISTING ELEVATIONS AND CONDITIONS (INCLUDING BUT NOT LIMITED TO VERIFICATION OF CONTROL AND ALL UTILITIES WHETHER DEPICTED OR NOT) PRIOR TO CONSTRUCTION AND NOTIFY ENGINEER OF ANY DISCREPANCIES.
- CONTRACTOR SHALL NOTIFY THE ENGINEER OF ANY DISCREPANCIES WITH THE LANDSCAPE ARCHITECTURAL PLANS.
- SEE THE ARCHITECTURAL PLANS FOR THE DESIGN OF ALL BUILDING ENTRIES.
- CONSTRUCTION SURVEY AND STAKEOUT SHALL BE THE RESPONSIBILITY OF THE CONTRACTOR.
- ALL EXISTING TREES SHOWN ARE TO REMAIN UNLESS OTHERWISE NOTED.
- CONTRACTOR SHALL RESTORE ALL DISTURBED AREAS OUTSIDE OF CONSTRUCTION LIMITS TO ORIGINAL CONDITION OR BETTER.
- ASPHALT PAVEMENT MARKINGS SHALL BE MADE WITH HIGH QUALITY PAINT CONFORMING TO ARTICLE 108.02 OF THE IDOT STANDARD SPECIFICATIONS.
- CONTRACTOR SHALL RESTORE ALL DISTURBED GREEN SPACES WITH 6" OF TOPSOIL, SEED, AND EROSION CONTROL BLANKET.
- CONTRACTOR SHALL REPAIR AT HIS EXPENSE ANY DAMAGE TO EXISTING ASPHALT, CONCRETE, CURBS, SIDEWALKS, ETC., RESULTING FROM CONSTRUCTION TRAFFIC AND/OR OPERATIONS. REPAIRS SHALL BE MADE TO THE SATISFACTION OF THE OWNER AND/OR ENGINEER.
- CONTRACTOR SHALL RE-STRIPE ALL STRIPING DISTURBED WITHIN THE EXISTING ROADWAYS/PARKING LOT TO MATCH EXISTING.
- CONTRACTOR SHALL HIRE A PRIVATE UTILITY LOCATOR TO LOCATE UTILITIES PRIOR TO CONSTRUCTION AND SHALL CONTACT THE SITE ENGINEER IF A CONFLICT EXISTS.
- ALL ITEMS MARKED "EXISTING" TO BE PROTECTED FROM DAMAGE FOR THE DURATION OF CONSTRUCTION.
- ALL EXISTING SUBGRADE TO BE SCARIFIED (DISKED) TO A DEPTH OF 12" AND RE-COMPACTED, AND THEN TESTED USING A DYNAMIC CONE PENETROMETER. SEE GEOTECHNICAL REPORT FOR ADDITIONAL REQUIREMENTS.

DEVELOPMENT NOTES

- EXISTING ASPHALT PAVEMENT TO REMAIN.
- EXISTING BUILDING TO REMAIN.
- EXISTING CONCRETE PAVEMENT TO REMAIN.
- EXISTING BRICK PAVERS TO REMAIN.
- EXISTING SIGN TO REMAIN.
- EXISTING UTILITY POLE TO REMAIN.
- EXISTING AREA LIGHT TO REMAIN.
- NEW SYNTHETIC TURF PLAYGROUND SURFACE (SEE LANDSCAPE ARCHITECTURAL PLANS FOR DETAILS).
- NEW FULL DEPTH SAWCUT OF EXISTING ASPHALT TO PROVIDE CLEAN CONSTRUCTION BREAK.
- NEW 2" BUTT JOINT.
- NEW ASPHALT PAVEMENT - VEHICULAR (SEE LANDSCAPE ARCHITECTURAL PLANS FOR DETAILS).
- NEW ACCESSIBLE PARKING SPACE STRIPING AND SYMBOL.
- NEW ACCESSIBLE PARKING SIGN.
- NEW ASPHALT PAVEMENT - PEDESTRIAN (SEE LANDSCAPE ARCHITECTURAL PLANS FOR DETAILS).
- NEW PLAYGROUND FENCE. (SEE LANDSCAPE ARCHITECTURAL PLANS FOR DETAILS).
- EXISTING PAVEMENT STRIPING TO REMAIN.
- NEW 5' CONCRETE PAVING (SEE LANDSCAPE ARCHITECTURAL PLANS FOR DETAILS).
- EXISTING CONCRETE CURB AND GUTTER TO REMAIN.
- EXISTING BLOCK RETAINING WALL TO REMAIN.
- EXISTING FENCE TO REMAIN.
- NEW BENCH. (SEE LANDSCAPE ARCHITECTURAL PLANS FOR DETAILS).
- NEW PICKLEBALL NET/POST. (SEE LANDSCAPE ARCHITECTURAL PLANS FOR DETAILS).
- EXISTING TIMBER RETAINING WALL TO REMAIN.
- NEW ASPHALT PAVEMENT - PICKLE BALL COURT.
- NEW DRINKING FOUNTAIN (SEE LANDSCAPE ARCHITECTURAL PLANS FOR DETAILS).
- NEW PICKLEBALL COURT STRIPING. (SEE LANDSCAPE ARCHITECTURAL PLANS FOR DETAILS).
- NEW TRASH BIN. (SEE LANDSCAPE ARCHITECTURAL PLANS FOR DETAILS).
- EXISTING GUY WIRE TO REMAIN.
- EXISTING CONCRETE CURB TO REMAIN.
- NEW PICKLE BALL COURT FENCE. (SEE LANDSCAPE ARCHITECTURAL PLANS FOR DETAILS).
- NEW GATE. (SEE LANDSCAPE ARCHITECTURAL PLANS FOR DETAILS).
- NEW THICKENED EDGE CONCRETE WALK. (SEE LANDSCAPE ARCHITECTURAL PLANS FOR DETAILS).
- NEW PLAYGROUND CURB. (SEE LANDSCAPE ARCHITECTURAL PLANS FOR DETAILS).
- NEW WOOD FENCE. (SEE LANDSCAPE ARCHITECTURAL PLANS FOR DETAILS).
- NEW PARKING BUMPER (SEE LANDSCAPE ARCHITECTURAL PLANS FOR DETAILS).
- NEW DETECTABLE WARNING PLATE.
- NEW FULL DEPTH SAWCUT OF EXISTING CONCRETE TO PROVIDE CLEAN CONSTRUCTION BREAK. SAWCUT AT NEAREST JOINT.
- NEW PLAYGROUND EQUIPMENT (SEE LANDSCAPE ARCHITECTURAL PLANS FOR DETAILS).
- PLAYGROUND SURFACE TRANSITION ZONE. (SEE LANDSCAPE ARCHITECTURAL PLANS FOR DETAILS).
- NEW POURED IN PLACE RUBBER SURFACE WITH CONCRETE BASE. (SEE LANDSCAPE ARCHITECTURAL PLANS FOR DETAILS)
- EXISTING WOOD DECK TO REMAIN.
- EXISTING PEDESTRIAN BRIDGE TO REMAIN.
- EXISTING STONE RETAINING WALL TO REMAIN.
- EXISTING MODULAR BLOCK RETAINING WALL TO REMAIN.
- EXISTING RIP RAP TO REMAIN.
- REINSTALL STONE RETAINING WALL.
- REINSTALL MODULAR BLOCK RETAINING WALL.
- EXISTING WOOD SPLIT RAIL FENCE TO REMAIN.
- NEW WOOD SPLIT RAIL FENCE.



WT GROUP
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CARDINAL PARK
 INCLUSIVE PLAYGROUND
 2708 CARDINAL DRIVE
 ROLLING MEADOWS, IL 60008

ISSUE

TO	DATE
100% DD	9-15-20
50%CD	9-29-20
50%CD	12-10-20
100%CD	1-4-21
PERMIT	1-11-21
MWRD	3-3-21
FOR BID	3-15-21

CHECK: CMS
 DRAWN: AI
 JOB: 2000599C

C-4.0
 SITE DEVELOPMENT PLAN



GRADING LEGEND

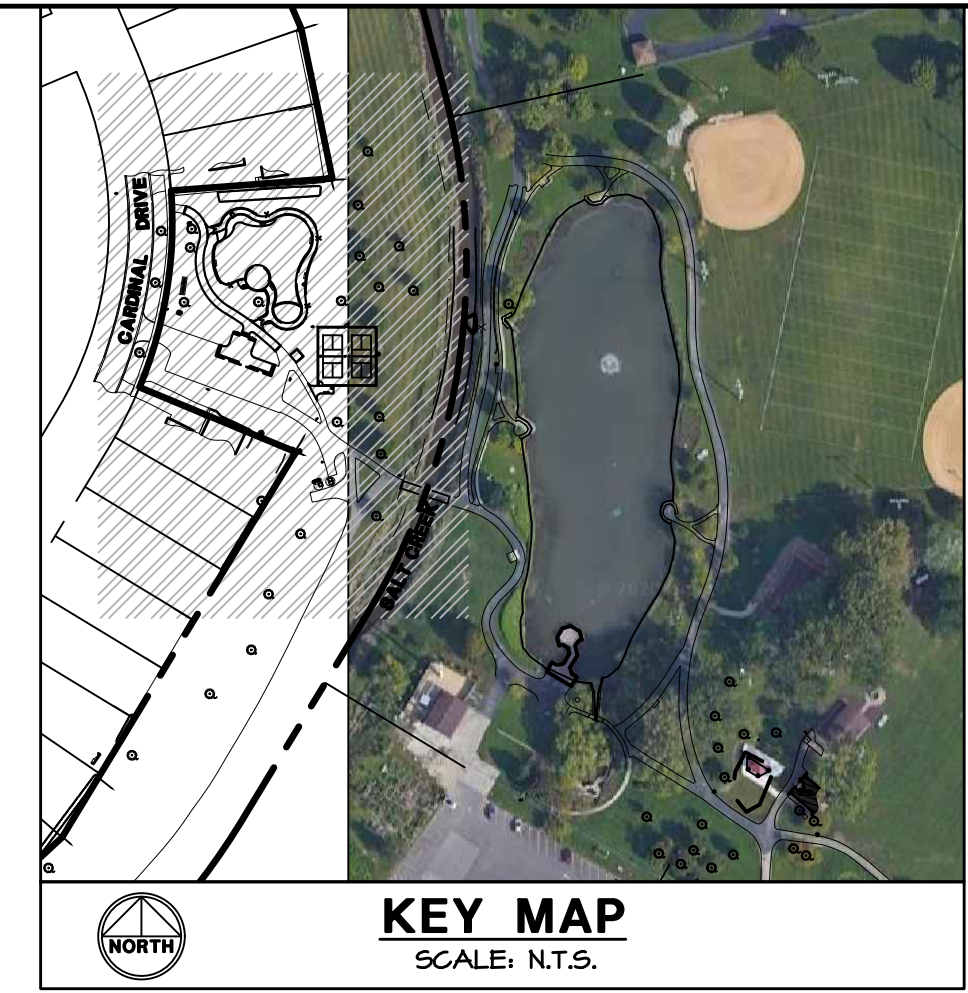
- EXISTING SPOT GRADE
- PROPOSED SPOT GRADE
- INTERPOLATED SPOT GRADE
- PROPOSED RIM ELEVATION
- EXISTING CONTOUR LINE
- PROPOSED CONTOUR LINE
- OVERLAND FLOW ARROW
- 100 YEAR OVERLAND FLOW ROUTE
- EMERGENCY OVERFLOW ARROW
- TOP OF PAVEMENT ELEVATION
- TOP OF SIDEWALK ELEVATION
- FINISHED GRADE ELEVATION
- FINISHED FLOOR ELEVATION
- TOP OF CURB ELEVATION
- FLOW LINE ELEVATION
- ADJUST EXISTING RIM ELEVATION
- EXISTING CLOSED MANHOLE
- EXISTING OPEN GRATE MANHOLE
- EXISTING CLOSED MANHOLE
- EXISTING OPEN GRATE MANHOLE
- EXISTING CURB INLET
- EXISTING VALVE VAULT
- EXISTING B-BOX
- PROPOSED INLET
- PROPOSED OPEN LID MANHOLE / CATCH BASIN
- PROPOSED CLOSED LID MANHOLE
- PROPOSED RESTRICTOR STRUCTURE
- PROPOSED NYLOPLAST DRAIN BASIN
- PROPOSED FLARED END SECTION
- FLOOD PLAIN BOUNDARY
- WETLAND BOUNDARY
- WETLAND FLAG

HATCH LEGEND

- NEW ASPHALT PAVEMENT - PEDESTRIAN
- NEW ASPHALT PAVEMENT - VEHICULAR
- NEW ASPHALT PAVEMENT - PICKLEBALL COURT
- NEW 5" CONCRETE PAVING
- NEW SYNTHETIC TURF PLAYGROUND SURFACE
- NEW POURED IN PLACE RUBBER SURFACE WITH CONCRETE BASE

EXISTING UTILITY DATA

- RIM=709.54' (SANITARY)
36" CONCRETE STRUCTURE
INV=703.82' (8" CLAY N/S)
- RIM=709.65' (WATER)
48" CONCRETE STRUCTURE
706.30' AT TOP OF 1" COPPER E/W
- RIM=708.63' (STORM)
36" CONCRETE STRUCTURE
INV=701.53' (8" PVC NE)
INV=702.03' (8" PVC W)
- RIM=709.32' (STORM)
48" CONCRETE STRUCTURE
INV=700.52' (24" RCP N)
INV=700.32' (30" RCP E)
INV=700.99' (8" PVC SE)
INV=701.69' (8" RCP SW)
- RIM=708.82' (STORM)
24" CONCRETE STRUCTURE
INV=702.87' (8" PVC E)
- RIM=705.33' (SANITARY)
48" CONCRETE STRUCTURE
INV=697.46' (15" RCP NW/SW)
- RIM=705.52' (SANITARY)
48" CONCRETE STRUCTURE
INV=696.54' (15" CLAY N)
INV=696.57' (15" CLAY SE)
- RIM=706.44' (SANITARY)
LIFT STATION
UNABLE TO OPEN LOCKED
- RIM=706.32' (SANITARY)
LIFT STATION
UNABLE TO OPEN LOCKED



SITE GRADING NOTES:

- A. EXISTING CONDITIONS AND TOPOGRAPHY SHOWN REPRESENTS SITE CONDITIONS PER THE BOUNDARY AND TOPOGRAPHIC SURVEY LAST DATED 04-06-14 AND 12-16-20, PREPARED BY (SURVEYOR). CONTRACTOR SHALL FIELD VERIFY EXISTING ELEVATIONS AND CONDITIONS (INCLUDING BUT NOT LIMITED TO VERIFICATION OF CONTROL AND ALL UTILITIES WHETHER EXISTED OR NOT) PRIOR TO CONSTRUCTION AND NOTIFY ENGINEER OF ANY DISCREPANCIES.
- B. ALL PROPOSED GRADES ARE GIVEN TO FINISHED GRADE, I.E. TOP OF PROPOSED ASPHALT, CONCRETE, TOP OF PROPOSED CURB, ETC. SEE DETAILS FOR PAVEMENT THICKNESS.
- C. CONTRACTOR SHALL CONTACT JULLIE (811 OR 1-800-842-0123) AND PRIVATE LOCATING SERVICE TO LOCATE ALL UNDERGROUND UTILITY LINES PRIOR TO STARTING ANY DEMOLITION AND/OR EXCAVATION. EXACT LOCATIONS OF ANY EXISTING ELECTRIC, GAS, TELEPHONE, ETC. LINES ARE UNKNOWN.
- D. CONTRACTOR SHALL ENSURE POSITIVE SITE DRAINAGE AT THE END OF EACH WORKING DAY DURING CONSTRUCTION OPERATIONS. FAILURE TO PROVIDE ADEQUATE DRAINAGE WILL PRECLUDE THE CONTRACTOR FROM ANY POSSIBLE COMPENSATION REQUESTED DUE TO DELAYS OR UNSUITABLE MATERIALS CREATED AS A RESULT.
- E. CONTRACTOR SHALL RESTORE ALL DISTURBED AREAS OUTSIDE OF CONSTRUCTION LIMITS TO ORIGINAL CONDITION OR BETTER.
- F. CONTRACTOR SHALL REPAIR ALL HIS EXPENSE ANY DAMAGE TO EXISTING ASPHALT, CONCRETE, CURBS, SIDEWALKS, ETC. RESULTING FROM CONSTRUCTION TRAFFIC AND/OR OPERATIONS. REPAIRS SHALL BE MADE TO THE SATISFACTION OF THE OWNER AND/OR ENGINEER.
- G. CONTRACTOR TO UTILIZE CARE WHEN WORKING NEAR EXISTING UTILITIES TO REMAIN. ANY DAMAGE TO EXISTING UTILITIES NOT NOTED TO BE REMOVED SHALL BE REPAIRED AT CONTRACTOR'S EXPENSE TO THE SATISFACTION OF THE OWNER AND/OR ENGINEER.
- H. ALL EXISTING TREES SHOWN ARE TO REMAIN UNLESS OTHERWISE NOTED.
- I. ALL HANDICAP ACCESSIBLE ROUTES (SIDEWALKS, WALKWAYS, PAVEMENTS, ETC.) SHALL MAINTAIN A MAXIMUM CROSS SLOPE OF 2.00% AND A MAXIMUM LONGITUDINAL SLOPE OF 5.00%. ACCESSIBLE PARKING STALLS SHALL MAINTAIN A MAXIMUM SLOPE OF 2.00% IN ALL DIRECTIONS.
- J. VOIDS LEFT BY ANY ITEM REMOVED UNDER ANY PROPOSED BUILDING, PAVEMENT OR WALK OR WITHIN 24" THEREOF SHALL BE BACKFILLED WITH ENGINEERED FILL ACCORDING TO THE GEOTECHNICAL REPORT.
- K. ALL FIRE ACCESS LANES WITHIN THE PROJECT AREA SHALL REMAIN IN SERVICE, CLEAN OF DEBRIS, AND ACCESSIBLE FOR USE BY EMERGENCY VEHICLES.
- L. CONSTRUCTION ACCESS POINTS TO THE SITE SHALL BE PROTECTED IN SUCH A MANNER AS TO PREVENT TRACKING OF MUD OR SOIL ONTO PUBLIC THOROUGHFARES. ALL SEDIMENT SPILLED, DROPPED, WASHED OR TRACKED ONTO PUBLIC RIGHTS-OF-WAY MUST BE REMOVED IMMEDIATELY BY THE CONTRACTOR.
- M. ALL EXISTING SUBGRADE TO BE SCARIFIED (DISKED) TO A DEPTH OF 12" AND RE-COMPACTED, AND THEN TESTED USING A DYNAMIC CONE PENETROMETER. SEE GEOTECHNICAL REPORT FOR ADDITIONAL REQUIREMENTS.
- N. ALL EXCESS SOILS THAT CANNOT BE USED AS SUITABLE FILL SHALL BE HAULED FROM THE SITE AND LEGALLY DISPOSED OF.
- O. CONTRACTOR TO PROVIDE SOIL TESTING SERVICES FOR COMPLETION OF THE ILLINOIS ENVIRONMENTAL PROTECTION AGENCY'S LFC-662 AND/OR LFC-663 FORMS AS PART OF THEIR CONTRACT.
- P. PREPARE SUBGRADE AS SPECIFIED WITHIN THE GEOTECHNICAL REPORT DATED DECEMBER 24, 2020 PREPARED BY SMC, INC.
- Q. ALL TOPSOIL BENEATH PROPOSED STRUCTURES AND PAVEMENT SHALL BE REMOVED, REFER TO THE GEOTECHNICAL REPORT DATED DECEMBER 24, 2020 PREPARED BY SMC, INC. FOR EXISTING TOPSOIL DEPTHS.

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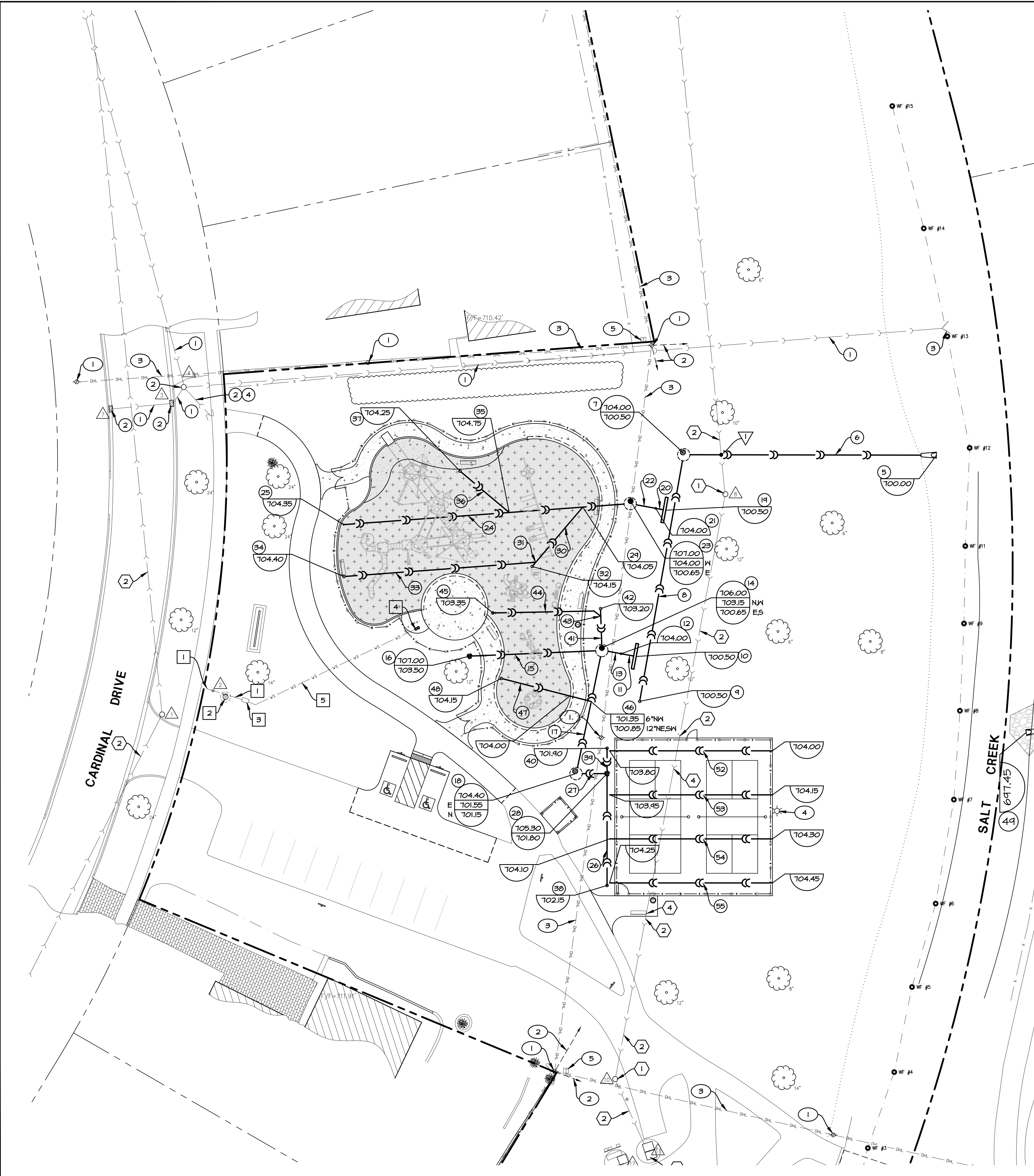
CARDINAL PARK
 INCLUSIVE PLAYGROUND
 2708 CARDINAL DRIVE
 ROLLING MEADOWS, IL 60008

ISSUE

TO	DATE
100% DD	9-15-20
50% CD	9-29-20
50% CD	12-10-20
100% CD	1-4-21
PERMIT	1-11-21
MWRD	3-3-21
FOR BID	3-15-21

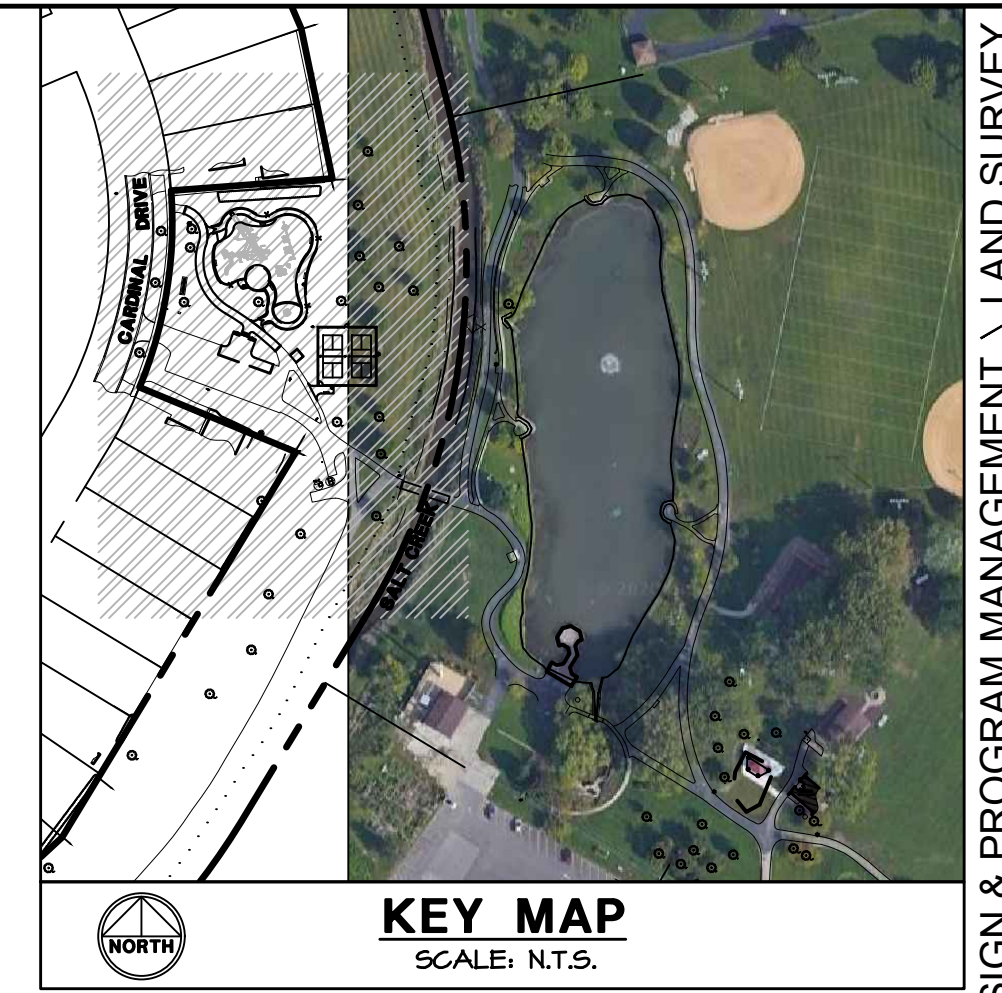
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C-5.0
 SITE GRADING PLAN



UTILITY LEGEND

- >--->---> EXISTING STORM SEWER
- >--->---> PROPOSED STORM SEWER
- >--->---> EXISTING SANITARY SEWER
- >--->---> EXISTING WATER MAIN
- >--->---> EXISTING OVERHEAD LINES
- PROPOSED RIM ELEVATION
- PROPOSED INVERT ELEVATION
- ADJUST ADJUST EXISTING RIM ELEVATION
- EXISTING CLOSED MANHOLE
- EXISTING OPEN GRATE MANHOLE
- EXISTING CURB INLET
- EXISTING VALVE VAULT
- EXISTING B-BOX
- EXISTING AREA LIGHT
- PROPOSED INLET
- PROPOSED OPEN LID MANHOLE / CATCH BASIN
- PROPOSED CLOSED LID MANHOLE
- PROPOSED NYLOPLAST DRAIN BASIN
- PROPOSED FLARED END SECTION



SITE UTILITY NOTES:

- A. CONTRACTOR SHALL CONTACT JULIE (811 OR 1-800-842-0123) AND PRIVATE LOCATING SERVICE TO LOCATE ALL UNDERGROUND UTILITY LINES PRIOR TO STARTING ANY DEMOLITION AND/OR EXCAVATION. EXACT LOCATIONS OF ANY EXISTING ELECTRIC, GAS, TELEPHONE, ETC. LINES ARE UNKNOWN.
- B. CONTRACTOR TO UTILIZE CARE WHEN WORKING NEAR EXISTING UTILITIES TO REMAIN. ANY DAMAGE TO EXISTING UTILITIES NOT NOTED TO BE REMOVED SHALL BE REPAIRED AT THE CONTRACTOR'S EXPENSE AND TO THE SATISFACTION OF THE OWNER AND/OR ENGINEER.
- C. CONTRACTOR SHALL EXCAVATE AND VERIFY IN FIELD ALL EXISTING UTILITY LOCATIONS, SIZES, CONDITIONS AND ELEVATIONS AT PROPOSED POINTS OF CONNECTION PRIOR TO ANY UNDERGROUND CONSTRUCTION. CONTRACTOR SHALL NOTIFY THE OWNER AND ENGINEER OF ANY DISCREPANCIES OR CONFLICTS PRIOR TO PROCEEDING WITH CONSTRUCTION.
- D. REFER TO THE GENERAL NOTES AND SPECIFICATION SHEETS FOR ALL PIPE MATERIAL AND JOINT SPECIFICATIONS.
- E. CONTRACTOR SHALL RESTORE ALL DISTURBED AREAS OUTSIDE OF CONSTRUCTION LIMITS TO ORIGINAL CONDITION OR BETTER.
- F. CONTRACTOR SHALL VERIFY IN FIELD EXACT SIZE, MATERIAL, INVERT, PIPE ROUTING AND SLOPE OF ALL EXISTING UTILITIES AND NOTIFY THE OWNER AND ENGINEER OF ANY DISCREPANCIES OR CONFLICTS PRIOR TO CONSTRUCTION.
- G. THE CONTRACTOR IS RESPONSIBLE FOR THE STABILITY OF UTILITY TRENCHES DURING CONSTRUCTION AND SHALL PROVIDE TEMPORARY SHORING AND BRACING AS NECESSARY TO MAINTAIN STABILITY UNTIL CONSTRUCTION OF THE UTILITY IS COMPLETE IN ORDER TO MEET OSHA AND LOCAL CODES, AS WELL AS MANUFACTURER'S REQUIREMENTS.
- H. ALL RCP STORM SEWER PIPE SHALL BE REINFORCED CONCRETE PIPE, CLASS IV, PER ASTM C-76 WITH FLEXIBLE (G-RING) GASKET JOINTS IN CONFORMANCE WITH ASTM C-443 AND SECTION 31-1.08 OF THE "STANDARD SPECIFICATIONS".
- I. TRENCH BACKFILL MATERIAL SHALL BE PLACED AND COMPACTED TO A MINIMUM OF 95% MODIFIED PROCTOR DENSITY (ASTM D-1557) OVER ALL UNDERGROUND UTILITIES WHICH ARE CONSTRUCTED UNDER OR WITHIN 2 FEET OF ANY PROPOSED OR EXISTING PAVEMENT OR SIDEWALKS IN ACCORDANCE WITH THE STANDARD SPECIFICATIONS FOR ROAD AND BRIDGE CONSTRUCTION.
- J. ADJUST RIM ELEVATIONS OF EXISTING STRUCTURES IN PAVEMENT AS NECESSARY TO MEET PROPOSED FINISHED GRADE.
- K. CONTRACTOR TO COORDINATE ALL CONNECTIONS TO CITY UTILITIES AND STORM SEWERS WITH THE PUBLIC WORKS DEPARTMENT.
- L. CONTRACTOR TO USE CAUTION WHEN EXCAVATING AT EXISTING UTILITY LINES.
- M. ALL STORM MANHOLES SHALL HAVE OPEN LIDS UNLESS OTHERWISE SPECIFIED.
- N. ALL EXISTING UTILITIES TO BE ABANDONED IN PLACE SHALL BE CAPPED WITH 2' LONG (MIN.) NON-SHRINK CONCRETE MORTAR PLUGS AT BOTH ENDS.

STORM SEWER

1. EXISTING STORM SEWER TO REMAIN.
2. EXISTING STORM STRUCTURE AND ASSOCIATED PIPES TO REMAIN.
3. EXISTING FLARED END SECTION TO REMAIN.
4. CONTRACTOR TO TRACE UTILITY ROUTINGS PRIOR TO CONSTRUCTION. NOTIFY ENGINEER IMMEDIATELY IF CONFLICTS EXIST.
5. NEW 12" FLARED END SECTION WITH TRASH GRATE.
6. NEW 12" HDPE, 42 L.F. @ 0.54% SLOPE.
7. NEW 48" DIA. PRECAST CONCRETE CATCH BASIN.
8. NEW 4" PERFORATED HDPE, 45 L.F. @ 0.0% SLOPE.
9. NEW OBSERVATION WELL.
10. NEW 12" PERFORATED HDPE LEVEL SPREADER, 10 L.F. @ 0.0% SLOPE.
11. NEW 12" HDPE, 5 L.F. @ 1.15% SLOPE.
12. NEW 6" HDPE RISER PIPE WITH OPEN GRATE (NDS MODEL #50). CONNECT RISER TO NEW STORM SEWER WITH 12"x12"x6" TEE.
13. NEW 12" HDPE, 8 L.F. @ 1.15% SLOPE.
14. NEW 48" PRECAST CONCRETE CATCH BASIN WITH SNOUT AND SOLID LID.
15. NEW 12" HDPE, 32 L.F. @ 1.04% SLOPE.
16. NEW 24" DIA. PRECAST CONCRETE INLET.
17. NEW 12" HDPE, 50 L.F. @ 1.02% SLOPE.
18. NEW 48" DIA. PRECAST CONCRETE CATCH BASIN.
19. NEW 8" PERFORATED HDPE LEVEL SPREADER, 10 L.F. @ 0.0% SLOPE.
20. NEW 8" HDPE, 3 L.F. @ 1.07% SLOPE.
21. NEW 6" HDPE RISER PIPE WITH OPEN GRATE (NDS MODEL #50). CONNECT RISER TO NEW STORM SEWER WITH 8"x8"x6" TEE.
22. NEW 8" HDPE, 11 L.F. @ 1.07% SLOPE.
23. NEW 48" PRECAST CONCRETE CATCH BASIN WITH SNOUT AND SOLID LID.
24. NEW 6" PERFORATED HDPE, 112 L.F. @ 0.31% SLOPE.
25. NEW PLAYGROUND CLEANOUT.
26. NEW 8" PERFORATED HDPE, 43 L.F. @ 0.81% SLOPE.
27. NEW 8" HDPE, 12 L.F. @ 2.00% SLOPE.
28. NEW 24" DIA. PRECAST CONCRETE INLET.
29. NEW 6"x6" NYE FITTING.
30. NEW 6" PERFORATED HDPE, 30 L.F. @ 0.33% SLOPE.
31. NEW 6"x6" NYE FITTING.
32. NEW PLAYGROUND CLEANOUT.
33. NEW 6" PERFORATED HDPE, 75 L.F. @ 0.33% SLOPE.
34. NEW PLAYGROUND CLEANOUT.
35. NEW 6"x6" NYE FITTING.
36. NEW 6" PERFORATED HDPE, 24 L.F. @ 0.42% SLOPE.
37. NEW PLAYGROUND CLEANOUT.
38. NEW CLEANOUT.
39. NEW 8" PERFORATED HDPE, 10 L.F. @ 1.00% SLOPE.
40. NEW CLEANOUT.
41. NEW 6" HDPE, 15 L.F. @ 0.33% SLOPE.
42. NEW CLEANOUT.
43. NEW 6"x6" NYE FITTING.
44. NEW 6" PERFORATED HDPE, 42 L.F. @ 0.36% SLOPE.
45. NEW PLAYGROUND CLEANOUT.
46. NEW 12"x6" RISER CONNECTION.
47. NEW 6" PERFORATED HDPE, 35 L.F. @ 0.43% SLOPE.
48. NEW PLAYGROUND CLEANOUT.
49. NEW 12" FLARED END SECTION WITH TRASH GRATE.
50. NEW 12" RCP, 35 L.F. @ 0.37% SLOPE.
51. NEW 12" FLARED END SECTION WITH TRASH GRATE.
52. NEW 1"x12" HYDRANWAY 2000 FLAT DRAIN, 64 L.F. @ 0.31% SLOPE.
53. NEW 1"x12" HYDRANWAY 2000 FLAT DRAIN, 64 L.F. @ 0.31% SLOPE.
54. NEW 1"x12" HYDRANWAY 2000 FLAT DRAIN, 64 L.F. @ 0.31% SLOPE.
55. NEW 1"x12" HYDRANWAY 2000 FLAT DRAIN, 64 L.F. @ 0.31% SLOPE.

EXISTING UTILITY DATA

- 1. RIM=709.54' (SANITARY)
- 2. 36" CONCRETE STRUCTURE
- 3. INV=708.92' (8" CLAY N/S)
- 4. RIM=709.65' (WATER)
- 5. 48" CONCRETE STRUCTURE
- 6. 706.30' AT TOP OF 1" COPPER E/W
- 7. RIM=708.63' (STORM)
- 8. 36" CONCRETE STRUCTURE
- 9. INV=708.53' (8" PVC N/S)
- 10. INV=702.03' (8" PVC W)
- 11. RIM=709.32' (STORM)
- 12. 48" CONCRETE STRUCTURE
- 13. INV=700.52' (24" RCP N)
- 14. INV=700.32' (30" RCP E)
- 15. INV=700.99' (6" PVC SE)
- 16. INV=701.69' (8" RCP SW)
- 17. RIM=708.82' (STORM)
- 18. 24" CONCRETE STRUCTURE
- 19. INV=702.97' (8" PVC E)
- 20. RIM=705.33' (SANITARY)
- 21. 48" CONCRETE STRUCTURE
- 22. INV=697.46' (15" RCP NW/SW)
- 23. RIM=705.52' (SANITARY)
- 24. 48" CONCRETE STRUCTURE
- 25. INV=696.54' (15" CLAY N)
- 26. INV=696.57' (15" CLAY SE)
- 27. RIM=706.44' (SANITARY)
- 28. LIFT STATION
- 29. UNABLE TO OPEN LOCKED
- 30. RIM=706.32' (SANITARY)
- 31. LIFT STATION
- 32. UNABLE TO OPEN LOCKED

SANITARY

1. EXISTING SANITARY STRUCTURE AND ASSOCIATED PIPES TO REMAIN.
2. EXISTING SANITARY SEWER TO REMAIN.
3. EXISTING SANITARY LIFT STATION TO REMAIN.
4. EXCAVATE TO SANITARY SEWER MAIN AND BACK FILL TRENCH AS SPECIFIED ON THE RIGID PIPE TRENCH DETAIL ON SHEET C-51 FOR LOCATIONS WHICH PAVEMENT CROSSES OVER THE SANITARY SEWER. PROTECT THE SANITARY SEWER DURING CONSTRUCTION.

WATER

- GENERAL WATER NOTES:
- ALL FITTINGS SHALL HAVE MECHANICAL JOINTS
 - RESTRAINED BY MEGALUG GLANDS.
 - CONTRACTOR SHALL COORDINATE WATER TAPS WITH THE VILLAGE PUBLIC WORKS DEPARTMENT PRIOR TO CONSTRUCTION.
1. EXISTING WATER MAIN TO REMAIN.
 2. EXISTING VALVE VAULT TO REMAIN.
 3. EXISTING RPZ ENCLOSURE TO REMAIN.
 4. NEW WATER FOUNTAIN, CONNECT TO EXISTING WATER SERVICE WITH ALL FITTINGS REQUIRED. (SEE LANDSCAPE ARCHITECTURAL PLANS FOR DETAILS).
 5. EXISTING WATER SERVICE TO REMAIN. CONTRACTOR TO VERIFY LOCATION AND DEPTH PRIOR TO CONSTRUCTION.

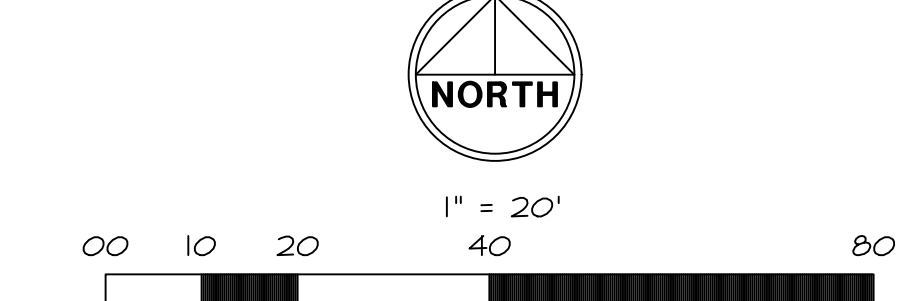
MISC. UTILITY

1. EXISTING UTILITY POLE AND ASSOCIATED OVERHEAD LINES TO REMAIN.
2. EXISTING GUY WIRE TO REMAIN.
3. EXISTING OVERHEAD LINES TO REMAIN.
4. EXISTING AREA LIGHT TO REMAIN.
5. EXISTING TELEPHONE PEDESTAL TO REMAIN.

PIPE CROSSING INFORMATION

CONTRACTOR TO FIELD VERIFY CROSSINGS. IF FIELD CONDITIONS PROHIBIT 18" OF CLEARANCE BETWEEN PROPOSED STORM SEWER AND EXISTING WATER MAIN, NOTIFY ENGINEER PRIOR TO PROCEEDING. FOLLOW IEPA WATER-SEWER SEPARATION REQUIREMENTS. (V.I.F. - VERIFY IN FIELD)

- 1. GRADE ELEV. 705.0 +/-
- 2. BOT OF 12" STORM = 700.3 +/-
- 3. TOP OF EX. 15" SAN = 699.0 +/- (V.I.F.)



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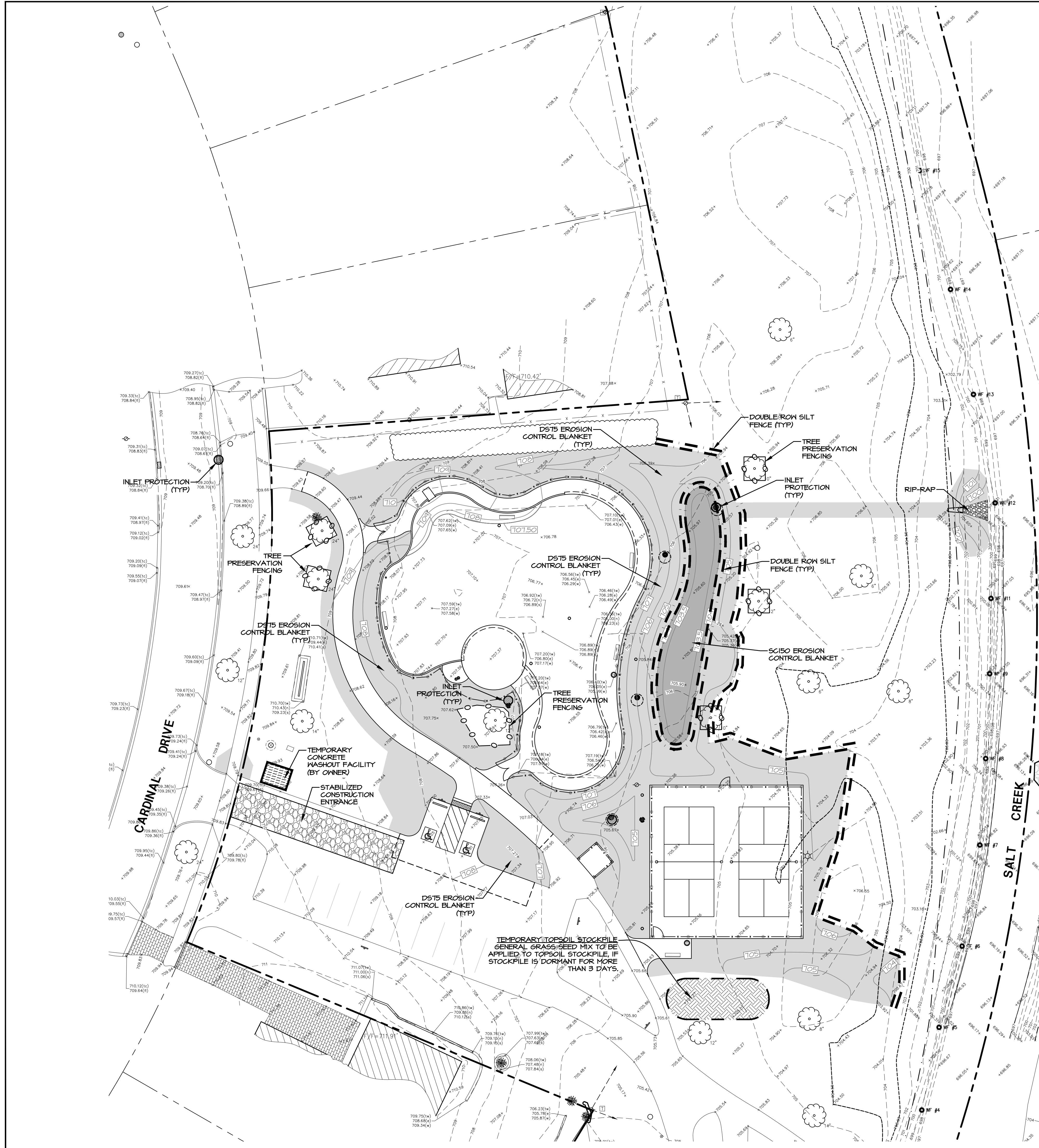
CARDINAL PARK
 INCLUSIVE PLAYGROUND
 2708 CARDINAL DRIVE
 ROLLING MEADOWS, IL 60008

ISSUE

TO	DATE
100% DD	9-15-20
50% CD	9-29-20
50% CD	12-10-20
100% CD	1-4-21
PERMIT	1-11-21
MWRD	3-3-21
FOR BID	3-15-21

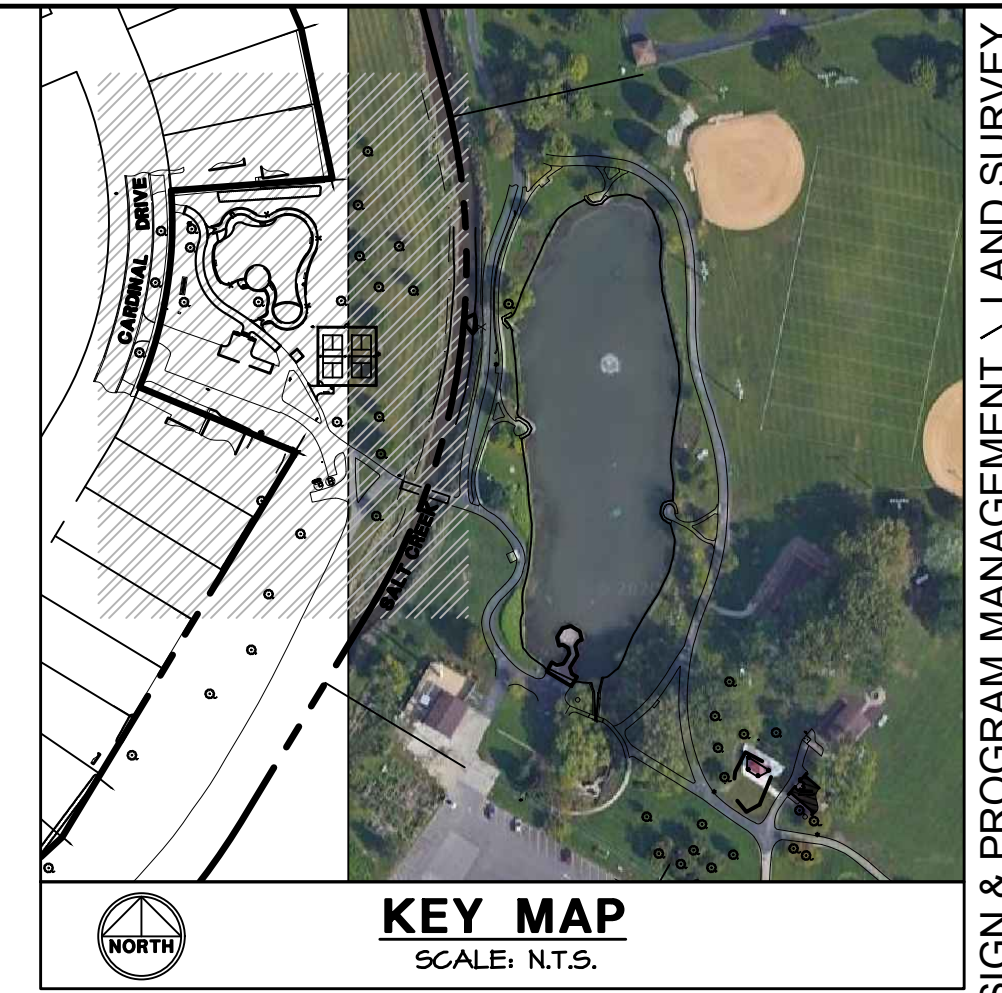
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C-6.0
 SITE UTILITY PLAN



SWPPP NOTES:

- A. ALL DISTURBED GREEN SPACES ON THE SITE SHALL BE RESTORED ACCORDING TO THE SEED BED PREPARATION SPECIFICATIONS BELOW AND BLANKETED OR MATTED AS SHOWN ON THE PLANS.
- B. TEMPORARY OR PERMANENT STABILIZATION SHALL OCCUR IMMEDIATELY WHENEVER EARTH DISTURBING ACTIVITIES HAVE PERMANENTLY OR TEMPORARILY CEASED ON ANY PORTION OF THE SITE. TEMPORARY STABILIZATION SHALL CONSIST OF THE INSTALLATION OF TEMPORARY SEEDING.
- C. CONTRACTOR TO INSTALL TEMPORARY CONSTRUCTION ENTRANCES AS NECESSARY TO EXCAVATE AREAS AND HAUL SOILS ON-SITE. TRACKING OF DEBRIS ON SITE WILL NOT BE TOLERATED. ANY DEBRIS LEFT OUTSIDE OF THE PROJECT LIMITS MUST BE CLEANED IMMEDIATELY.
- D. EROSION CONTROL BLANKETS AND TURF REINFORCEMENT MATS SHALL BE INSTALLED USING 6" BIG-STAKES AS MANUFACTURED BY NORTH AMERICAN GREEN. METAL STAKES AND STAPLES ARE PROHIBITED.
- E. CONTRACTOR SHALL PROVIDE ALL NECESSARY MAINTENANCE FOR THE SEDIMENT AND EROSION CONTROL MEASURES FOR THE DURATION OF THE PROJECT.
- F. CONTRACTOR SHALL BE RESPONSIBLE FOR PROVIDING ALL STORMWATER POLLUTION PREVENTION PLAN (SWPPP) INSPECTIONS, INSPECTION REPORTS, CORRECTIVE ACTION FORMS, SWPPP AMENDMENT LOGS, SUBCONTRACTOR CERTIFICATIONS/AGREEMENTS, GRADING AND STABILIZATION ACTIVITIES LOGS, SWPPP TRAINING LOGS, AND DELEGATION OF AUTHORITY FORMS FOR THE DURATION OF THE PROJECT.
- G. CONTRACTOR SHALL PROVIDE COPIES OF ALL SWPPP REPORTS, FORMS, AND LOGS TO THE WT GROUP ONCE THE SITE HAS BEEN STABILIZED. THE CONTRACTOR SHALL MAINTAIN THESE DOCUMENTS FOR A PERIOD OF 3 YEARS FROM THE FINAL STABILIZATION OF THE SITE.
- H. FOLLOWING THE REMOVAL OF THE SILT FENCE, THE CONTRACTOR SHALL RESTORE THE SILT FENCE TRENCH WITH TOPSOIL AND SOD.
- I. CONTRACTOR SHALL INITIATE STABILIZATION OF ALL DISTURBED AREAS WITHIN ONE CALENDAR DAY.
- J. SEED BED PREPARATION:
 - JA. ALL STONES, ROCKS, DEBRIS LARGER THAN 1" IN DIAMETER SHALL BE REMOVED.
 - JB. DISK OR TILL TOPSOIL TO A DEPTH OF 3" AND REDUCE ALL SOIL PARTICLES TO NO LARGER THAN 2". THE SURFACE SHALL BE FREE OF WEEDS, STONES, ROCKS, STICKS, GULLIES, CLODS, AND DEBRIS.
 - JC. THE AREA SHALL BE FINE GRADED.
 - JD. THE SEED SHALL BE PLACED INTO THE SOIL WITH A MACHINE THAT MECHANICALLY PLACES THE SEED IN DIRECT CONTACT WITH THE SOIL AND COVERS THE SEED WITH THE SOIL.
 - JE. BROADCAST AND HYDROSEED WILL NOT BE ALLOWED.
 - JF. SEEDED AREAS SHALL BE COVERED WITH THE EROSION BLANKET RIGHT AFTER THE SEED HAS BEEN SOWN.
 - JG. ANY SOIL AMENDMENTS NEEDED TO ACHIEVE A 40% HEALTHY STAND OF VEGETATION WILL BE ADDED TO THE SOIL AT NO EXTRA CHARGE TO THE OWNER. THE STAND OF VEGETATION WILL NEED TO BE ACCEPTED BY THE ENGINEER. THE SEED MIX SHALL BE KENTUCKY BLUEGRASS 100LBS/ACRE, REVERSE PERENNIAL RYEGRASS 60 LBS/ACRE, ANNUAL RYE 40 LBS/ACRE AND CREEPING RED FESCUE 40 LBS/ACRE TOTAL.



SWPPP LEGEND

- EXISTING SPOT GRADE
- EXISTING CONTOUR LINE
- PROPOSED CONTOUR LINE
- OVERLAND FLOW ARROW
- 100 YEAR OVERLAND FLOW ROUTE
- EMERGENCY OVERFLOW ARROW
- ADJUST EXISTING RIM ELEVATION
- EXISTING CLOSED MANHOLE
- EXISTING OPEN GRATE MANHOLE
- EXISTING CURB INLET
- EXISTING VALVE VAULT
- EXISTING B-BOX
- PROPOSED INLET
- PROPOSED OPEN LID MANHOLE / CATCH BASIN
- PROPOSED CLOSED LID MANHOLE
- PROPOSED RESTRICTOR STRUCTURE
- PROPOSED NYLOPLAST DRAIN BASIN
- PROPOSED FLARED END SECTION
- SILT FENCE
- FLEXSTORM CATCH-TIT INLET PROTECTION
- FINE GRADE, FERTILIZE, AND SEED. INSTALL D575 EROSION CONTROL BLANKET WITH 6" BIG-STAKES AS MANUFACTURED BY NORTH AMERICAN GREEN. FOLLOW MANUFACTURER'S INSTALLATION INSTRUCTIONS.
- TEMPORARY CONCRETE WASHOUT FACILITY (BY OWNER)
- TREE PRESERVATION FENCING (SEE LANDSCAPE ARCHITECTURAL PLANS FOR DETAILS)
- STABILIZED CONSTRUCTION ENTRANCE
- PROVIDE 18" SOIL MEDIA MIX, FINE GRADE, AND WETLAND PLANTINGS (SEE LANDSCAPE PLANS FOR MORE INFORMATION). INSTALL SC150 EROSION CONTROL BLANKET WITH 6" BIGSTAKES AS MANUFACTURED BY NORTH AMERICAN GREEN. FOLLOW MANUFACTURER'S INSTALLATION INSTRUCTIONS.
- TEMPORARY TOPSOIL STOCKPILE
- RIP RAP

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ISSUE

TO	DATE
100% DD	9-15-20
50% CD	9-29-20
50% CD	12-10-20
100% CD	1-4-21
PERMIT	1-11-21
MWRD	3-3-21
FOR BID	3-15-21

C-7.0
 STORMWATER
 POLLUTION PREVENTION
 PLAN

CHECK: CMS
 DRAWN: AI
 JOB: 2000599C









