

Title	Osage Park	12/05/2023
	by Jim Holder in Member District ADA Project Request	id. 44873339
	250 E Wood Street Palatine, Illinois 60067 United States 847-705-5131 ADAProjects@palatineparks.org	

Original Submission 12/05/2023

Score	n/a
Name	Jim Holder
Job Title	Superintendent of Parks & Planning
E-mail Address	adaprojects@palatineparks.org
Phone Number	847-705-5131
Park District	Palatine
Project Location	Osage Park
Project Status	Alteration
Project Type	Recreation Facilities and Amenities Routes and Surfaces
Recreation Facilities and Amenities- select a Project Category below:	Benches- Picnic Tables Bleachers Playgrounds- Play Components
Routes and Surfaces- select a Project Category below:	Accessible Routes- Means of Egress Curb Ramps Walking Surfaces
Benefits of the Project	Allows individuals with mobility issues to access all the amenities within the park from the parking lot and the street.
Items that will become ADA Compliant	Baseball field dugouts, playground, picnic shelter, and portable toilets.

The project is designed or constructed, or applies human resources, to comply with:

The 2010 Standards for Accessible Design
The Illinois Accessibility Code
ASTM F 1951 Standard for Accessible Playground Surfaces

Upload Project Related Files, Photos, Videos or Audio

[01_Plan_Set.pdf](#)

[02_Upland_1122_Invoice_03.pdf](#)

[03_Merged_Parkcreation_Invoice.pdf](#)

[04_Bid_Hacienda_Landscaping.pdf](#)

[05_AR_Invoice_7935.pdf](#)

[9.6.23_Osage1.jpg](#)

[20231103_101251.jpg](#)

[00_Osage_Calculations.pdf](#)

Budget Table for ADA Related Expenses

[Budget Table.xlsx](#)

ADA Dollars Requested	88946.82
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Notes related to requested amount

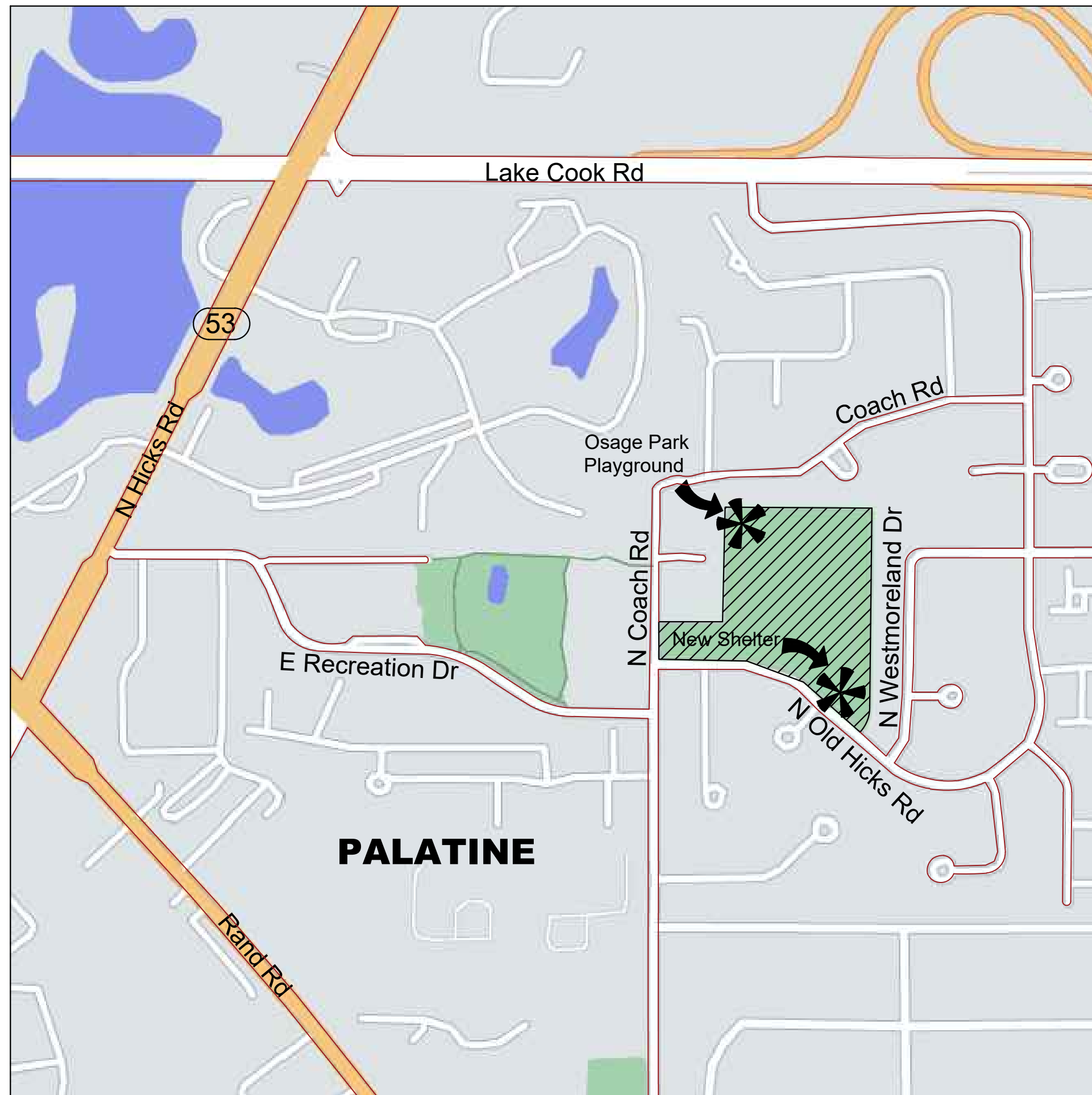
Osage Park Renovation

2076 N. Old Hicks Road
Palatine, Illinois 60074



Palatine Park District

250 E. Wood St.
Palatine, Illinois 60067



LOCATION MAP

SCALE: not to scale



LANDSCAPE ARCHITECT:

uplandDesign Ltd
Landscape Architecture & Park Planning
1229 N. North Branch St, Ste. 220A
Chicago, Illinois 60642
24042 Lockport St, Plainfield, Illinois 60544
815-254-0091 www.uplandDesign.com
IL License 060-007797

SURVEYOR

JLH Land Surveying inc.
910 Geneva St.
Shorewood, Illinois 60404
Phone: 815-729-4000
ILicense: 184-007120

SHEET INDEX

- 1.0 Title Sheet
- 2.0 Key Map
- 3.0 Existing Conditions & Removals Plan
- 4.0 Layout Plan
- 4.1 Layout Plan Playground Enlargement
- 5.0 Dimension Plan
- 5.1 Dimension Plan Playground Enlargement
- 6.0 Grading & Restoration Plan
- 6.1 Grading & Restoration Plan Playground Enlargement
- 7.0 Construction Details
- 7.1 Construction Details

This project has been prepared by and reviewed by Licensed Landscape Architects.
Michelle A. Kelly # 157.001002
Heath A. Wright # 157.000994
Maria Blood # 157.001511

REVISIONS

MB/SF	ISSUED FOR BID	16MAR2023

ORIGINAL ISSUE DATE

Issued for Bid 16MAR2023

PROJECT NUMBER

1122

PROJECT NAME

Osage Park Renovation

SHEET TITLE

Title Sheet

SHEET NUMBER

1.0



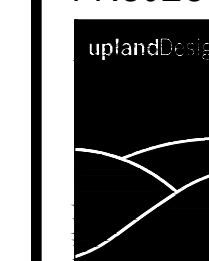


250 E. Wood St.
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Phone: 847-991-0333

PROJECT
**Osage Park
Renovation**

2076 N. Old Hicks Rd,
Palatine, Illinois 60074

PROJECT TEAM



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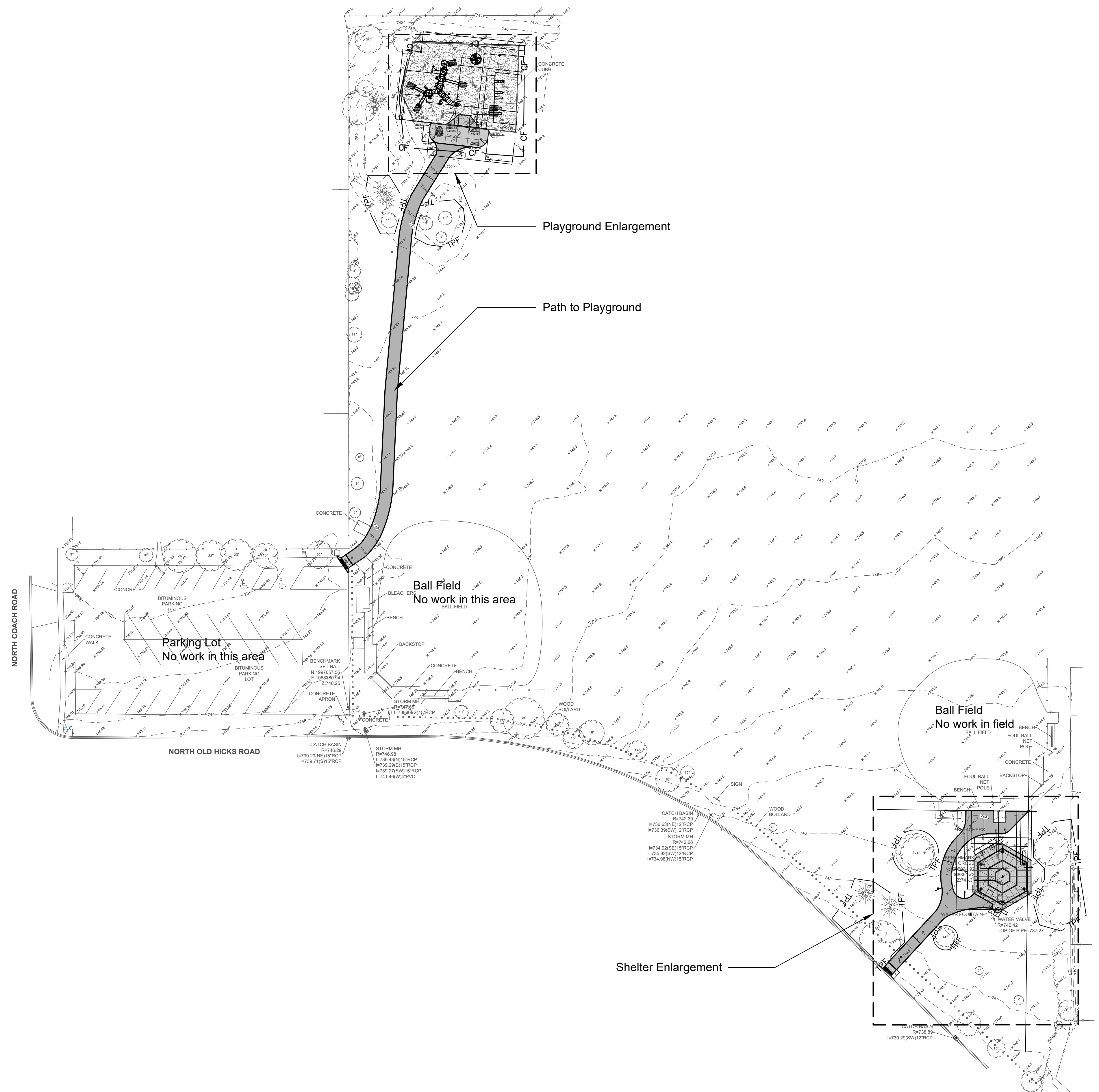
1122

SHEET TITLE

Key Map

SHEET NUMBER

2.0

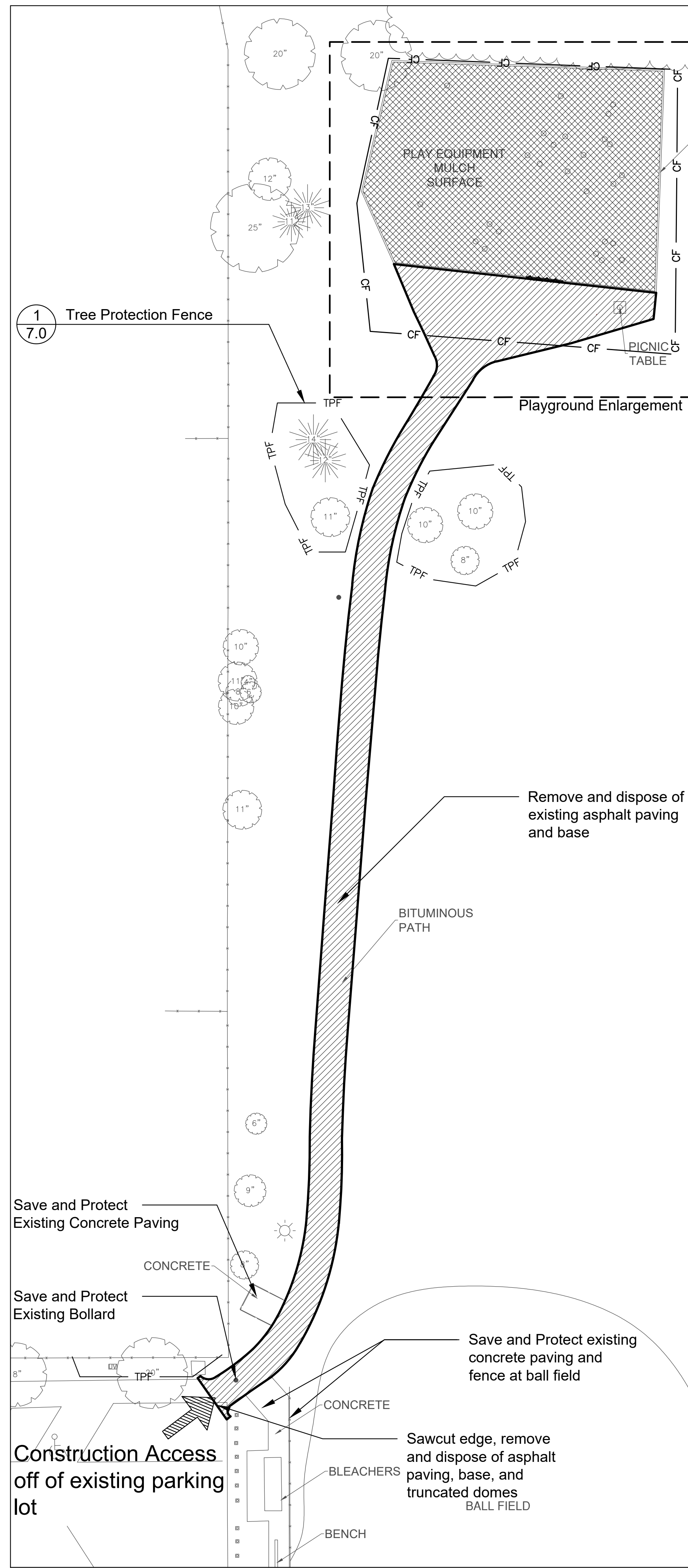


LEGEND

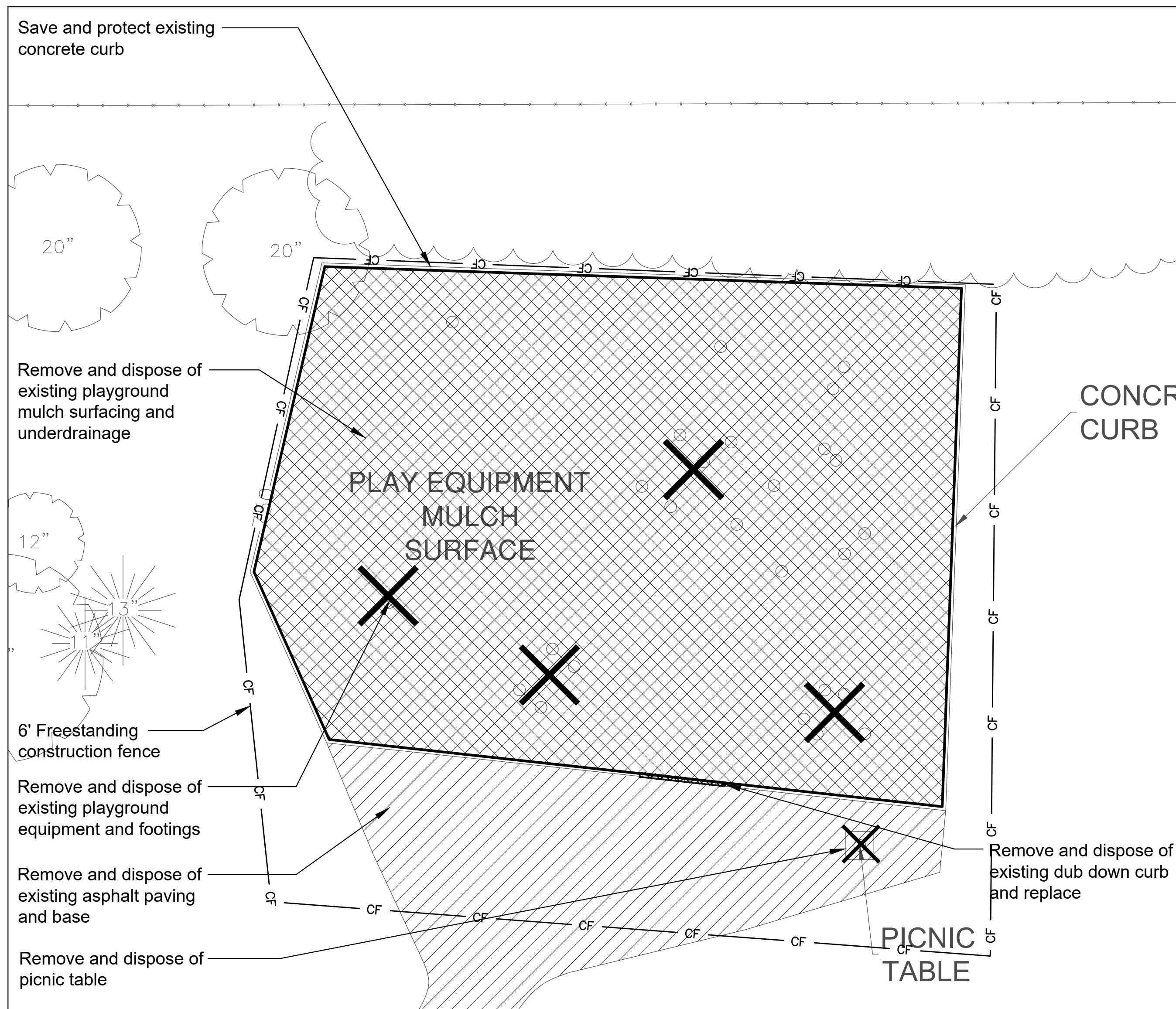
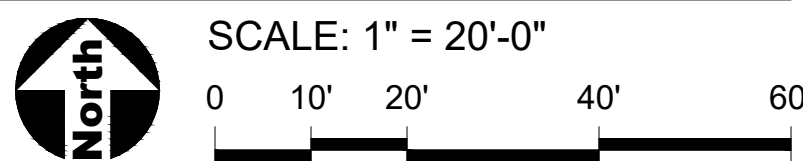
- Concrete Paving
- Asphalt Paving - Trail
- Engineered Wood Fiber Surfacing
- EJ Concrete Expansion Joints
- CF Construction Fence

SCALE: 1" = 40'-0"

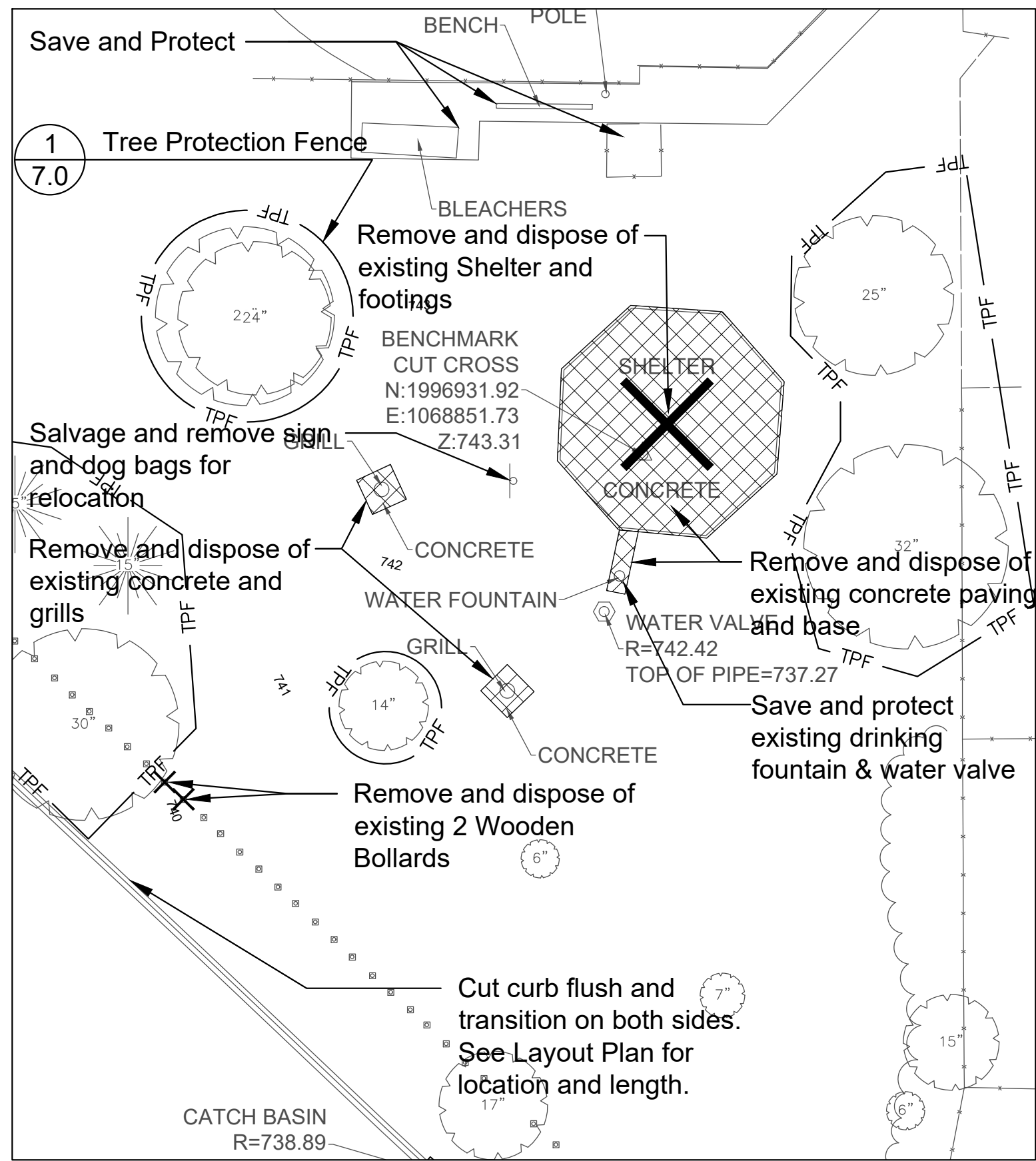
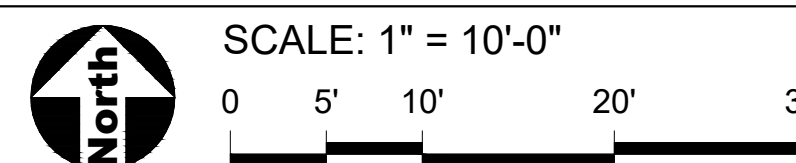
Overall Site: Key Map



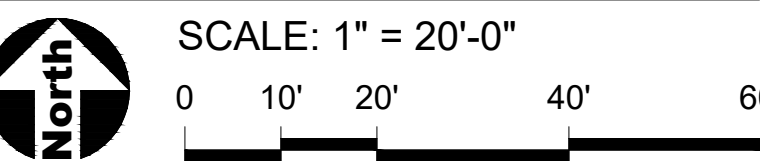
Path to Playground



Playground Enlargement



Shelter Enlargement



GENERAL NOTES: EXISTING CONDITIONS & REMOVALS

- The Contractor is to locate all utilities, public and private, prior to beginning construction. Contractor will be responsible for any damages to utilities caused by their work. Contact J.U.L.I.E. 72 hours prior to construction at 1-800-982-0123 or (811) for location of utilities and contractor shall be responsible for protection of the same.
- Site conditions are shown based upon available information, contractor to verify all existing conditions prior to bidding.
- The contractor shall be responsible for the protection of all private utilities even though they may not be shown on the plans. Any utility damaged during the construction shall be repaired or replaced to the satisfaction of the Owner at the contractor's expense. No tree shall be planted within 10 lateral feet of any underground waterline, sewer line, transmission line or other utility.
- Contours and elevations shown hereon are referenced to the North American vertical datum of 1988 (navd88)
- A Topographic Survey was completed for the Owner by: J.L.H Land Surveying Inc. 910 Geneva St. Shorewood, Illinois 60404 Phone: 815-729-4000
- The Contractor shall walk the site prior to submitting a bid to be fully familiar with site conditions.
- The Contractor shall protect and preserve all section, property or survey reference markers.
- Tree Protection Fence to be installed as shown on plans and details prior to beginning construction. (incidental to cost). Do not drive, store equipment or materials within dripline of existing trees that are to be saved. Hold necessary disturbance to a minimum. Contractor will be held responsible for damage to items not scheduled for removal.
- Contractor shall repair or replace all damaged sidewalks, curbs or paving to remain in place that were damaged as a result of work stated in contract documents.
- No excavations are to be left open to foul weather, rain, snow, etc. which would necessitate further excavation and additional sub grade materials.
- Work site safety is the responsibility of the Contractor.
- Vehicular Construction access shall be at one location to minimize damage. Construction access shall be approved by the Owner's representative.
- Construction Limits: Construction Limits are as noted on plans. Do not store equipment or stockpile materials outside of construction limits. Any areas disturbed as a result of construction shall be restored to lawn or other surface by contractor to match pre-construction condition.
- Topsail may be stockpiled for redistribution as needed. Excess topsail, debris and plant material to be removed off site and disposed of legally.
- Construction fence shall be installed prior to beginning construction. Construction fence to be 6' free standing chainlink per plans. (incidental to contract).
- Place erosion control measures as required to eliminate sedimentation into non-construction areas and as shown on plans and details prior to beginning construction.
- Before beginning work at the site and throughout the course of the work contractor to inspect and verify the location and condition of every item affected by the work under this contract and report discrepancies to the Owner's Representative before beginning work.
- Should discrepancies appear among the contract documents or between the contract documents and existing conditions, the contractor shall request an interpretation from the Owner's Representative before bidding. If the contractor fails to make such requests, it is presumed that both provisions were included in the bid, and the Owner's Representative shall determine which of the conflicting requirements shall govern. The contractor shall perform the work at no additional cost to the Owner in accordance with the Owner's Representative determination. Where conflicts exist between or within the contract documents and applicable standards, codes, ordinances or manufacturers recommendations, and clarification has not been requested from the Owner's Representative prior to bidding as provided for above, the more stringent or higher quality standard shall prevail. Large scale drawings shall take precedence over small scale drawings, figured dimensions on the drawings over scaled dimensions and noted material over graphic representations.
- The contractor shall provide all work and materials which any section or part of the drawings, specifications or conditions require them to provide, regardless of whether such requirement is or is not faithfully repeated in other parts of the documents thereof to which the provisions might be appropriate.
- All necessary site work permits will be obtained by Owner. Contractor and all subcontractors shall register and pay associated fees to the Building Department. Contractor is responsible for following permit requirements including coordination of inspections and/or reinspections and associated fees.
- Contractor shall follow all permit requirements as part of the project.

REFERENCE BENCHMARK

NATIONAL GEODETIC SURVEY BENCHMARK AJ2847
 STATION IS LOCATED WITHIN THE CITY OF PALATINE, 2.0 MI NORTHWEST OF ARLINGTON HEIGHTS IN SECTION 12 T42N, R10E TO REACH FROM THE JUNCTION OF RT 53 AND RT 88 PROCEED SOUTH ON RT 53 0.40 MI TO THE STATION LOCATED 61 FT WEST OF THE CENTERLINE OF SOUTHBOUND RT 53, 0.22 MI NORTH OF RT 12 OVERPASS. STATION IS 278 FT NORTH NORTHWEST OF A GUARD RAIL, 84.3 FT SOUTHWEST OF A PK NAIL IN RT 53 PAVEMENT, 722 FT NORTHWEST OF A PK NAIL IN RT 53 PAVEMENT, 32 FT WEST OF THE EDGE OF PAVEMENT OF RT 53, 3 FT EAST OF CHAIN LINK FENCE LINE, AND 3 FT EAST OF AN ORANGE FIBERGLASS WITNESS POST. NOTE- ACCESS TO DATUM POINT THROUGH 6 INCH LOGO CAP. DATUM POINT IS 0.50 FT BELOW CAP. PK NAILS WERE SET IN WOOD PHYSICAL TIES. ELEVATION=721.66(NAV88)

BENCHMARK CUT CROSS Northing: 1996931.92 (FT) Easting: 1068851.73 (FT) Elevation: 743.31	BENCHMARK SET NAIL Northing: 1997057.55 (FT) Easting: 1068380.94 (FT) Elevation: 748.25
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REMOVALS LEGEND

- Salvage, Stockpile, and Relocate Existing Surfacing
- Remove and Dispose of Existing Asphalt Paving
- Remove and Dispose of Item as Marked
- Remove and Dispose of Existing Concrete Curb
- 6' Freestanding Construction Fence
- Tree Protection Fence

SURVEY LEGEND

- | | | |
|------------------|--------------------------|--------------------------------|
| UTILITY POLE | MANHOLE | P.O.C. POINT OF COMMENCEMENT |
| LIGHT POLE | SANITARY MANHOLE | P.O.B. POINT OF BEGINNING |
| TRANSFORMER | STORM STRUCTURE (CLOSED) | DEGREES |
| UTILITY PEDESTAL | STORM STRUCTURE (OPEN) | FEET/MINUTES |
| TRAFFIC SIGNAL | CURB INLET | INCHES/SECONDS |
| SIGNAL VAULT | VALVE VAULT | S.F. SQUARE FEET |
| GAS VALVE | FLARED END SECTION | (R) RECORD BEARING/DISTANCE |
| WATER VALVE | WATER LINE | TF TOP OF FOUNDATION |
| ELECTRIC METER | TELEPHONE/CATV LINE | FF FINISHED FLOOR |
| GAS METER | GAS LINE | TP TOP OF PIPE |
| FIRE HYDRANT | ELECTRIC LINE | B.S.L. BUILDING SETBACK LINE |
| AUTO SPRINKLER | OVERHEAD WIRES | P.U.E. PUBLIC UTILITY EASEMENT |
| MONITORING WELL | STORM SEWER | D.E. DRAINAGE EASEMENT |
| GROUND LIGHT | SANITARY SEWER | L ARC LENGTH |
| BOLLARD | CHAIN LINK FENCE | R RADIUS LENGTH |
| B-BOX | STOCKADE FENCE | C CHORD LENGTH |
| SIGN | GUARD RAIL | CB CHORD BEARING |
| FLAG POLE | CONCRETE SURFACE | CMP CORRUGATED METAL PIPE |



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Osage Park Renovation

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PROJECT TEAM



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 Chicago, Illinois 60642

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 815-254-0091 www.uplandDesign.com

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REVISIONS

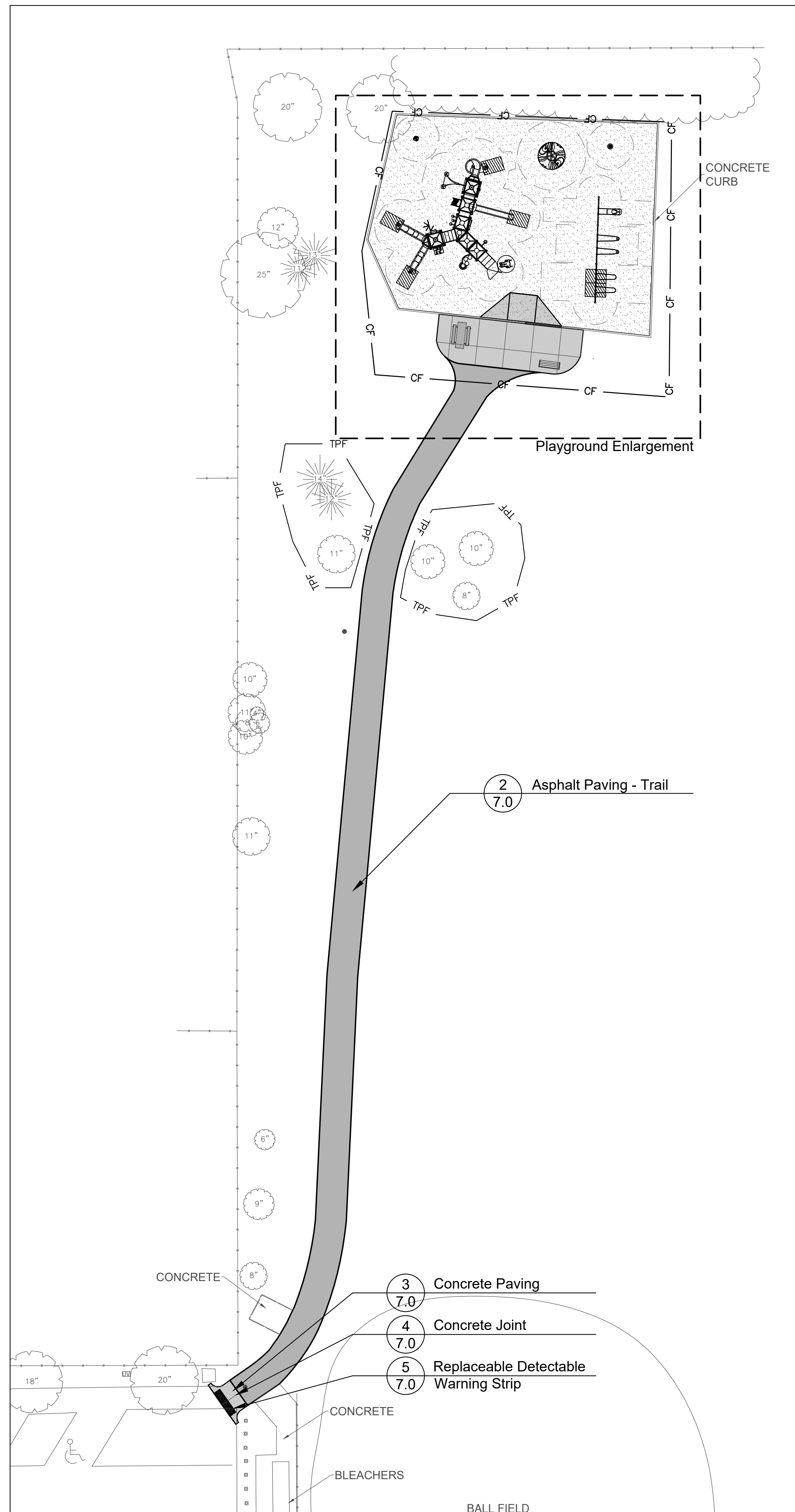
MB/SF	ISSUED FOR BID	DATE
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Existing Conditions & Removals Plan

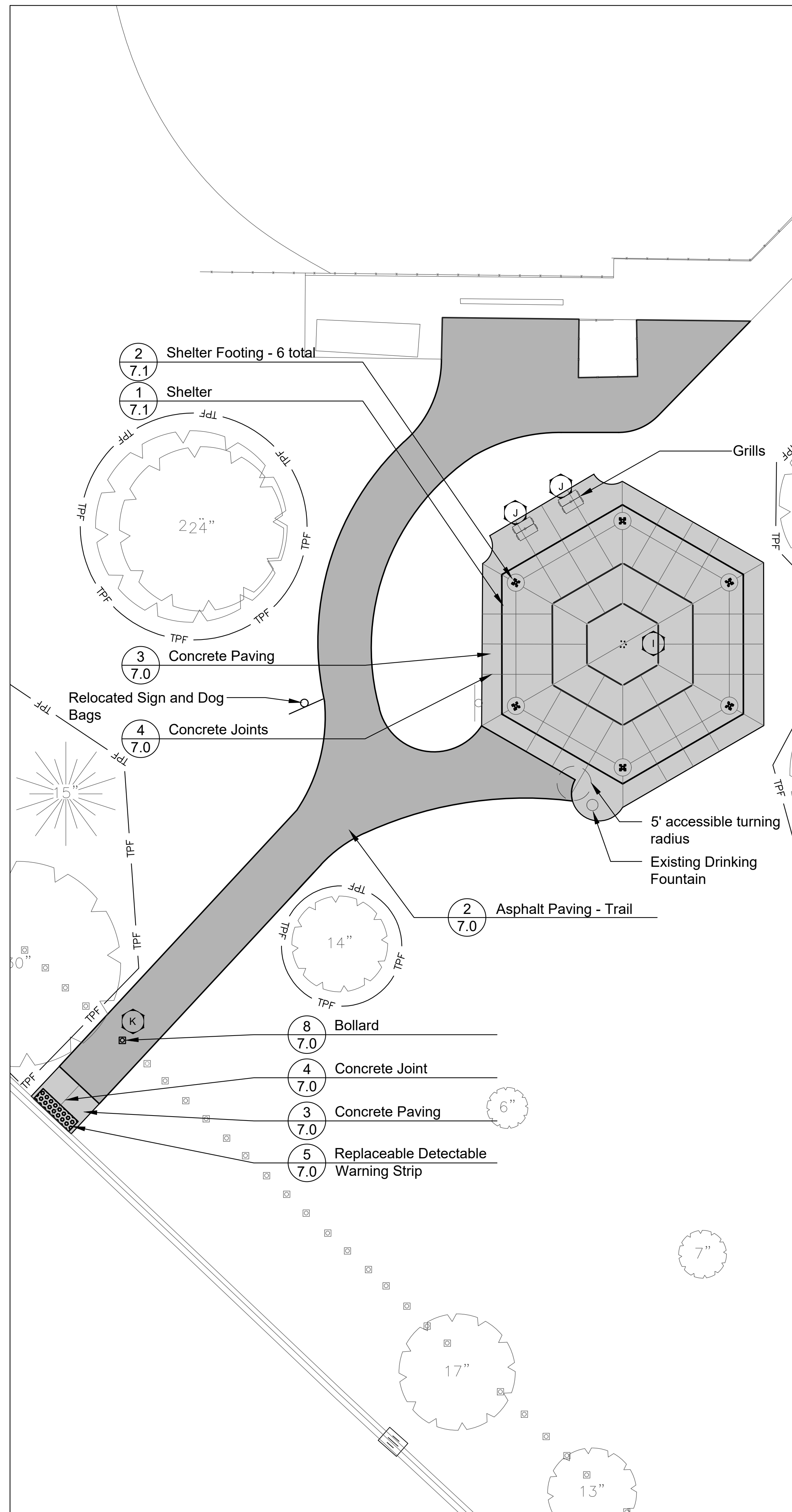
SHEET NUMBER



Path to Playground



SCALE: 1" = 20'-0"
0 10' 20' 40' 60'



Shelter Enlargement



SCALE: 1" = 10'-0"
0 5' 10' 20' 30'

GENERAL NOTES: LAYOUT

1. It is the responsibility of the Contractor to perform layout of all project elements and points for review by Owner prior to construction. (This work is considered incidental to the project and not paid as a separate bid item).
2. The contractor shall be responsible for all materials and quantities as required to complete the work in accordance with the plans and specifications. The contractor will notify the Owner's Representative in writing of any discrepancies or changes required to complete the work before any action may be taken. All changes or change orders must be approved by the Owner's Representative and Owner before any changes are executed.
3. Contractor shall follow Village of Palatine permit requirements as part of the project.
4. Contractor shall confirm that all equipment use/safety zones specified by play equipment manufacturer are adhered to.
5. All play equipment footings shall meet manufacturers recommendations for footing depth and width.

REFERENCED SPECIFICATIONS AND CODES

1. The Standard Specifications for Road and Bridge Construction (SSRBC), adopted April 1, 2016 adopted by the Illinois Department of Transportation, and all amendments thereto the design manual, highway standards, and the culvert manual, also prepared by the Illinois Department of Transportation.
2. The Americans with Disabilities Act and the Illinois Accessibility Code.
3. The Illinois Procedures and Standards for Urban Soil Erosion and Sedimentation Control, and IEPA Standards and Specifications for Soil Erosion and Sedimentation Control.
4. U.S. Soil Conservation Service Field Engineering Handbook
5. All codes and ordinances of the Village of Palatine, United States Army Corp of Engineers, Illinois Department of Natural Resources, Cook County Soil and Water Conservation Districts, and all agencies having jurisdiction.
6. All requirements of the Occupational Safety and Health Administration.
7. The cited standard specifications, codes and permits, with these construction plans and details, are all to be considered part of the work, incidental items or accessories necessary to complete this work may not be specifically noted but are considered a part of these improvements.
8. In case of conflict, the more restrictive provision shall apply.

LEGEND

- Concrete Paving
- Asphalt Paving - Trail
- Engineered Wood Fiber Surfacing
- Concrete Expansion Joints
- Construction Fence



250 E. Wood St.
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Phone: 847-991-0333

PROJECT
Osage Park Renovation

2076 N. Old Hicks Rd,
Palatine, Illinois 60074

PROJECT TEAM



Landscape Architecture & Park Planning
1229 N North Branch St, Ste. 220A
Chicago, Illinois 60642
24042 Lockport St, Plainfield, Illinois 60544
815-254-0091 www.uplandDesign.com
SURVEYOR
JLH Land Surveying Inc.
910 Geneva St.
Shorewood, Illinois 60404
Phone: 815-729-4000

REVISIONS

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1122

SHEET TITLE
Layout Plan

SHEET NUMBER



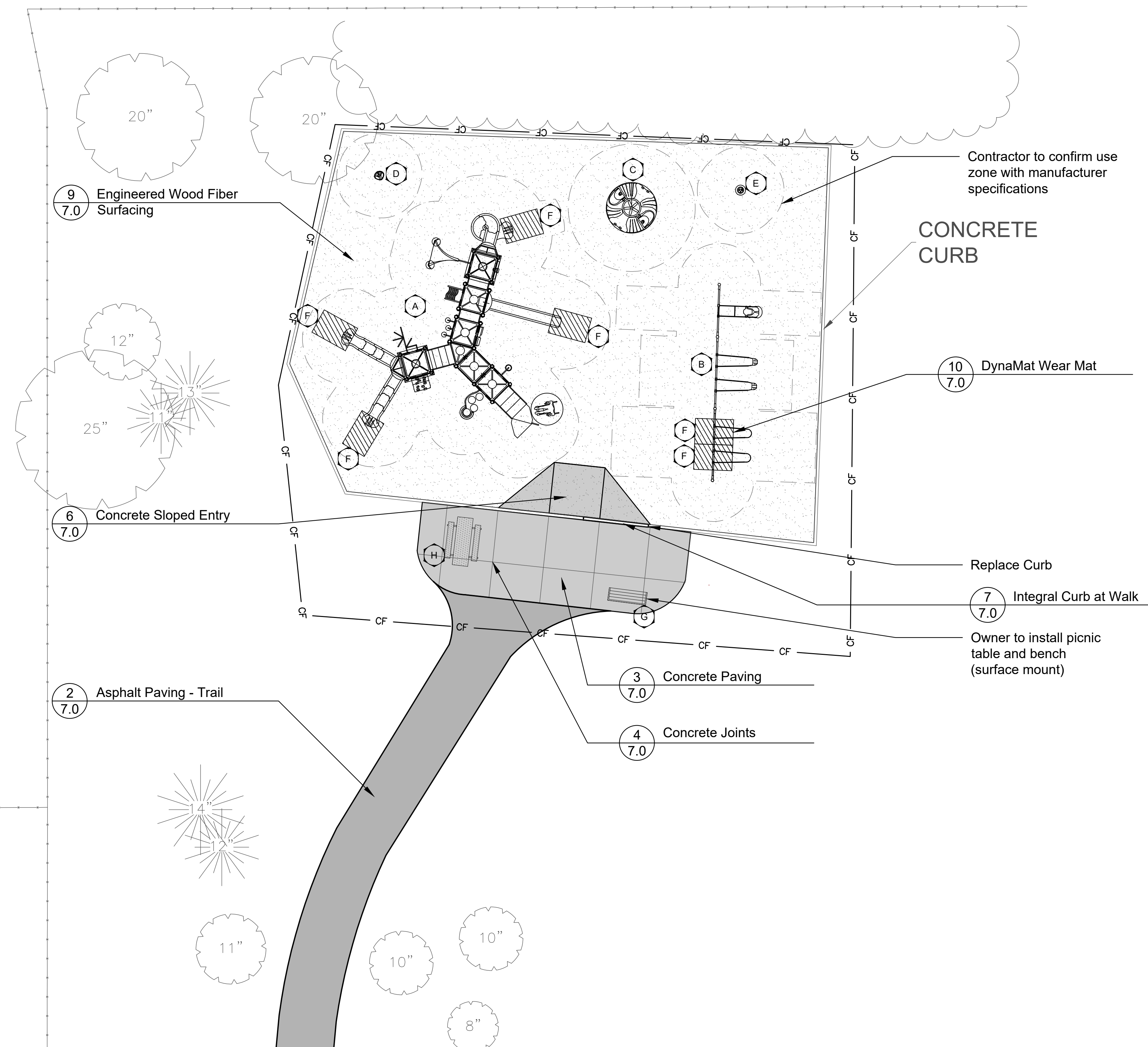
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GENERAL NOTES: LAYOUT

- See Sheet 4.0 for Layout notes.



SITE AMENITIES SCHEDULE

Key Item	Color	Quantity	Model	Manufacturer	Supplier
A 5-12 Play Structure	Blue, Teal, Metallic Gray, Chartreuse	1	Custom # PS022723	Little Tikes	Parkreation 847-419-7746
B Swings	Blue, Chartreuse	1	Custom # #200203433	Little Tikes	Parkreation 847-419-7746
Tot Swing		2	#200202836		
Belt Swing		2	#200203413		
C Revolution Inclusive Spinner	Teal	1	#200203413	Little Tikes	Parkreation 847-419-7746
D Solo Spinner	Teal, Blue	1	#200201870	Little Tikes	Parkreation 847-419-7746
E Stand N Spin	Blue	1	#200201539	Little Tikes	Parkreation 847-419-7746
F DynaMat	Black	6	3/4" DYNAMAT WEAR MAT	Pierceton Rubber Products, Inc.	Pierceton Rubber Products, Inc. 574-594-3002
G Bench	TBD	1	Supply and Install by Owner	Supply and Install by Owner	Supply and Install by Owner
H Picnic Table	TBD	1	Supply and Install by Owner	Supply and Install by Owner	Supply and Install by Owner
I Shelter	TBD	1	#HX41M-P4	ICON	Shelter Systems Inc 616-396-0919
J Grills	Black	2	#ASW-20-S6-B2	Pilot Rock	Pilot Rock
K Bollard	Yellow	1	LPHDHB	TrafficGuard	TrafficGuard 877-727-7347

Playground Enlargement



SCALE: 1" = 10'-0"



LEGEND

- Concrete Paving
- Asphalt Paving - Trail
- Engineered Wood Fiber Surfacing
- EJ Concrete Expansion Joints
- CF Construction Fence

REVISIONS

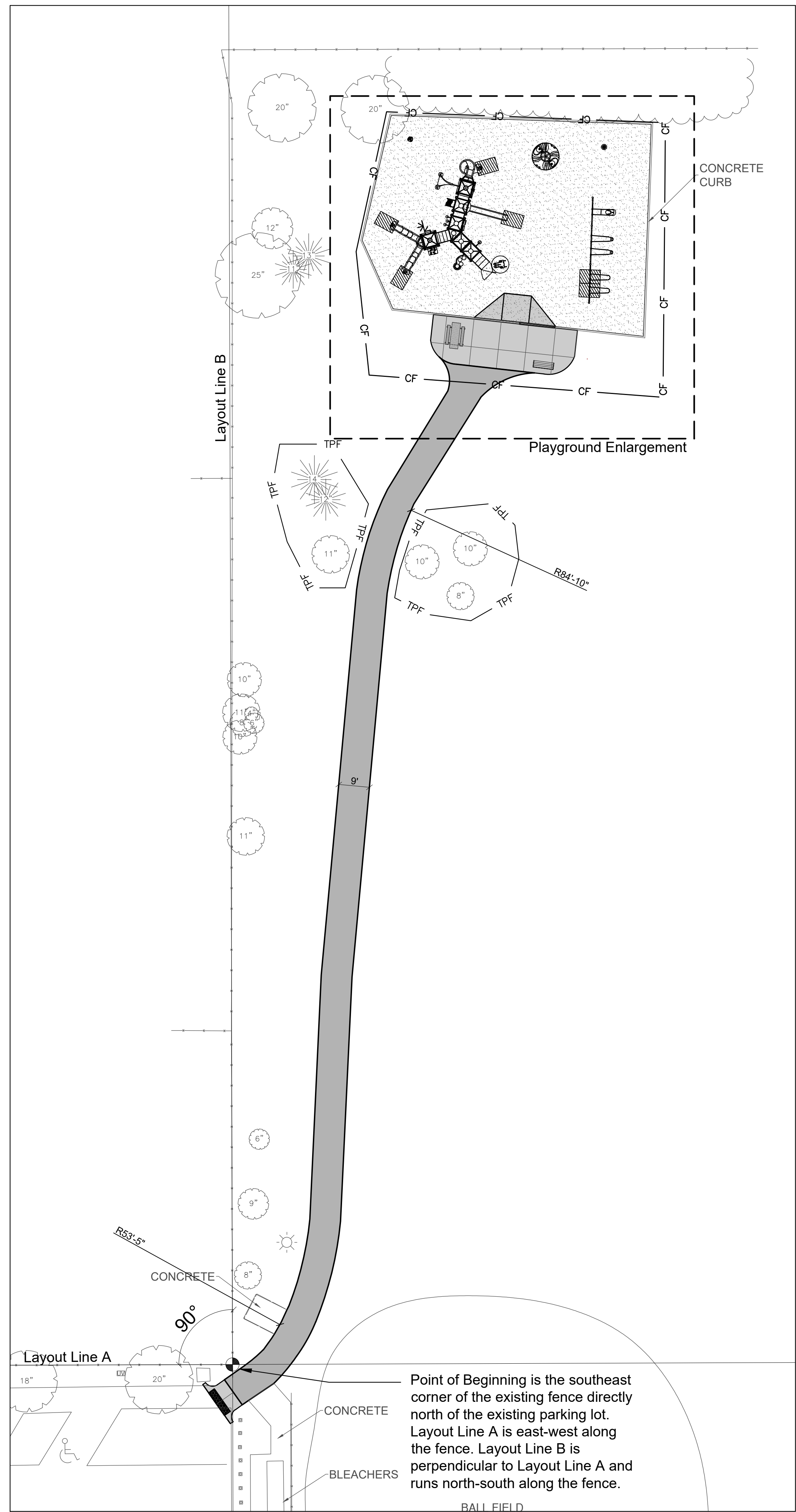
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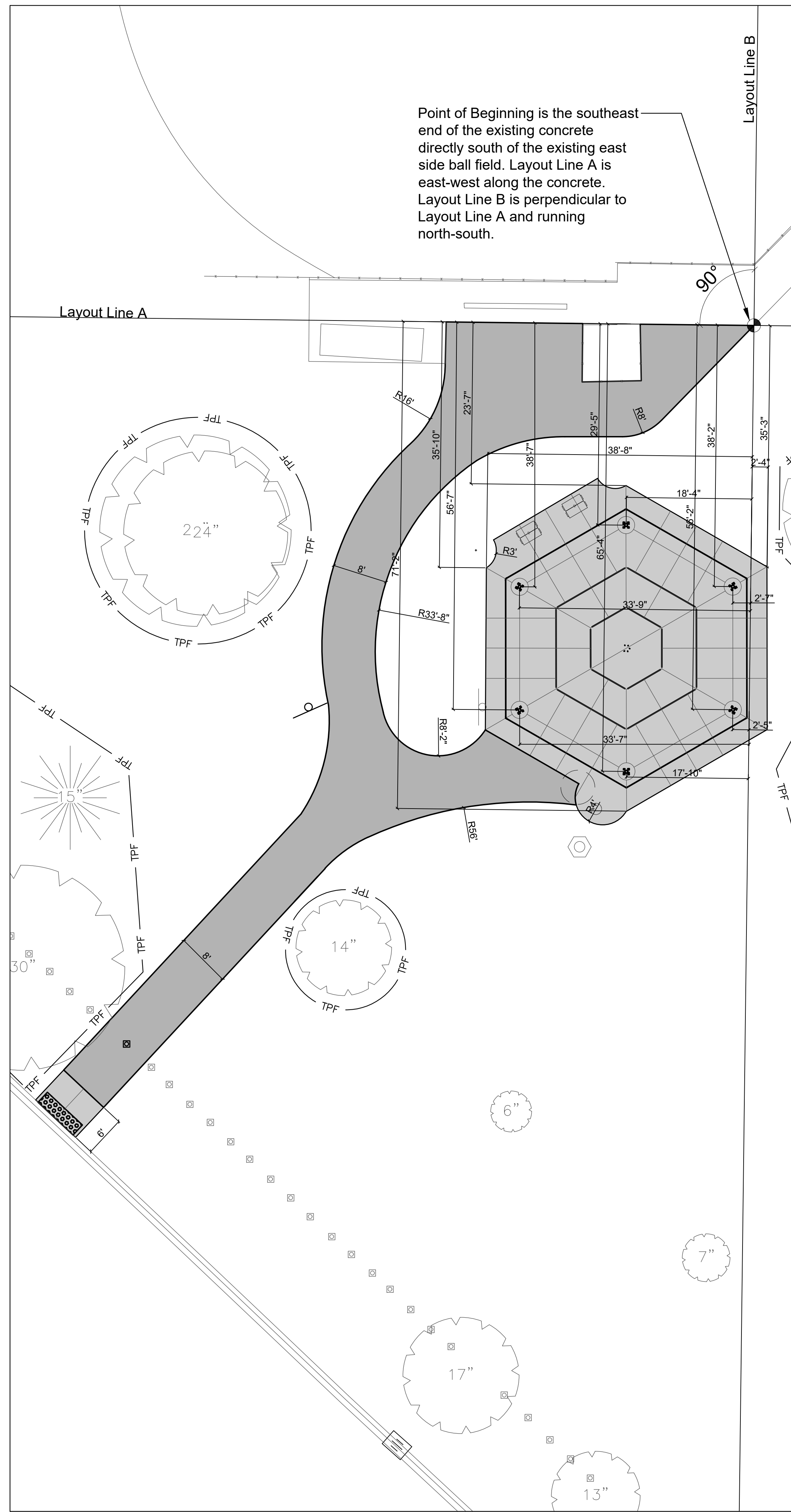
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1122

SHEET TITLE
**Layout Plan
Playground
Enlargement**

SHEET NUMBER



Path to Playground

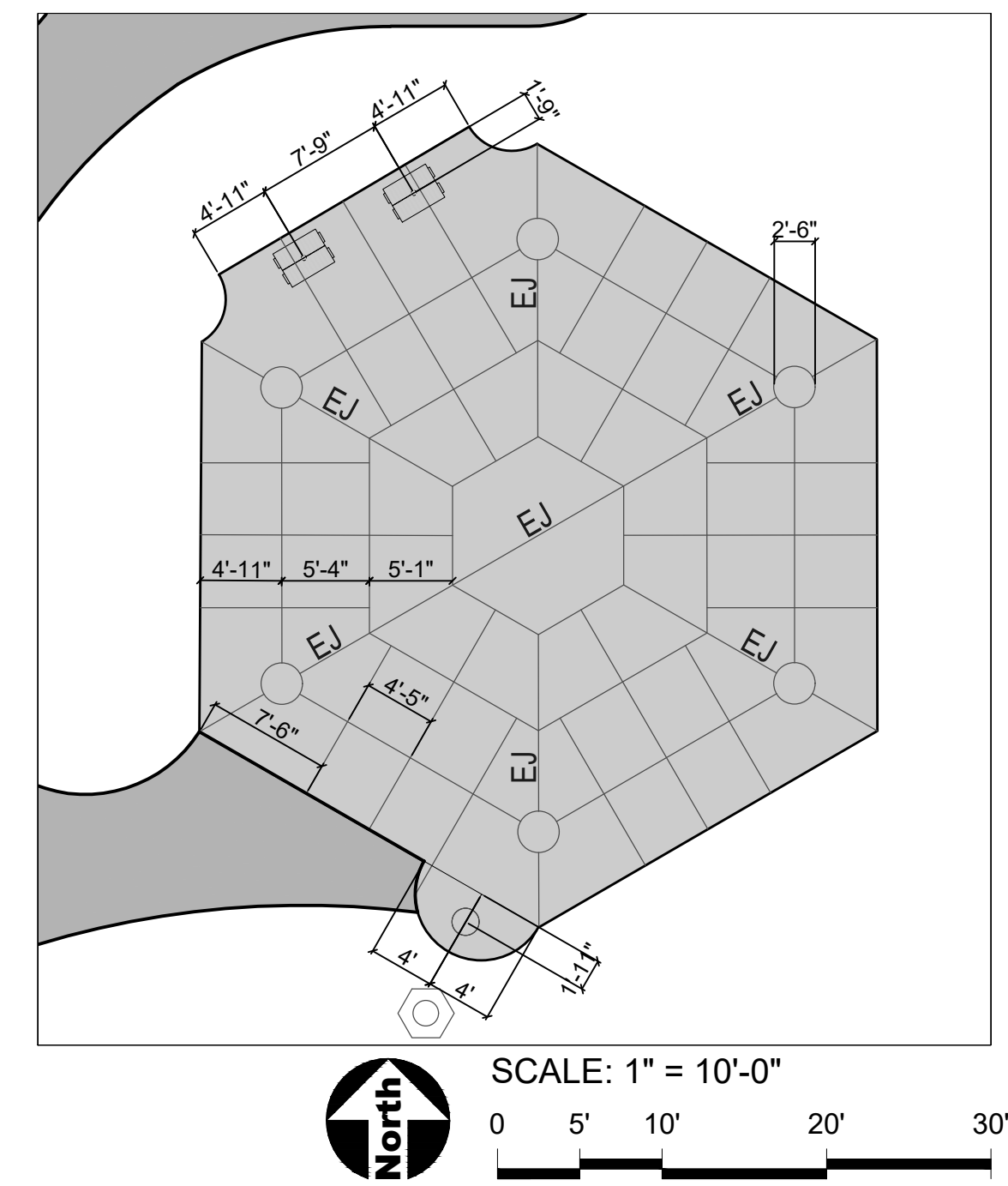


Shelter Enlargement

GENERAL NOTES: DIMENSION

1. Layout of equipment is to center of post.
2. Layout play equipment with safety zones to be staked by the Contractor for review by Owner's Representative prior to play equipment installation.
3. Paving radii shall be formed completely and shall smoothly transition into tangents and adjoining lines. Dimensions are to face of curb and edge of pavement unless otherwise specified.
4. Dimensions are in feet or degrees. Dimensions are perpendicular & parallel unless otherwise noted.
5. See Layout Plan, Sheet 4.0 for additional general notes and referenced specifications and codes.
6. Contractor shall perform all construction layout for the project. Contractor will be provided with an electronic file in AutoCAD format to assist with layout. Neither the Owner nor their representative shall be responsible for setting additional layout points.

SHELTER JOINT PLAN



LEGEND

- Concrete Paving
- Asphalt Paving - Trail
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- Concrete Expansion Joints
- Point of Beginning
- Construction Fence



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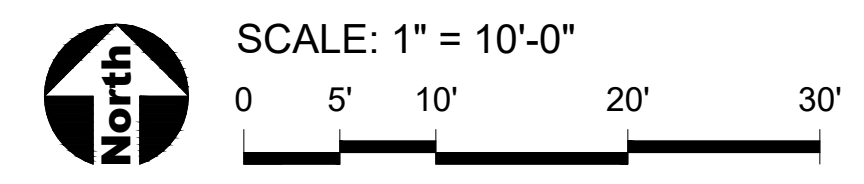
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SHEET TITLE
Dimension Plan

SHEET NUMBER



Playground Enlargement



GENERAL NOTES: DIMENSION

1. See Sheet 5.0 for dimension notes.

LEGEND

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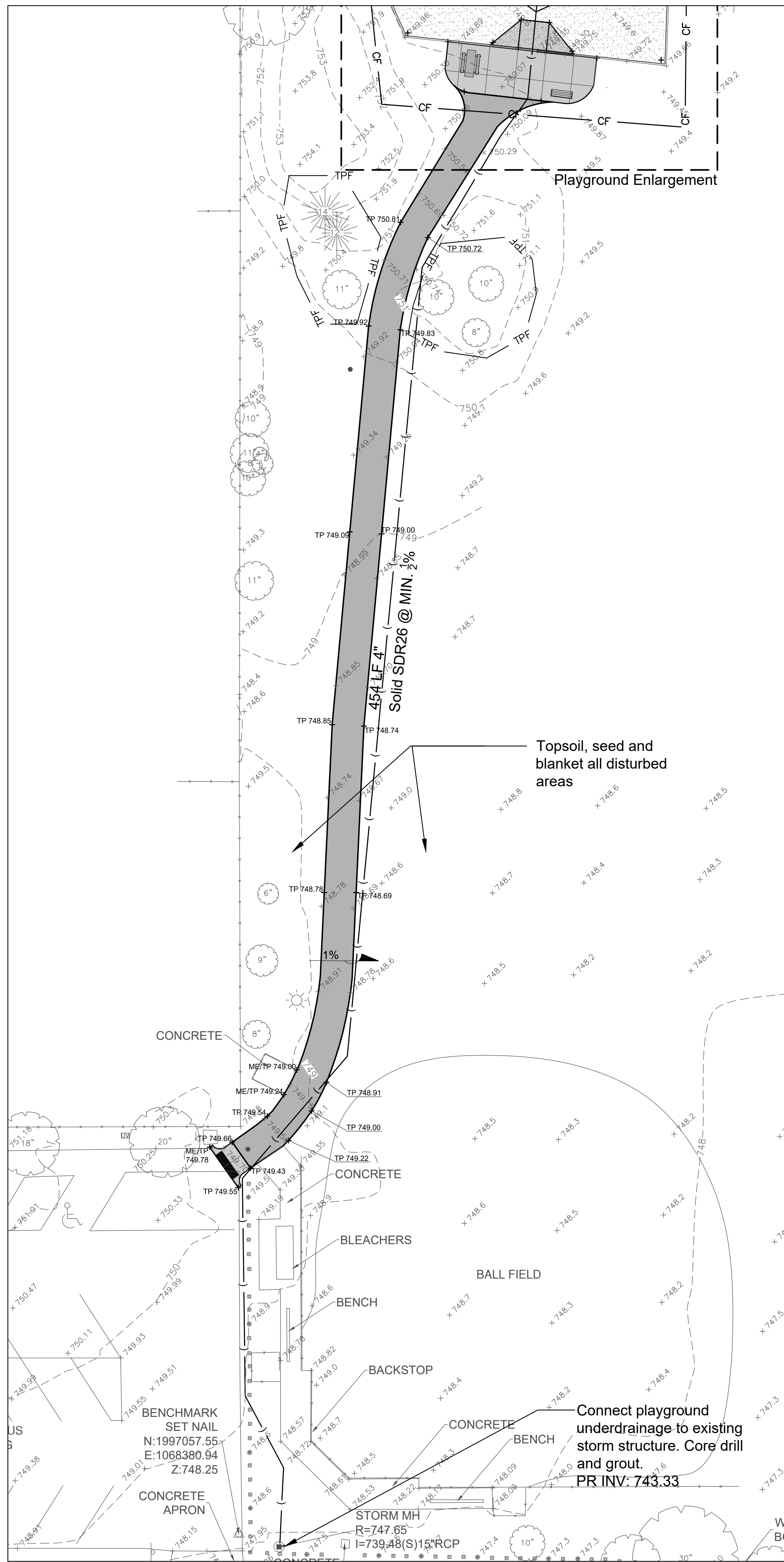
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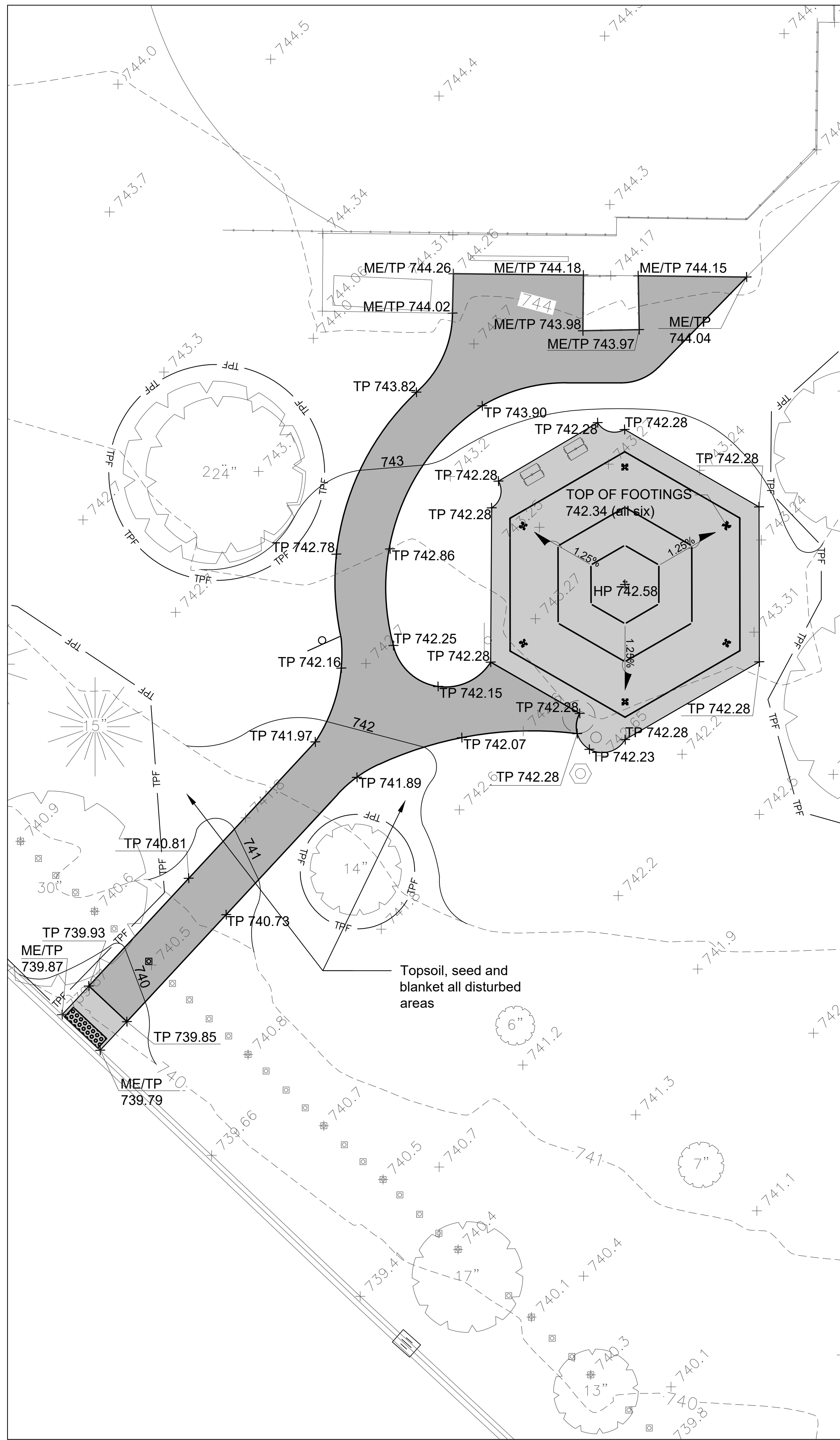
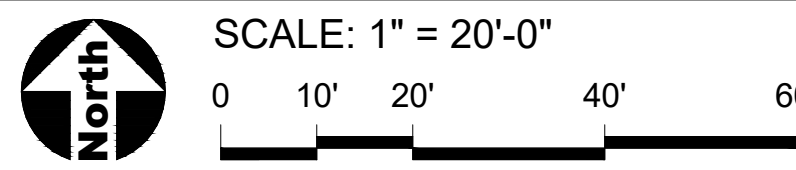
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1122

SHEET TITLE
**Dimension Plan
Playground
Enlargement**

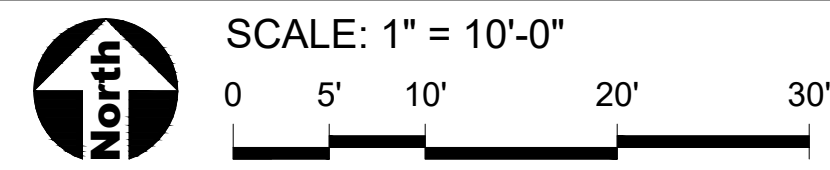
SHEET NUMBER



Path to Playground



Shelter Enlargement



GENERAL NOTES: GRADING

1. Finished surfaces to be smooth and even with no abrupt or awkward changes in grade. Paving to meet adjacent grades flush and smooth.
2. Contractor shall restore all areas disturbed as a result of construction.
3. All walks, drives and paved areas are to follow ADA per incorporated specifications. Any deviation shall be removed and reinstalled to follow this law.
4. All Accessible Route paving shall not exceed 4.5% in any direction. Cross slopes shall be less than 2%. Contractor shall slope all walks and slabs to eliminate ponding. ADA Turning Radius paving shall be less than 2% in all directions.
5. This work shall include the excavation, stockpile, and placement of topsoil and suitable excavated material along with removal of all excess topsoil and debris off site and dispose of legally.
6. Follow the Illinois Procedures and Standards for Urban Soil Erosion and Sedimentation Control, IEPA Standards and Specifications for Soil Erosion and Sedimentation Control, and U.S. Soil Conservation Service Field Engineering Handbook.
7. Transitions between paving types (i.e. concrete to asphalt) shall be smooth. Transitions not to exceed 1/8" vertical or horizontal difference.

LEGEND

- 681 --- Existing Contour Line
- 681 — Proposed Contour Line
- + 685.35 Existing Spot Elevation
- + 689.66 Proposed Spot Elevation
- 2% ▾ Drainage Flow Direction
- CL — Construction Limits / Construction Fence

INDEX OF ACRONYMS AND ABBREVIATIONS

- INV - Pipe Invert Elevation
- ME - Match Existing Elevation
- TC - Top of Curb
- TP - Top of Pavement
- TS - Top of Play Surfacing



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REVISIONS

MB/SF	ISSUED FOR BID	16MAR2023

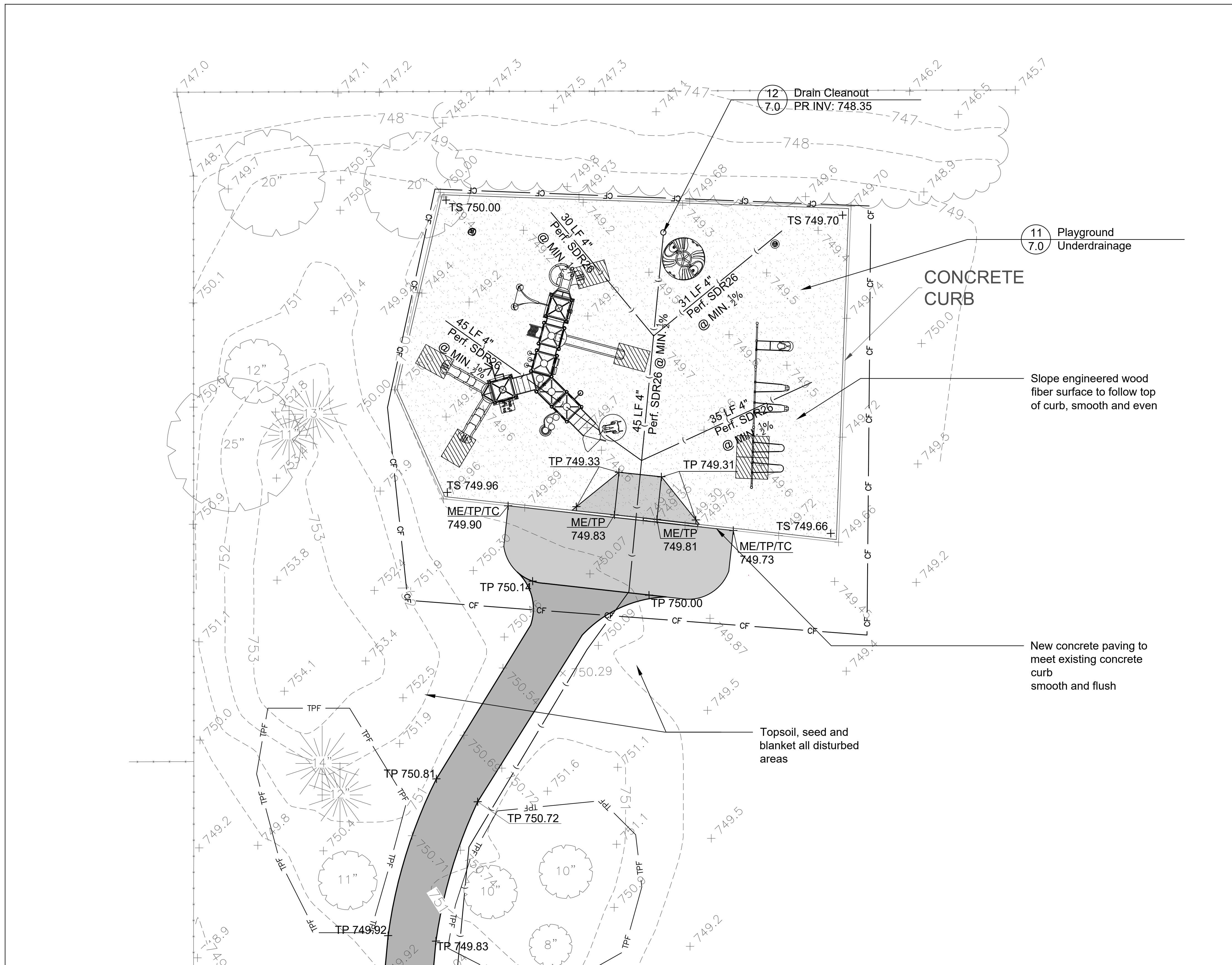
ORIGINAL ISSUE DATE
Issued for Bid 16MAR2023

PROJECT NUMBER
1122

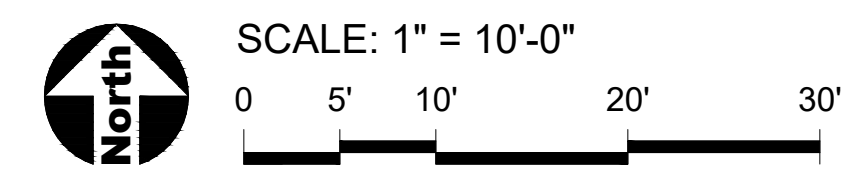
SHEET TITLE
Grading & Restoration Plan

SHEET NUMBER

6.0



Playground Enlargement



GENERAL NOTES: GRADING

1. See Sheet 6.0 for Grading notes.

LEGEND

- 681 --- Existing Contour Line
- 681 — Proposed Contour Line
- + 685.35 Existing Spot Elevation
- + 689.66 Proposed Spot Elevation
- 2% ▾ Drainage Flow Direction
- CL — Construction Limits / Construction Fence

INDEX OF ACRONYMS AND ABBREVIATIONS

- INV - Pipe Invert Elevation
- ME - Match Existing Elevation
- TC - Top of Curb
- TP - Top of Pavement
- TS - Top of Play Surfacing



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PROJECT
Osage Park Renovation

2076 N. Old Hicks Rd,
Palatine, Illinois 60074

PROJECT TEAM



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