

Title	<b>Kermit's Korner Park &amp; Apple Orchard West Park</b>	10/30/2023
	by <b>Kelly OBrien</b> in <b>Member District ADA Project Request</b>	id. 44551116
	696 W Stearns Road Bartlett, Illinois 60103 United States 630-540-4800 kobrien@bartlettparks.org	

## Original Submission 10/30/2023

Name	Kelly O'Brien
Job Title	Superintendent of Parks & Planning
E-mail Address	kobrien@bartlettparks.org
Phone Number	630-540-4805
Park District	Bartlett
Project Location	Kermit's Korner Park & Apple Orchard West Park
Project Status	Alteration
Project Type	Recreation Facilities and Amenities Routes and Surfaces
Recreation Facilities and Amenities- select a Project Category below:	Benches- Picnic Tables Playgrounds- Play Components
Routes and Surfaces- select a Project Category below:	Accessible Routes- Means of Egress Walking Surfaces
Benefits of the Project	Kermit's Korner & Apple Orchard West playgrounds were replaced with new play structures with ADA accessible play equipment. The project also included ADA swings, accessible picnic tables, ASTM compliant playground surfacing. Apple Orchard West included ADA improvements o asphalt trail that lead to an accessible sloped playground entry, picnic shelter, and grill.

Items that will become ADA Compliant	Accessible play equipment, ADA swing, asphalt trail to park amenities, picnic tables
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The project is designed or constructed, or applies human resources, to comply with:	The 2010 Standards for Accessible Design Agency's ADA Transition Plan ASTM F 1951 Standard for Accessible Playground Surfaces
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Upload Project Related Files, Photos, Videos or Audio

[AO\\_West\\_Kermits\\_Korner-\\_Renovation\\_Plans.pdf](#)

[Cost\\_Summary.pdf](#)

[Landscape\\_Architect\\_PO.pdf](#)

[Contract\\_Work-\\_PO.pdf](#)

[Playground\\_Equipment.pdf](#)

[Playground\\_Equipment\\_PO.pdf](#)

[Kermits-\\_playground.jpg](#)

[AO\\_West-\\_playground.jpg](#)

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Budget Table for ADA Related Expenses

[Budget Table.xlsx](#)

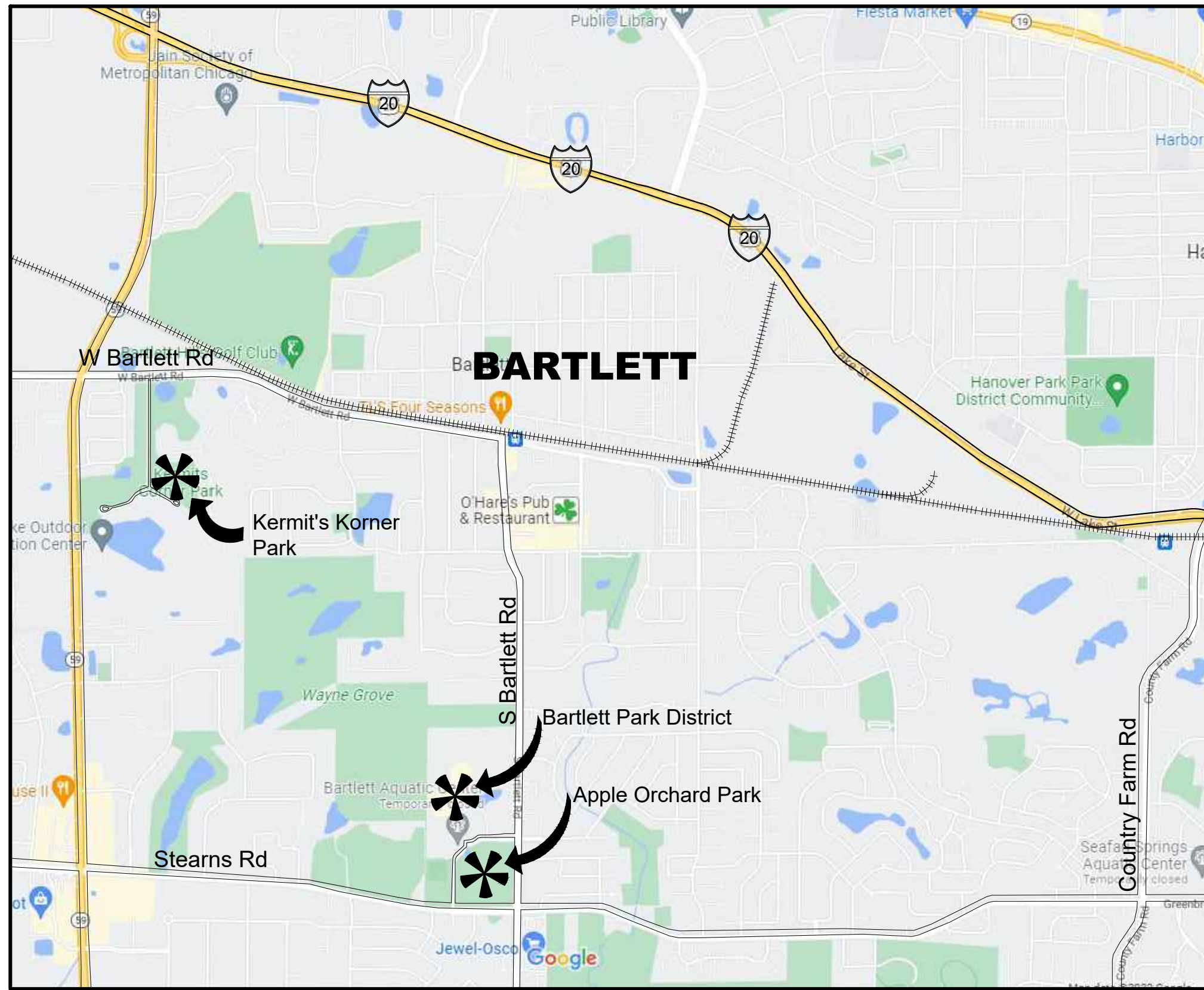
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ADA Dollars Requested	112180.0
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Notes related to requested amount	Both park playgrounds and asphalt trail were replaced to be ADA compliant which also coincides with our updated ADA transition plan completed in 2022.
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**LOCATION MAP**

SCALE: not to scale



**LANDSCAPE ARCHITECT:**



Landscape Architecture & Park Planning  
1250 W. 18th St, Chicago, Illinois 60608  
24042 Lockport St, Plainfield, Illinois 60544  
815-254-0091 www.uplandDesign.com

IL License 060-007797

**SURVEYOR**

JLH Land Surveying inc.  
910 Geneva St.  
Shorewood, Illinois 60404  
Phone: 815-729-4000  
ILicense: 184007120

# Kermit's Korner & Apple Orchard West Playground Renovations

Apple Orchard West Park: 696 West Stearns Road, Bartlett, Illinois 60103

Kermit's Korner Park: 1025 W Park Place Drive, Bartlett, Illinois 60103



**Bartlett Park District**

696 West Stearns Road

Bartlett, Illinois 60103

**SHEET INDEX**

0.0 Title Sheet

**Kermit's Korner Park**

- 1.0 Existing Conditions & Removals Plan
- 1.1 Layout Plan
- 1.2 Dimension Plan
- 1.3 Grading & Restoration Plan

**Apple Orchard West Park**

- 2.0 Existing Conditions & Removals Plan
- 2.1 Layout Plan
- 2.2 Dimension Plan
- 2.3 Grading & Restoration Plan

**Details**

- 3.0 Construction Details

This project has been prepared by and reviewed by Licensed Landscape Architects. Michelle A. Kelly # 157.001002 Maria Blood # 157.001511

**REVISIONS**

MB/NO	Issue for Bid	24JAN2023

**ORIGINAL ISSUE DATE**

Issue for Bid 24JAN2023

**PROJECT NUMBER**

1091

**PROJECT NAME**

**Kermit's Korner & Apple Orchard West Playground Renovations**

**SHEET TITLE**

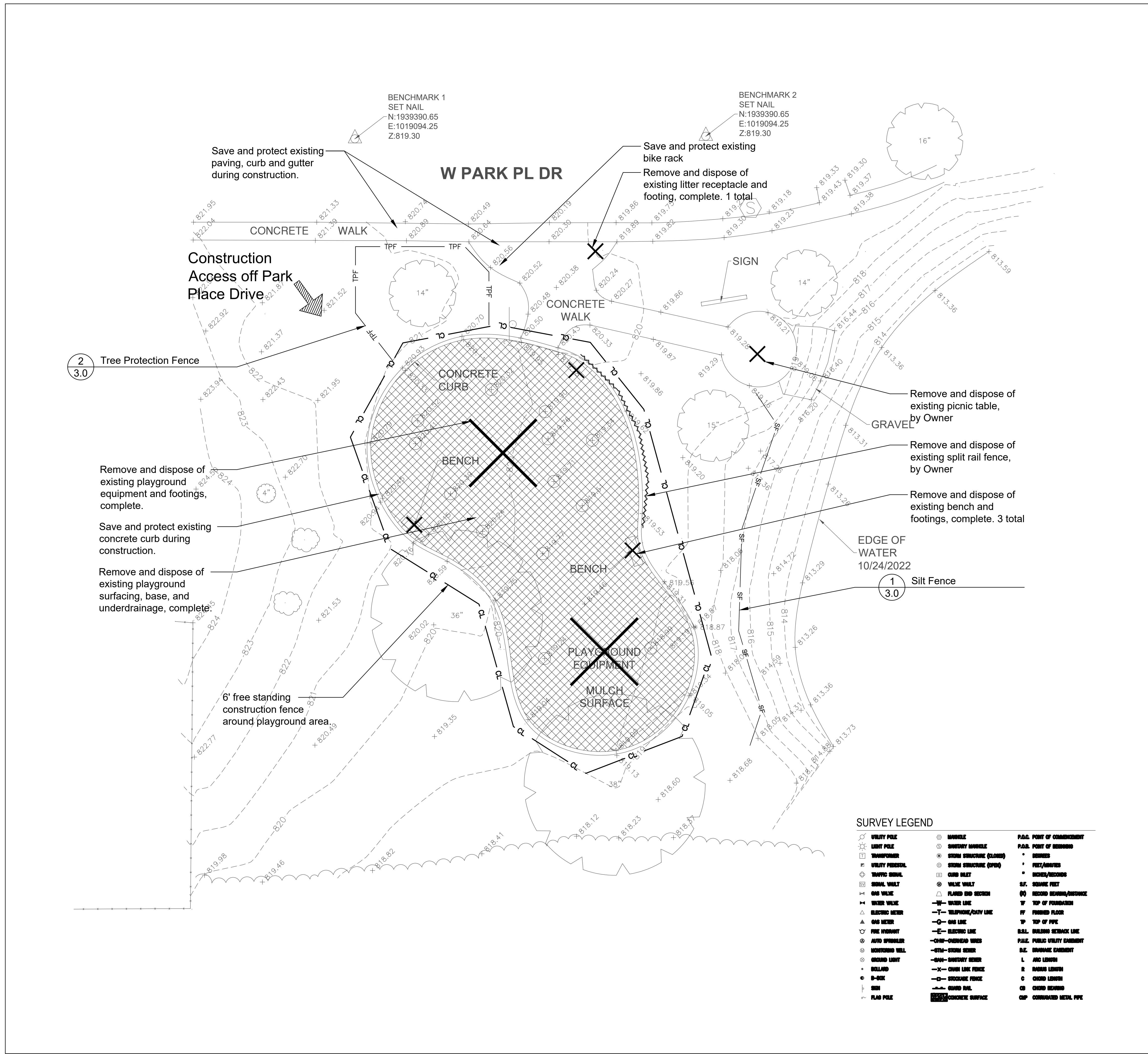
**Title Sheet**

**SHEET NUMBER**

**0.0**







**GENERAL NOTES: EXISTING CONDITIONS & REMOVALS**

- The Contractor is to locate all utilities, public and private, prior to beginning construction. Contractor will be responsible for any damages to utilities caused by their work. Contact J.U.L.I.E. 72 hours prior to construction at 1-800-982-0123 or (811) for location of utilities and contractor shall be responsible for protection of the same.
- Site conditions are shown based upon available information, contractor to verify all existing conditions prior to bidding.
- The contractor shall be responsible for the protection of all private utilities even though they may not be shown on the plans. Any utility damaged during the construction shall be repaired or replaced to the satisfaction of the Owner at the contractor's expense. No tree shall be planted within 10 lateral feet of any underground waterline, sewer line, transmission line or other utility.
- Contours and elevations shown hereon are referenced to the North American vertical datum of 1988 (navd88).
- A Topographic Survey was completed for the Owner by: JLH Land Surveying Inc. 910 Geneva Street Shorewood, Illinois 60404 Phone: 815-729-4000
- The Contractor shall walk the site prior to submitting a bid to be fully familiar with site conditions.
- The Contractor shall protect and preserve all section, property or survey reference markers.
- Tree Protection Fence to be installed as shown on plans and details prior to beginning construction. (incidental to cost). Do not drive, store equipment or materials within dripline of existing trees that are to be saved. Hold necessary disturbance to a minimum.
- Contractor will be held responsible for damage to items not scheduled for removal.
- Contractor shall repair or replace all damaged sidewalks, curbs or paving to remain in place that were damaged as a result of work stated in contract documents.
- No excavations are to be left open to foul weather, rain, snow, etc. which would necessitate further excavation and additional sub grade materials.
- Work site safety is the responsibility of the Contractor.
- Vehicular Construction access shall be at one location to minimize damage. Construction access shall be approved by the Owner's representative.
- Construction Limits:** Construction Limits are as noted on plans. Do not store equipment or stockpile materials outside of construction limits. Any areas disturbed as a result of construction shall be restored to lawn or other surface by contractor to match pre-construction condition.
- Topsoil may be stockpiled for redistribution as needed. Excess topsoil, debris and plant material to be removed off site and disposed of legally.
- Construction fence shall be installed prior to beginning construction. Construction fence to be 6' free standing chainlink per plans. (incidental to contract).
- Place erosion control measures as required to eliminate sedimentation into non-construction areas and as shown on plans and details prior to beginning construction.
- Before beginning work at the site and throughout the course of the work contractor to inspect and verify the location and condition of every item affected by the work under this contract and report discrepancies to the Owner's Representative before beginning work.
- Should discrepancies appear among the contract documents or between the contract documents and existing conditions, the contractor shall request an interpretation from the Owner's Representative before bidding. If the contractor fails to make such requests, it is presumed that both provisions were included in the bid, and the Owner's Representative shall determine which of the conflicting requirements shall govern. The contractor shall perform the work at no additional cost to the Owner in accordance with the Owner's Representative determination. Where conflicts exist between or within the contract documents between and applicable standards, codes, ordinances or manufacturers recommendations, and clarification has not been requested from the Owner's Representative prior to bidding as provided for above, the more stringent or higher quality standard shall prevail. Large scale drawings shall take precedence over small scale drawings, figured dimensions on the drawings over scaled dimensions and noted material over graphic representations.
- The contractor shall provide all work and materials which any section or part of the drawings, specifications or conditions require them to provide, regardless of whether such requirement is or is not faithfully repeated in other parts of the documents thereof to which the provisions might be appropriate.
- All necessary site work permits will be obtained by Owner. Contractor and all subcontractors shall register and pay associated fees to the Building Department. Contractor is responsible for following permit requirements including coordination of inspections and/or re-inspections and associated fees.
- Contractor shall follow all permit requirements as part of the project.

**PROJECT BENCHMARK**

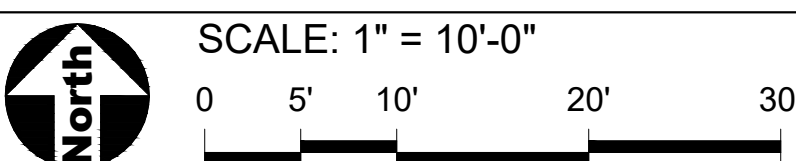
Benchmark #1 Set Nail N: 1939390.65 E: 1019094.25 Z: 819.30	Benchmark #2 Set Nail N: 1939390.65 E: 1019094.25 Z: 819.30
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**SURVEY LEGEND**

UTILITY POLE	MANHOLE	P.A.C. POINT OF COMMENCEMENT
LIGHT POLE	STURDY MANHOLE	P.A.B. POINT OF BEGINNING
TRANSFORMER	STORM STRUCTURE (CLAMP)	• DEWATER
UTILITY FURNACE	STORM STRUCTURE (OPEN)	• FEET/ANALYSIS
TRAFFIC SIGNAL	GRASS ISLET	• BENCH/SEWER
ROAD WALK	WALK WALK	S.F. SQUARE FEET
ONE WALK	PLANT END SECTION	(R) RECORD REPAIR/REWORK
WATER WALK	UNDER LINE	TF TOP OF FOUNDATION
ELECTRIC METER	TELEPHONE/CABLE LINE	PF FINISHED FLOOR
ONE METER	ONE LINE	TP TOP OF PFC
PIPE SPURVAL	ELECTRIC LINE	B.S.L. BUILDING SETBACK LINE
AUTO SPURVAL	CHEM-OVERHEAD WIRE	P.U.L. PUBLIC UTILITY EXHIBIT
MONITORING WELL	STRA-STORM SEWER	B.E. BRANCH EXHIBIT
GROUND LIGHT	STAY-STURDY SEWER	L AND LEGEND
BOLLARD	CHAIN LINK FENCE	R RADII LENGTH
D-BOX	STOCKADE FENCE	C CHORD LENGTH
SIGN	GUARD RAIL	CS CHORD BEARING
FLAG POLE	CONCRETE SURFACE	CSF CONTAMINATED METAL PFC

**REMOVALS LEGEND**

	Remove and Dispose of Existing Playground Surfacing
	Remove and Dispose of Item as Marked
	Remove and Dispose of Existing Split Rail Fence
	6' Freestanding Construction Fence
	Tree Protection Fence
	Silt Fence



696 West Stearns Road  
Bartlett, Illinois 60103  
Phone: 630-540-4800

**PROJECT**  
**Playground Renovations**

Apple Orchard West Park:  
924 Maple Court  
Bartlett, Illinois 60103

Kermit's Korner Park:  
1025 W Park PL Drive  
Bartlett, Illinois 60103

**PROJECT TEAM**

**uplandDesign Ltd**  
Landscape Architecture & Park Planning  
Chicago, Illinois 312-350-4088  
Plainfield, Illinois 815-254-0091  
uplandDesign.com

**SURVEYOR**  
JLH Land Surveying Inc.  
910 Geneva Street  
Shorewood, Illinois 60404  
Phone: 815-729-4000

**Kermit's Korner**

**REVISIONS**

MB/MO	Issue for Bid	24JAN2023

ORIGINAL ISSUE DATE 24JAN2023  
**Issue for Bid**

PROJECT NUMBER  
**1091**

**SHEET TITLE**  
**Existing Conditions & Removals Plan**

SHEET NUMBER

**1.0**





696 West Stearns Road  
Bartlett, Illinois 60103  
Phone: 630-540-4800

PROJECT  
**Playground Renovations**

Apple Orchard West Park:  
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PROJECT TEAM



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**Kermit's Korner**

REVISIONS

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PROJECT NUMBER  
**1091**

SHEET TITLE  
**Layout Plan**

SHEET NUMBER

GENERAL NOTES: LAYOUT

1. It is the responsibility of the Contractor to perform layout of all project elements and points for review by Owner prior to construction. (This work is considered incidental to the project and not paid as a separate bid item).
2. The contractor shall be responsible for all materials and quantities as required to complete the work in accordance with the plans and specifications. The contractor will notify the Owner's Representative in writing of any discrepancies or changes required to complete the work before any action may be taken. All changes or change orders must be approved by the Owner's Representative and Owner before any changes are executed.
3. Contractor shall follow Village of Bartlett permit requirements as part of the project.
4. Contractor shall confirm that all equipment use/safety zones specified by play equipment manufacturer are adhered to.
5. All play equipment footings shall meet manufacturers recommendations for footing depth and width.

REFERENCED SPECIFICATIONS AND CODES

1. The Standard Specifications for Road and Bridge Construction (SSRBC), adopted April 1, 2016 adopted by the Illinois department of Transportation, and all amendments thereto the design manual, highway standards, and the culvert manual, also prepared by the Illinois Department of Transportation.
2. The Americans with Disabilities Act and the Illinois Accessibility Code.
3. The Illinois Procedures and Standards for Urban Soil Erosion and Sedimentation Control, and IEPA Standards and Specifications for Soil Erosion and Sedimentation Control.
4. U.S. Soil Conservation Service Field Engineering Handbook
5. All codes and ordinances of the Village of Bartlett, United States Army Corp of Engineers, Illinois Department of Natural Resources, County Soil and Water Conservation Districts, and all agencies having jurisdiction.
6. All requirements of the Occupational Safety and Health Administration.
7. The cited standard specifications, codes and permits, with these construction plans and details, are all to be considered part of the work, incidental items or accessories necessary to complete this work may not be specifically noted but are considered a part of these improvements.
8. In case of conflict, the more restrictive provision shall apply.

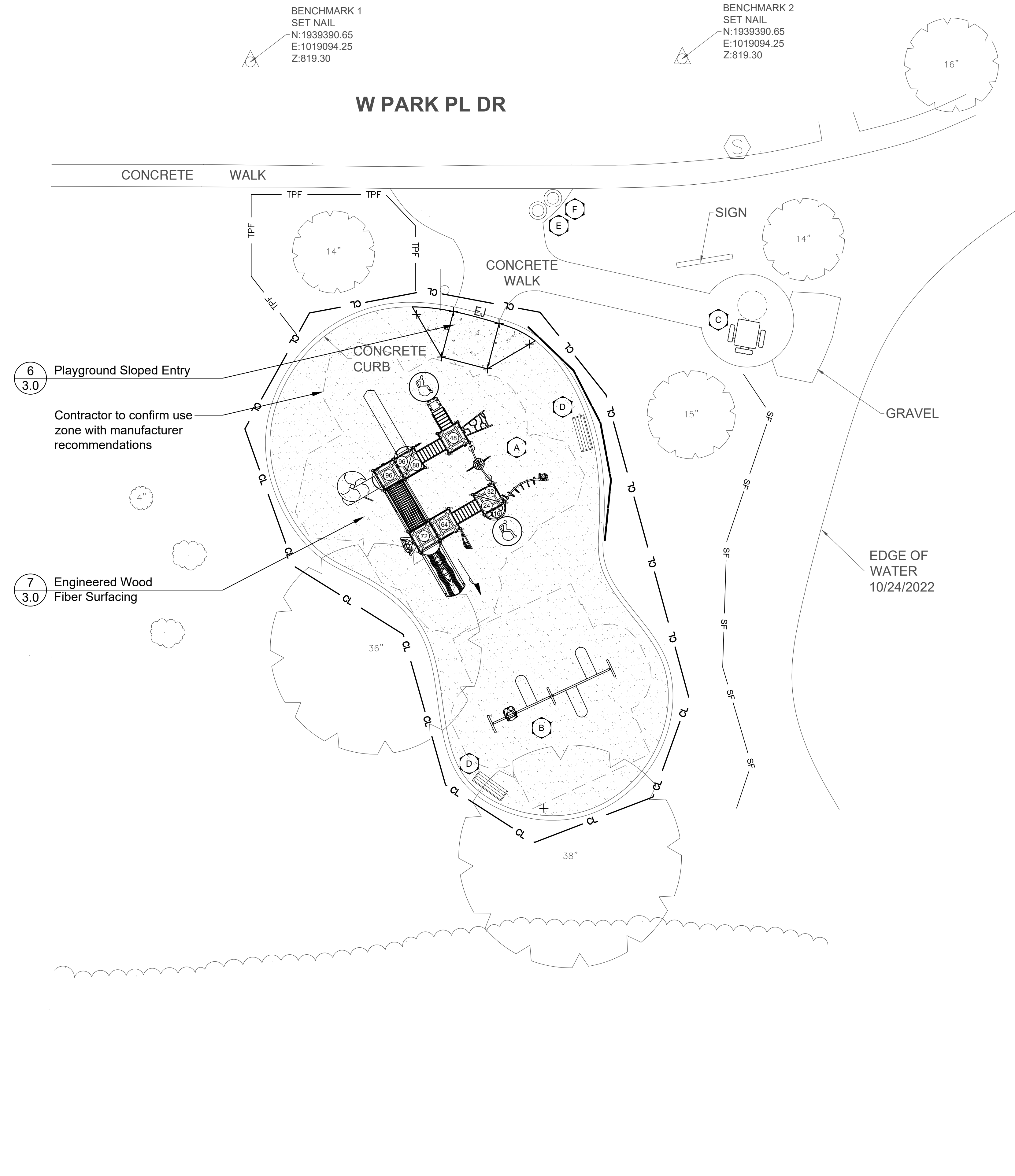
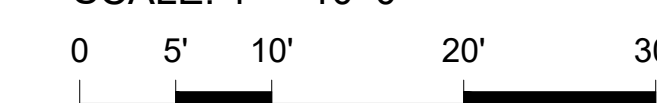
SITE AMENITIES SCHEDULE

Key	Item	Color	Qty	Model	Manufacturer	Supplier
A	5-12 Play Structure	TBD	1	Custom #129-161578-2	BCI Burke Company, LLC	Play Illinois 630-200-8759
B	Swings: 3 Belt 1 ADA	TBD	1	#550-0112 #550-0171	BCI Burke Company, LLC	Play Illinois 630-200-8759
C	Picnic Table	TBD	1	#F2016, Ultra Expanded Steel ADA Table, 3 - Seat, Surface Mount	Anova Furnishings	Anova Furnishings 314-296-1579
D	Bench	TBD	2	Bench 169, 6', Inground Mount	DuMor	Nutoys Lesiure Products 708-579-9055
E	Litter Receptacle	TBD	1	#D6005DT, Rally Receptacle, with Dome Lid, Surface Mount	Anova Furnishings	Anova Furnishings 314-296-1579
F	Recycle Receptacle	TBD	1	#D6005R, Rally Receptacle, with Recycle Lid, Surface Mount	Anova Furnishings	Anova Furnishings 314-296-1579

LEGEND

- Concrete Paving
- Engineered Wood Fiber Surfacing
- EJ Concrete Expansion Joints
- CF 6' Freestanding Construction Fence
- TPF Tree Protection Fence
- SF Silt Fence

SCALE: 1" = 10'-0"



BENCHMARK 1  
SET NAIL  
N:1939390.65  
E:1019094.25  
Z:819.30

BENCHMARK 2  
SET NAIL  
N:1939390.65  
E:1019094.25  
Z:819.30

- 6  
3.0 Playground Sloped Entry  
Contractor to confirm use zone with manufacturer recommendations
- 7  
3.0 Engineered Wood Fiber Surfacing

CONCRETE WALK

CONCRETE WALK

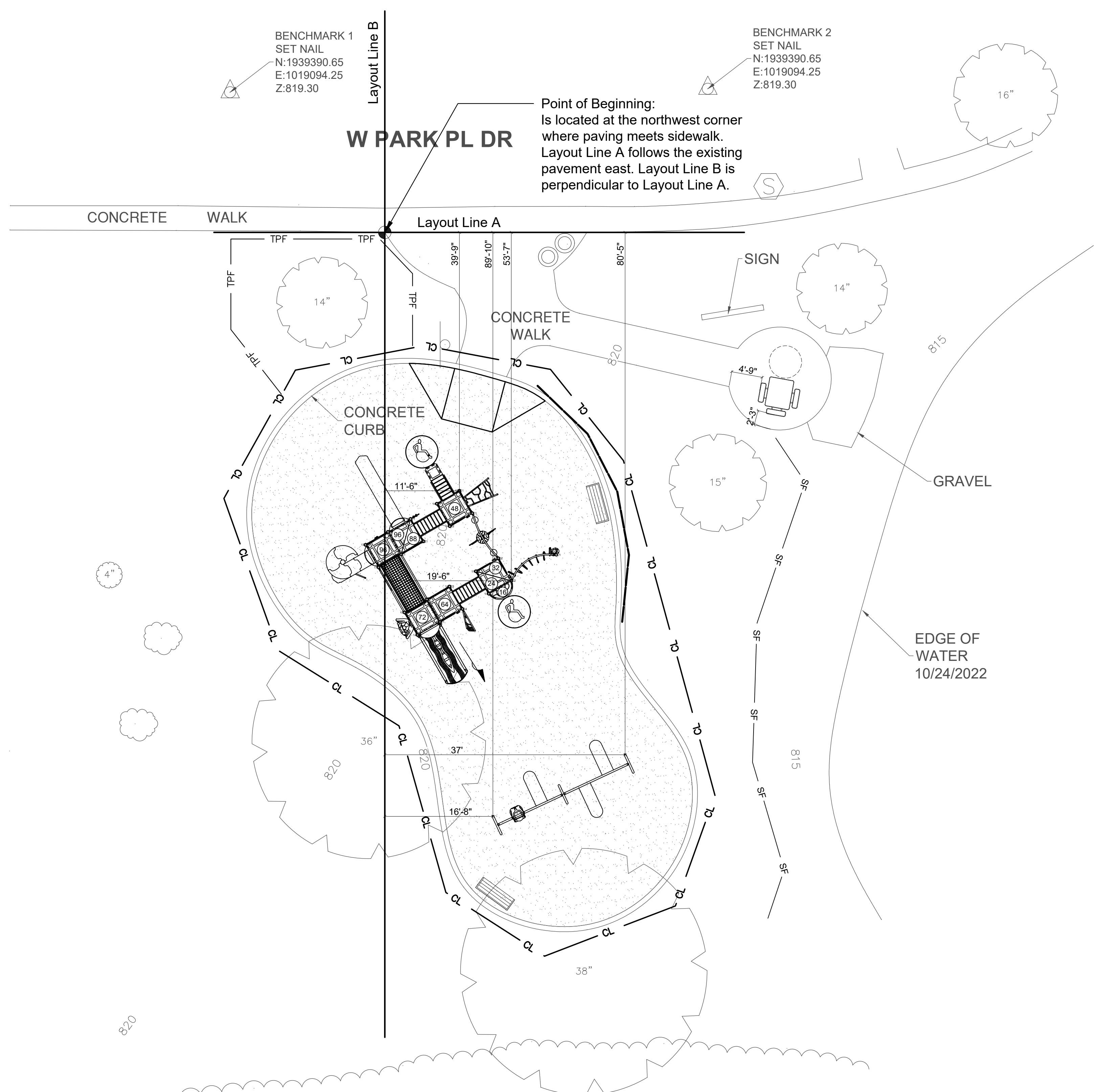
CONCRETE CURB

GRAVEL

EDGE OF WATER  
10/24/2022

W PARK PL DR

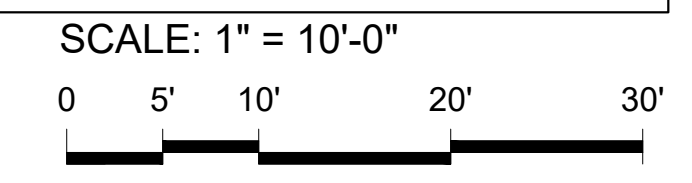




**Point of Beginning:**  
Is located at the northwest corner where paving meets sidewalk. Layout Line A follows the existing pavement east. Layout Line B is perpendicular to Layout Line A.

- GENERAL NOTES: DIMENSION**
1. Layout of equipment is to center of post.
  2. Layout play equipment with safety zones to be staked by the Contractor for review by Owner's Representative prior to play equipment installation.
  3. Paving radii shall be formed completely and shall smoothly transition into tangents and adjoining lines. Dimensions are to face of curb and edge of pavement unless otherwise specified.
  4. Dimensions are in feet or degrees. Dimensions are perpendicular & parallel unless otherwise noted.
  5. See Layout Plan, Sheet 1.1 for additional general notes and referenced specifications and codes.
  6. Contractor shall perform all construction layout for the project. Contractor will be provided with an electronic file in AutoCAD format to assist with layout. Neither the Owner nor their representative shall be responsible for setting additional layout points.

- LEGEND**
- Concrete Paving
  - Engineered Wood Fiber Surfacing
  - Concrete Expansion Joints
  - 6' Freestanding Construction Fence
  - Tree Protection Fence
  - Silt Fence
  - Point of Beginning



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**Playground Renovations**

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**PROJECT TEAM**

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Plainfield, Illinois 815-254-0091  
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910 Geneva Street  
Shorewood, Illinois 60404  
Phone: 815-729-4000

**Kermit's Korner**

**REVISIONS**

MB/NO	Issue for Bid	24JAN2023

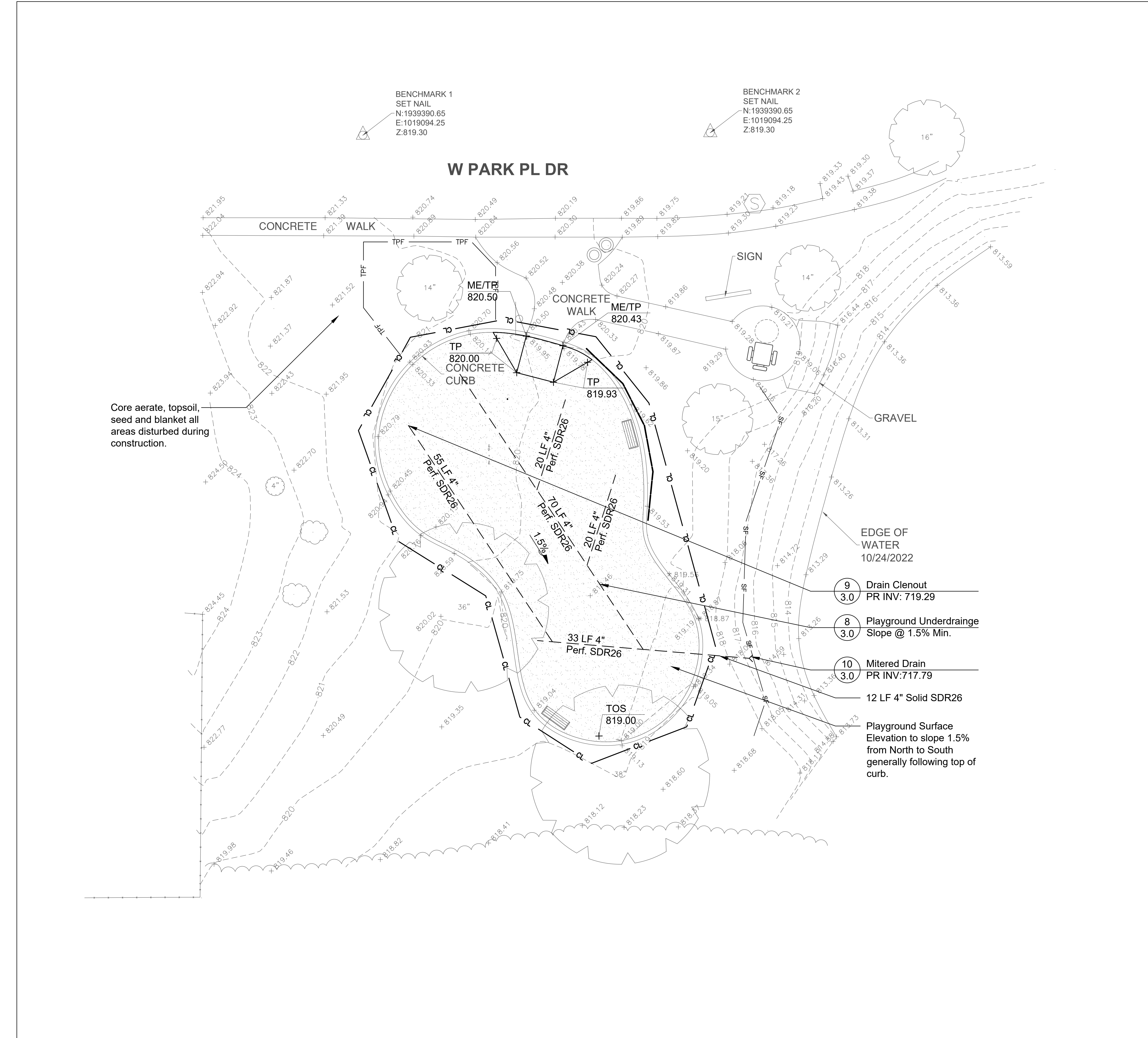
ORIGINAL ISSUE DATE 24JAN2023  
**Issue for Bid**

PROJECT NUMBER  
**1091**

SHEET TITLE  
**Dimension Plan**

SHEET NUMBER





BENCHMARK 1  
SET NAIL  
N: 1939390.65  
E: 1019094.25  
Z: 819.30

BENCHMARK 2  
SET NAIL  
N: 1939390.65  
E: 1019094.25  
Z: 819.30

**W PARK PL DR**

Core aerate, topsoil, seed and blanket all areas disturbed during construction.

- 9 Drain Cleanout  
3.0  
PR INV: 719.29
- 8 Playground Underdrainage  
3.0  
Slope @ 1.5% Min.
- 10 Mitered Drain  
3.0  
PR INV: 717.79

**GENERAL NOTES: GRADING**

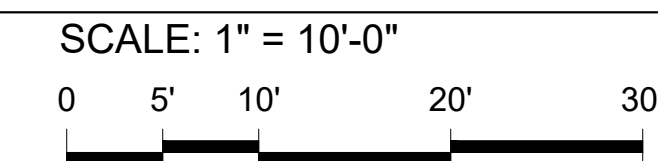
1. Finished surfaces to be smooth and even with no abrupt or awkward changes in grade. Paving to meet adjacent grades flush and smooth.
2. Contractor shall restore all areas disturbed as a result of construction.
3. All walks, drives and paved areas are to follow ADA per incorporated specifications. Any deviation shall be removed and reinstalled to follow this law.
4. All Accessible Route paving shall not exceed 4.5% in any direction. Cross slopes shall be less than 2%. Contractor shall slope all walks and slabs to eliminate ponding. ADA Turning Radius paving shall be less than 2% in all directions.
5. This work shall include the excavation, stockpile, and placement of topsoil and suitable excavated material along with removal of all excess topsoil and debris off site and dispose of legally.
6. Follow the Illinois Procedures and Standards for Urban Soil Erosion and Sedimentation Control, IEPA Standards and Specifications for Soil Erosion and Sedimentation Control, and U.S. Soil Conservation Service Field Engineering Handbook.
7. Transitions between paving types (i.e. concrete to asphalt) shall be smooth. Transitions not to exceed 1/8" vertical or horizontal difference.

**LEGEND**

- 681 --- Existing Contour Line
- 681 — Proposed Contour Line
- + 685.35 Existing Spot Elevation
- + 689.66 Proposed Spot Elevation
- 2% — Drainage Flow Direction
- CL — Construction Limits / Construction Fence

**INDEX OF ACRONYMS AND ABBREVIATIONS**

- INV - Pipe Invert Elevation
- ME - Match Existing Elevation
- RIM - Top of Rim Elevation
- TC - Top of Curb
- TP - Top of Pavement



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**Kermit's Korner**

**REVISIONS**

MB/IMO	Issue for Bid	24JAN2023

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SHEET TITLE  
**Grading & Restoration Plan**

SHEET NUMBER



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**Apple Orchard West**

REVISIONS

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**Issue for Bid**

PROJECT NUMBER

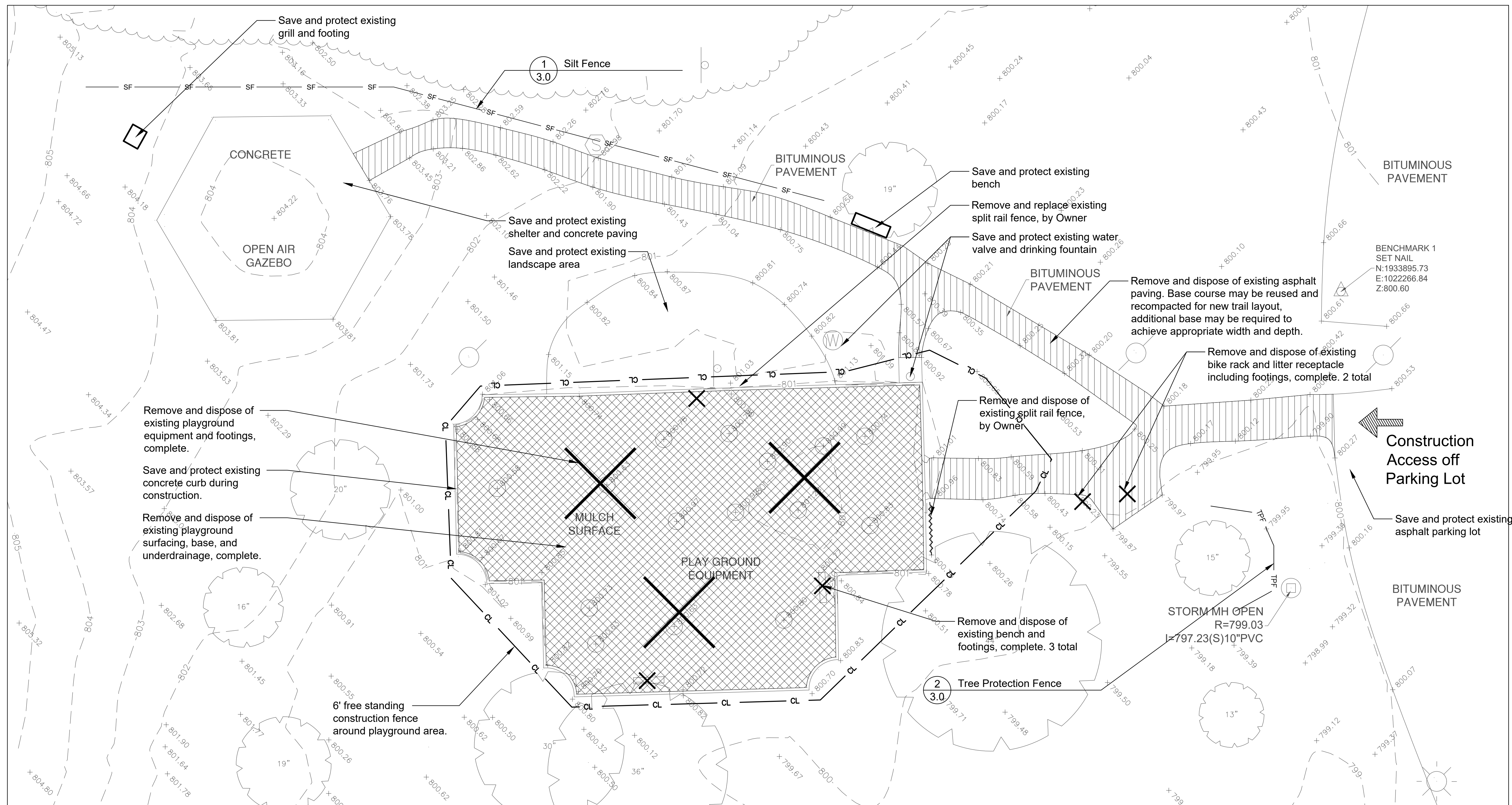
**1091**

SHEET TITLE

**Existing Conditions & Removals Plan**

SHEET NUMBER

**2.0**



**GENERAL NOTES: EXISTING CONDITIONS & REMOVALS**

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- Contractor shall follow all permit requirements as part of the project.

**PROJECT BENCHMARK**

Benchmark #1  
Set Nail  
N: 1933895.73  
E: 1022266.84  
Z: 800.60

**SURVEY LEGEND**

○ UTILITY POLE	⊙ MANHOLE	P.O.C. POINT OF COMMENCEMENT
★ LIGHT POLE	⊙ SANITARY MANHOLE	P.O.B. POINT OF BEGINNING
⊠ TRANSFORMER	⊙ STORM STRUCTURE (CLOSED)	° DEGREES
⊠ UTILITY PEDESTAL	⊙ STORM STRUCTURE (OPEN)	′ FEET/MINUTES
⊙ TRAFFIC SIGNAL	⊙ CURB INLET	″ INCHES/SECONDS
⊙ SIGNAL VAULT	⊙ VALVE VAULT	S.F. SQUARE FEET
⊙ GAS VALVE	⊙ FLARED END SECTION	(R) RECORD BEARING/DISTANCE
⊙ WATER VALVE	—W— WATER LINE	TF TOP OF FOUNDATION
⊙ ELECTRIC METER	—T— TELEPHONE/CATV LINE	FF FINISHED FLOOR
⊙ GAS METER	—G— GAS LINE	TP TOP OF PIPE
⊙ FIRE HYDRANT	—E— ELECTRIC LINE	B.S.L. BUILDING SETBACK LINE
⊙ AUTO SPRINKLER	—OHW— OVERHEAD WIRES	P.U.E. PUBLIC UTILITY EASEMENT
⊙ MONITORING WELL	—STM— STORM SEWER	D.E. DRAINAGE EASEMENT
⊙ GROUND LIGHT	—SAN— SANITARY SEWER	L ARC LENGTH
⊙ BOLLARD	—X— CHAIN LINK FENCE	R RADIUS LENGTH
⊙ B-BOX	—□— STOCKADE FENCE	C CHORD LENGTH
⊙ SIGN	—⊔— GUARD RAIL	CB CHORD BEARING
⊙ FLAG POLE	⊙ CONCRETE SURFACE	OMP CORRUGATED METAL PIPE

**REMOVALS LEGEND**

	Remove and Dispose of Existing Asphalt Paving
	Remove and Dispose of Existing Playground Surfacing
	Remove and Dispose of Item as Marked
	Remove and Dispose of Existing Split Rail Fence
	6' Freestanding Construction Fence
	Tree Protection Fence
	Silt Fence



PROJECT  
**Playground Renovations**

Apple Orchard West Park:  
924 Maple Court  
Bartlett, Illinois 60103

Kermit's Korner Park:  
1025 W Park PL Drive  
Bartlett, Illinois 60103

PROJECT TEAM

uplandDesign Ltd  
Landscape Architecture & Park Planning  
Chicago, Illinois 312-350-4088  
Plainfield, Illinois 815-254-0091  
uplandDesign.com

SURVEYOR  
JLH Land Surveying Inc.  
910 Geneva Street  
Shorewood, Illinois 60404  
Phone: 815-729-4000

**Apple Orchard West**

REVISIONS

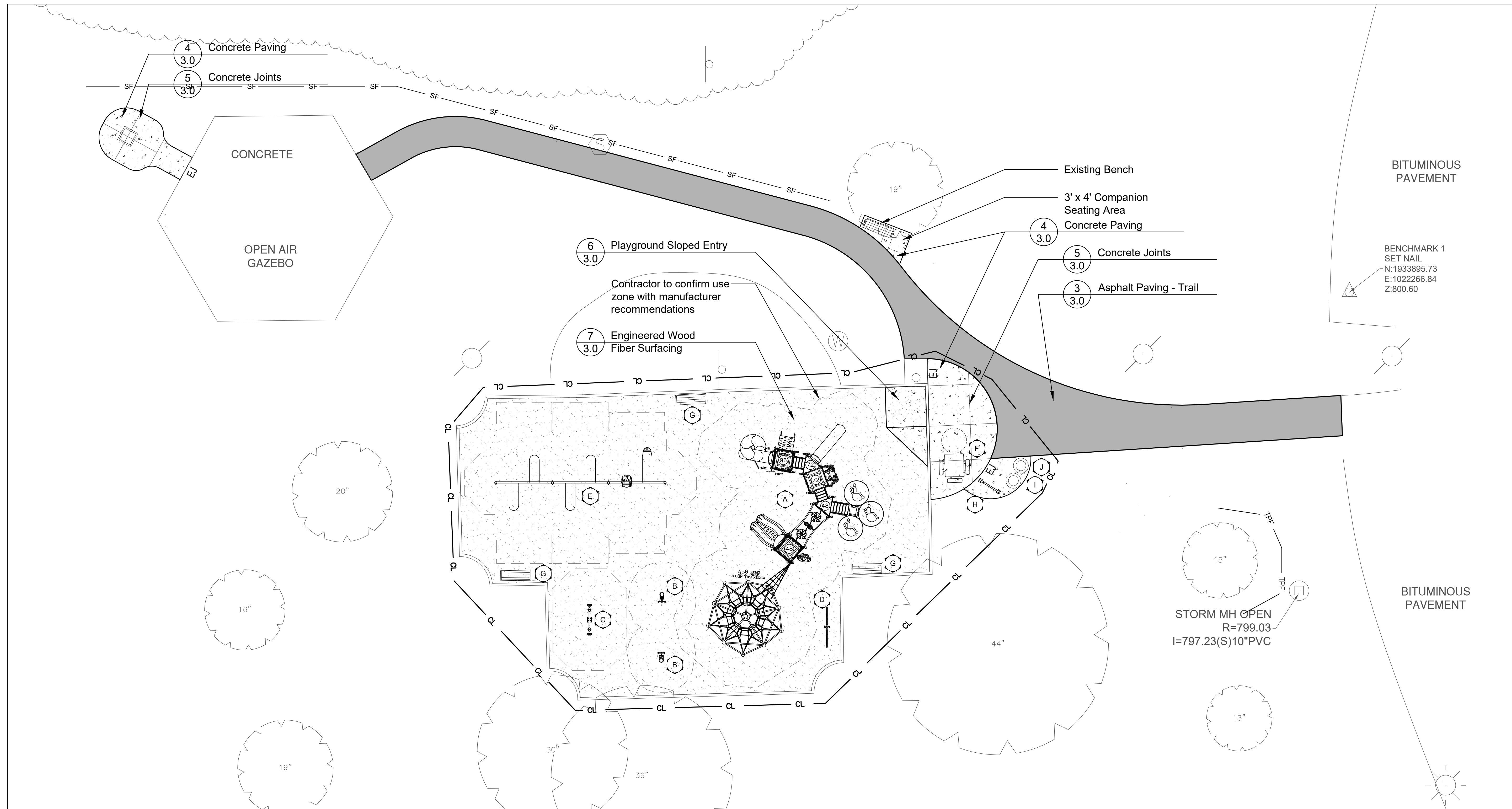
MB/NO	Issue for Bid	24JAN2023

ORIGINAL ISSUE DATE 24JAN2023  
**Issue for Bid**

PROJECT NUMBER  
**1091**

SHEET TITLE  
**Layout Plan**

SHEET NUMBER



GENERAL NOTES: LAYOUT

- It is the responsibility of the Contractor to perform layout of all project elements and points for review by Owner prior to construction. (This work is considered incidental to the project and not paid as a separate bid item).
- The contractor shall be responsible for all materials and quantities as required to complete the work in accordance with the plans and specifications. The contractor will notify the Owner's Representative in writing of any discrepancies or changes required to complete the work before any action may be taken. All changes or change orders must be approved by the Owner's Representative and Owner before any changes are executed.
- Contractor shall follow Village of Bartlett permit requirements as part of the project.
- Contractor shall confirm that all equipment use/safety zones specified by play equipment manufacturer are adhered to.
- All play equipment footings shall meet manufacturers recommendations for footing depth and width.

REFERENCED SPECIFICATIONS AND CODES

- The Standard Specifications for Road and Bridge Construction (SSRBC), adopted April 1, 2016 adopted by the Illinois department of Transportation, and all amendments thereto the design manual, highway standards, and the culvert manual, also prepared by the Illinois Department of Transportation.
- The Americans with Disabilities Act and the Illinois Accessibility Code.
- The Illinois Procedures and Standards for Urban Soil Erosion and Sedimentation Control, and IEPA Standards and Specifications for Soil Erosion and Sedimentation Control.
- U.S. Soil Conservation Service Field Engineering Handbook
- All codes and ordinances of the Village of Bartlett, United States Army Corp of Engineers, Illinois Department of Natural Resources, County Soil and Water Conservation Districts, and all agencies having jurisdiction.
- All requirements of the Occupational Safety and Health Administration.
- The cited standard specifications, codes and permits, with these construction plans and details, are all to be considered part of the work, incidental items or accessories necessary to complete this work may not be specifically noted but are considered a part of these improvements.
- In case of conflict, the more restrictive provision shall apply.

SITE AMENITIES SCHEDULE

Key	Item	Color	Qty	Model	Manufacturer	Supplier
A	5-12 Play Structure	TBD	1	Custom #129-161582-2	BCI Burke Company, LLC	Play Illinois 630-200-8759
B	Meta Rocker	TBD	2	#570-2680	BCI Burke Company, LLC	Play Illinois 630-200-8759
C	Standing Rocker	TBD	1	#570-0054	BCI Burke Company, LLC	Play Illinois 630-200-8759
D	Ring Panels	TBD	1	#570-0687	BCI Burke Company, LLC	Play Illinois 630-200-8759
E	Swings: 4 Belt 1 Tot 1 ADA	TBD	1	#550-0112 #550-0099 #550-0171	BCI Burke Company, LLC	Play Illinois 630-200-8759
F	Picnic Table	TBD	1	#F2016, Ultra Expanded Steel ADA Table, 3 - Seat, Surface Mount	Anova Furnishings	Anova Furnishings 314-296-1579
G	Bench	TBD	3	Bench 169, 6', Inground Mount	DuMor	Nutoys Lesiure Products 708-579-9055
H	Bike Rack	TBD	1	#LBR5PSURF, 5 Bike Rack, Surface Mount	Anova Furnishings	Anova Furnishings 314-296-1579
I	Litter Receptacle	TBD	1	#D6005DT, Rally Receptacle, with Dome Lid, Surface Mount	Anova Furnishings	Anova Furnishings 314-296-1579
J	Recycle Receptacle	TBD	1	#D6005R, Rally Receptacle, with Recycle Lid, Surface Mount	Anova Furnishings	Anova Furnishings 314-296-1579



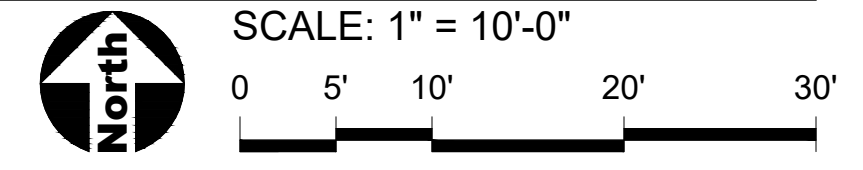
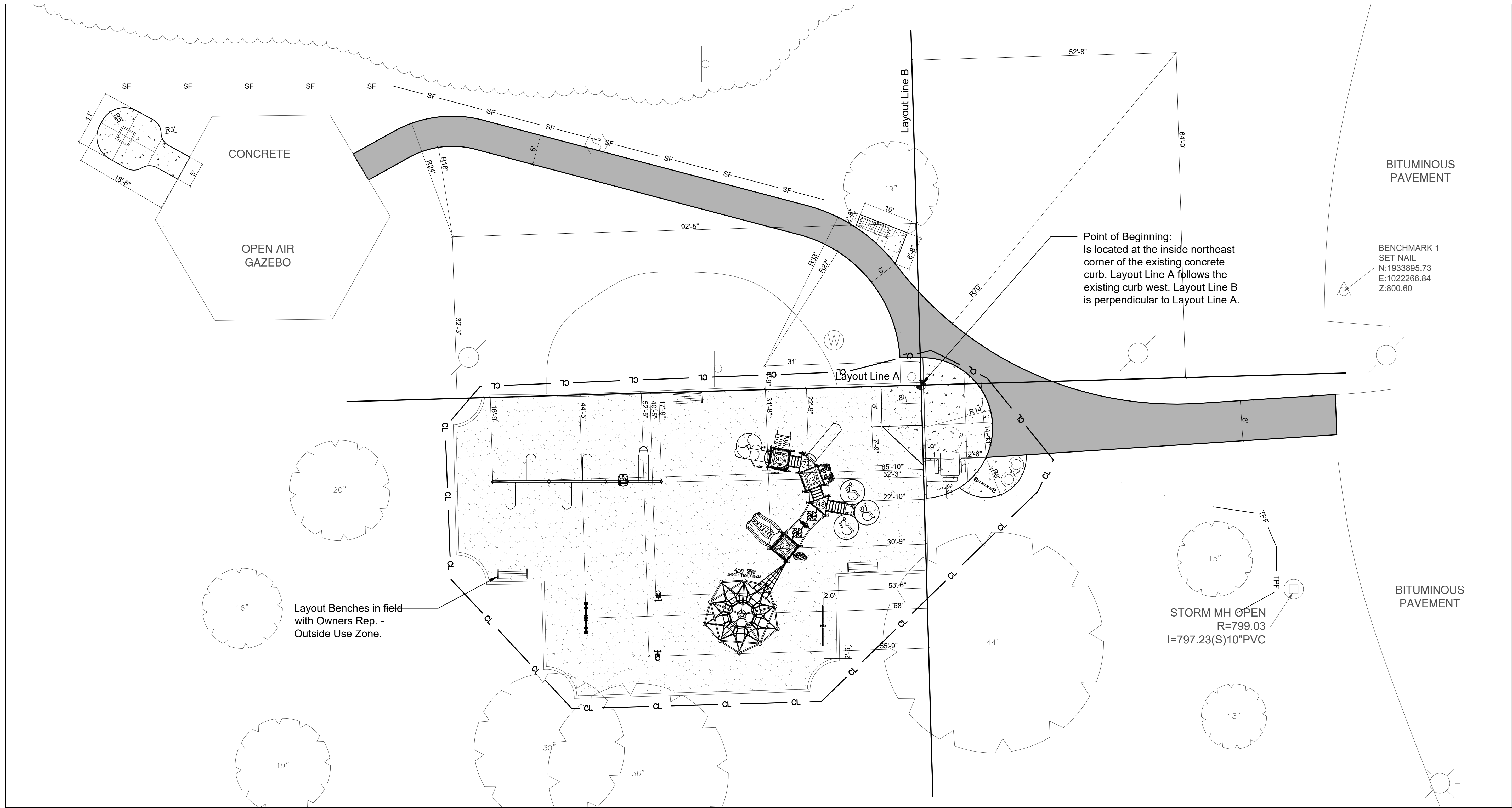
SCALE: 1" = 10'-0"



LEGEND

- Asphalt Paving
- Concrete Paving
- Engineered Wood Fiber Surfacing
- EJ Concrete Expansion Joints
- CF 6' Freestanding Construction Fence
- TPF Tree Protection Fence
- SF Silt Fence





**GENERAL NOTES: DIMENSION**

1. Layout of equipment is to center of post.
2. Layout play equipment with safety zones to be staked by the Contractor for review by Owner's Representative prior to play equipment installation.
3. Paving radii shall be formed completely and shall smoothly transition into tangents and adjoining lines. Dimensions are to face of curb and edge of pavement unless otherwise specified.
4. Dimensions are in feet or degrees. Dimensions are perpendicular & parallel unless otherwise noted.
5. See Layout Plan, Sheet 2.1 for additional general notes and referenced specifications and codes.
6. Contractor shall perform all construction layout for the project. Contractor will be provided with an electronic file in AutoCAD format to assist with layout. Neither the Owner nor their representative shall be responsible for setting additional layout points.

**LEGEND**

- Concrete Paving
- Engineered Wood Fiber Surfacing
- EJ Concrete Expansion Joints
- CF 6' Freestanding Construction Fence
- TPF Tree Protection Fence
- SF Silt Fence
- Point of Beginning



696 West Stearns Road  
Bartlett, Illinois 60103  
Phone: 630-540-4800

**PROJECT**  
**Playground Renovations**

Apple Orchard West Park:  
924 Maple Court  
Bartlett, Illinois 60103

Kermit's Korner Park:  
1025 W Park PL Drive  
Bartlett, Illinois 60103

**PROJECT TEAM**

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Landscape Architecture & Park Planning  
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Plainfield, Illinois 815-254-0091  
uplandDesign.com

**SURVEYOR**  
JLH Land Surveying Inc.  
910 Geneva Street  
Shorewood, Illinois 60404  
Phone: 815-729-4000

**Apple Orchard West**

**REVISIONS**

MB/NO	Issue for Bid	24JAN2023

ORIGINAL ISSUE DATE 24JAN2023  
**Issue for Bid**

PROJECT NUMBER  
**1091**

SHEET TITLE  
**Dimension Plan**

SHEET NUMBER



PROJECT  
**Playground Renovations**

Apple Orchard West Park:  
924 Maple Court  
Bartlett, Illinois 60103

Kermit's Korner Park:  
1025 W Park PL Drive  
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**Apple Orchard West**

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PROJECT NUMBER

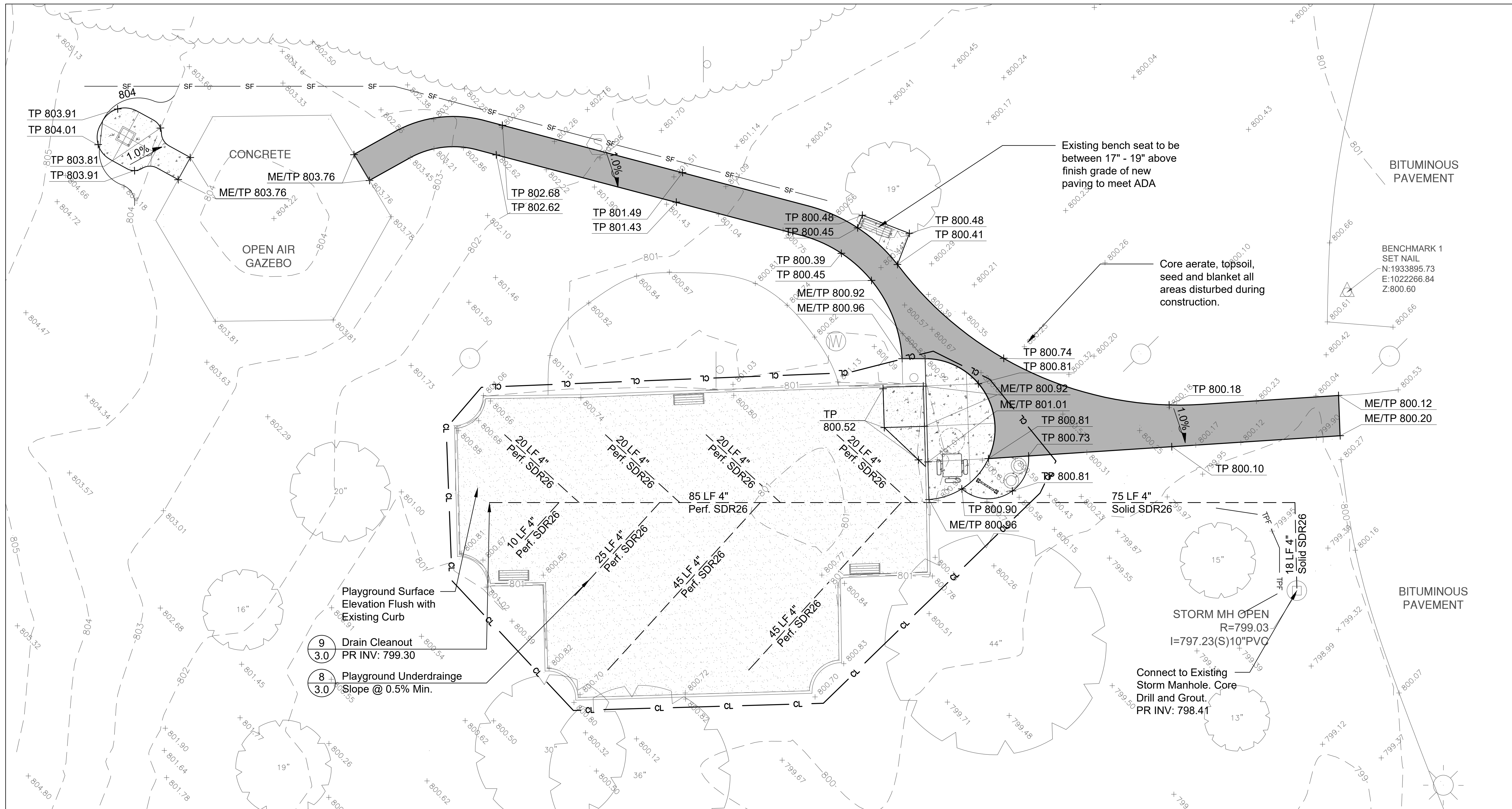
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SHEET TITLE

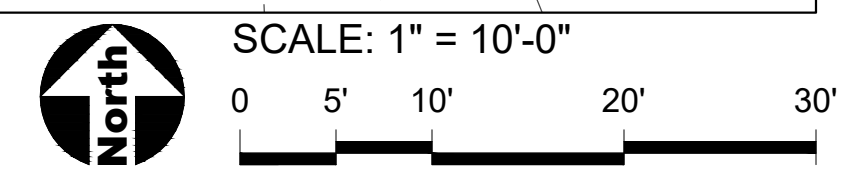
**Grading & Restoration Plan**

SHEET NUMBER

**2.3**



- Playground Surface Elevation Flush with Existing Curb
- 9 Drain Cleanout  
3.0 PR INV: 799.30
  - 8 Playground Underdrainage  
3.0 Slope @ 0.5% Min.



INDEX OF ACRONYMS AND ABBREVIATIONS

- INV - Pipe Invert Elevation
- ME - Match Existing Elevation
- RIM - Top of Rim Elevation
- TC - Top of Curb
- TP - Top of Pavement

GENERAL NOTES: GRADING

- Finished surfaces to be smooth and even with no abrupt or awkward changes in grade. Paving to meet adjacent grades flush and smooth.
- Contractor shall restore all areas disturbed as a result of construction.
- All walks, drives and paved areas are to follow ADA per incorporated specifications. Any deviation shall be removed and reinstalled to follow this law.
- All Accessible Route paving shall not exceed 4.5% in any direction. Cross slopes shall be less than 2%. Contractor shall slope all walks and slabs to eliminate ponding. ADA Turning Radius paving shall be less than 2% in all directions.
- This work shall include the excavation, stockpile, and placement of topsoil and suitable excavated material along with removal of all excess topsoil and debris off site and dispose of legally.
- Follow the Illinois Procedures and Standards for Urban Soil Erosion and Sedimentation Control, IEPA Standards and Specifications for Soil Erosion and Sedimentation Control, and U.S. Soil Conservation Service Field Engineering Handbook.
- Transitions between paving types (i.e. concrete to asphalt) shall be smooth. Transitions not to exceed 1/8" vertical or horizontal difference.

LEGEND

- 681 --- Existing Contour Line
- 681 — Proposed Contour Line
- + 685.35 Existing Spot Elevation
- + 689.66 Proposed Spot Elevation
- 2% — Drainage Flow Direction
- CL — Construction Limits / Construction Fence



# PROJECT Playground Renovations

Apple Orchard West Park:  
924 Maple Court  
Bartlett, Illinois 60103

Kermitt's Korner Park:  
1025 W Park PL Drive  
Bartlett, Illinois 60103

## PROJECT TEAM

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## REVISIONS

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		24JAN2023

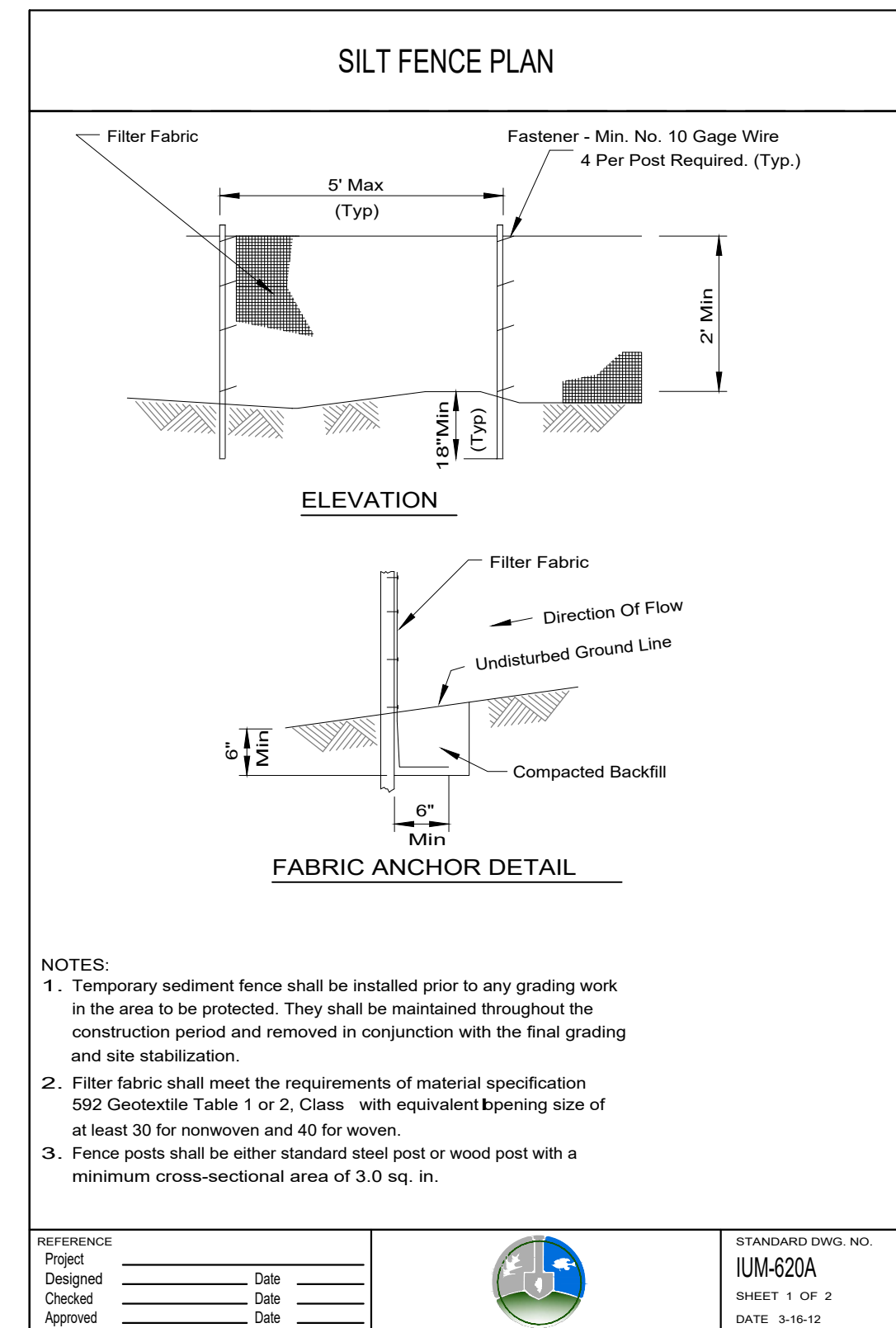
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**Issue for Bid**

PROJECT NUMBER  
**1091**

## SHEET TITLE Construction Details

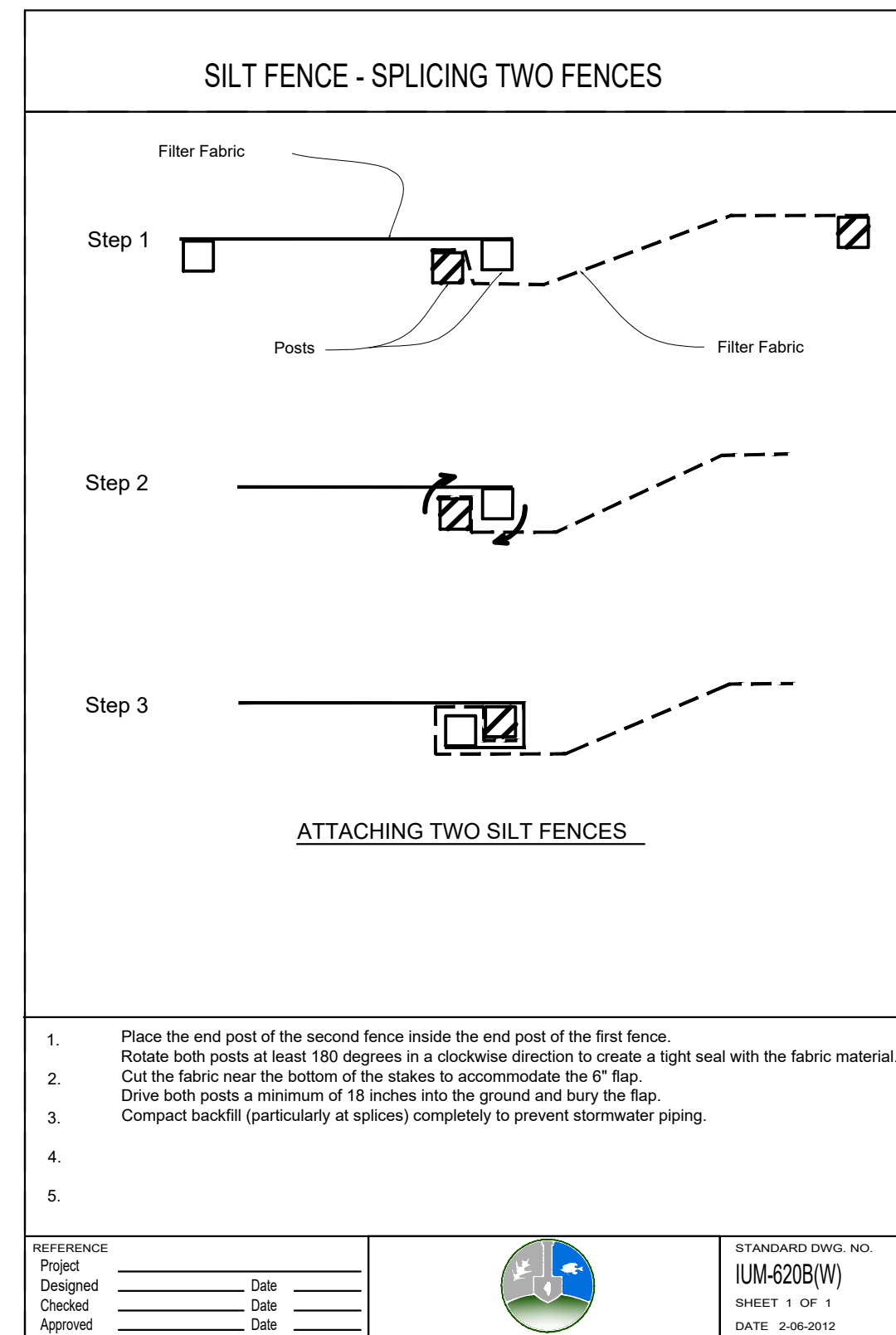
SHEET NUMBER

**3.0**



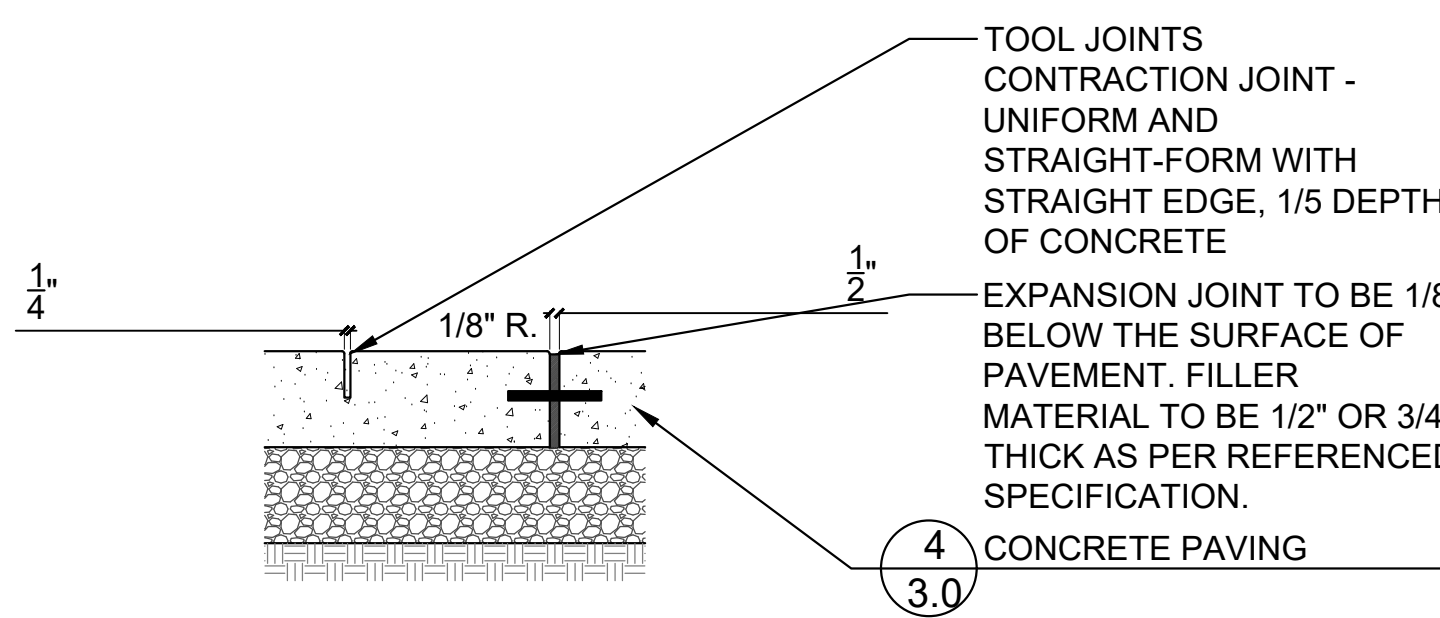
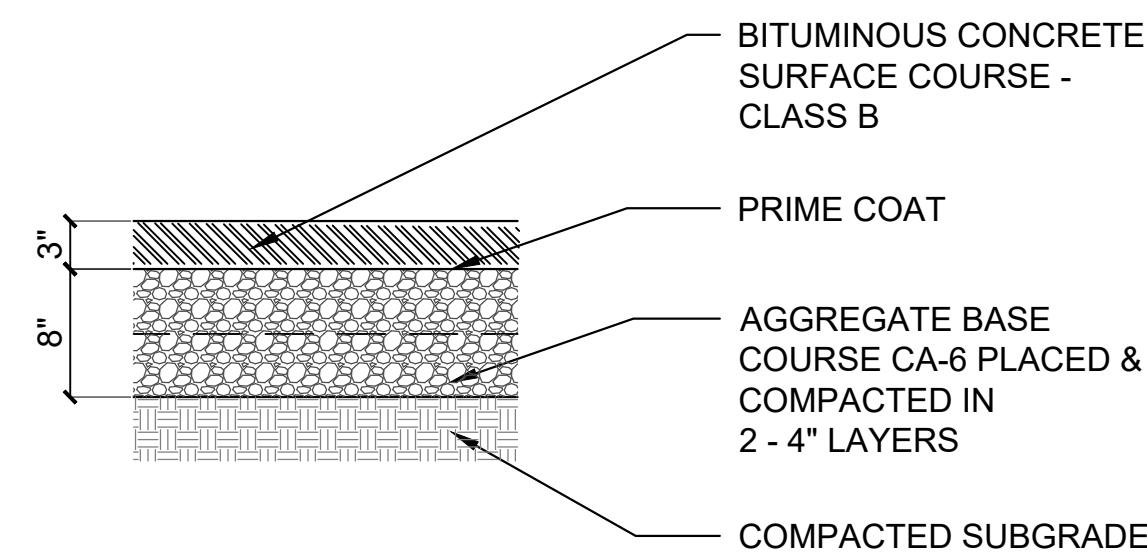
**1 Silt Fence**  
SCALE: NTS

d-IUM 620B-silt fence\_12



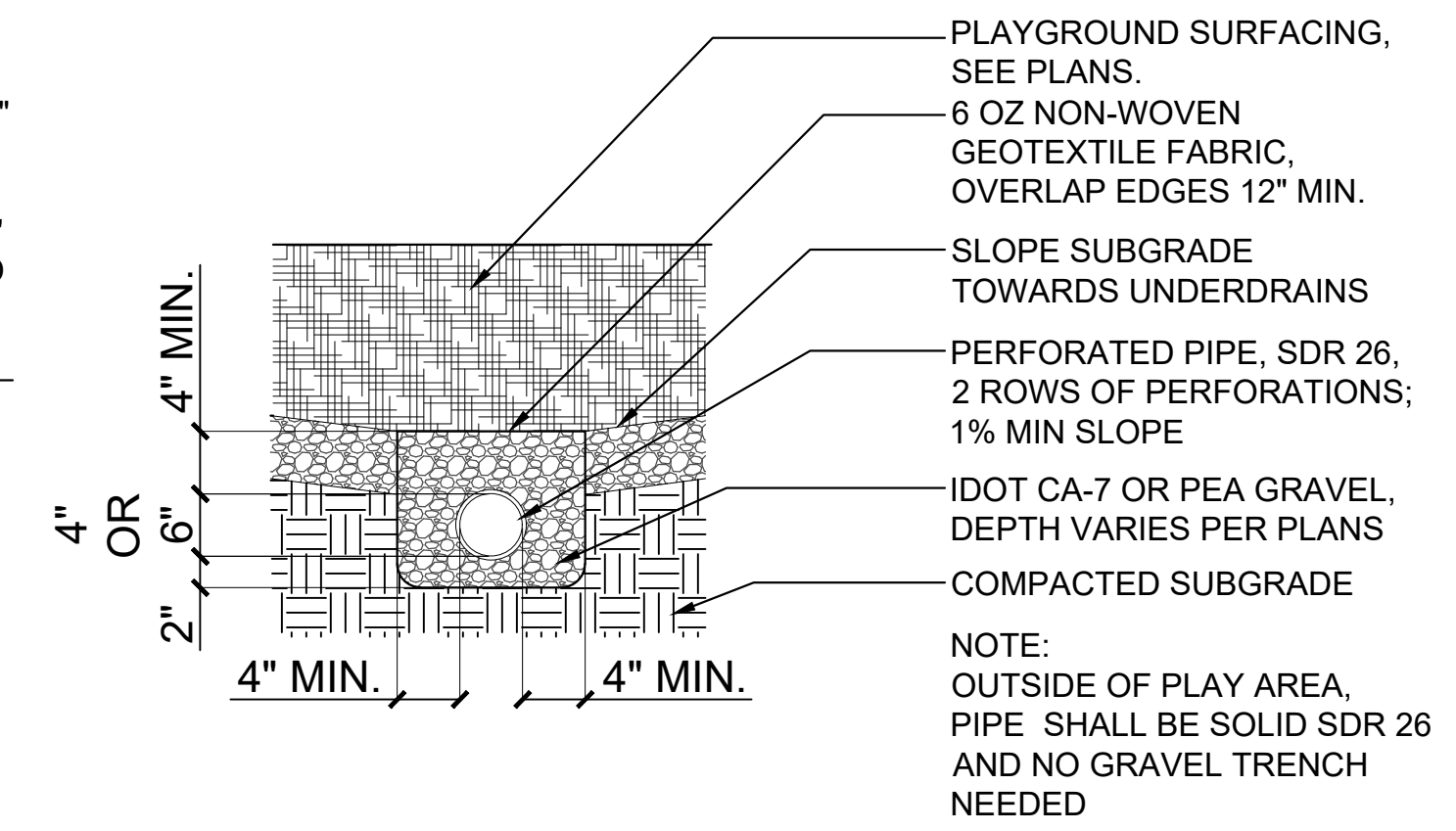
**3 Asphalt Paving - Trail**  
SCALE: 1"=1'-0"

d-asph\_trail\_12.dwg



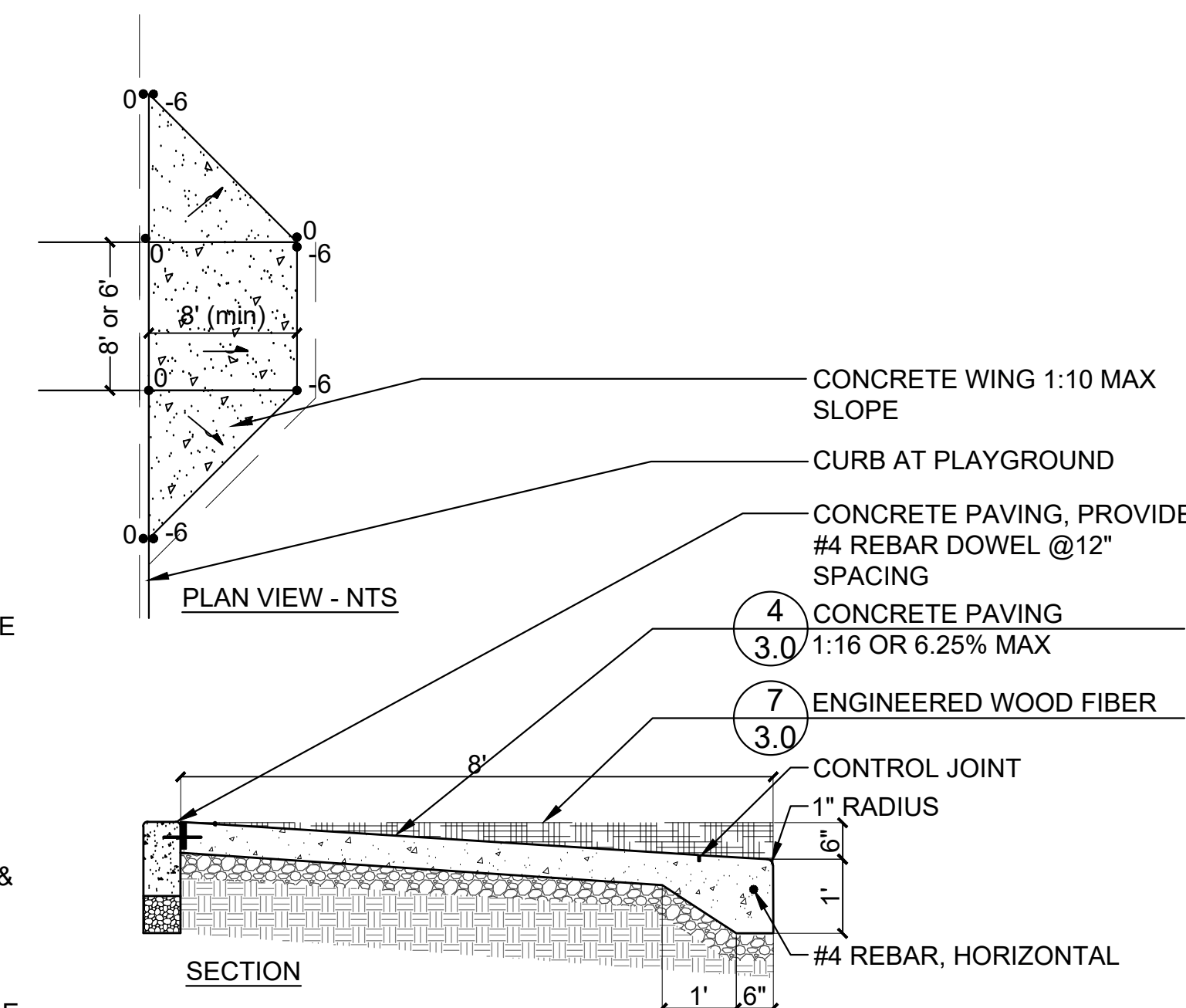
**5 Concrete Joints**  
SCALE: 1 1/2"=1'-0"

d-joints\_8



**8 Playground Underdrainage**  
SCALE: 1"=1'-0"

d-playground underdrainage\_12

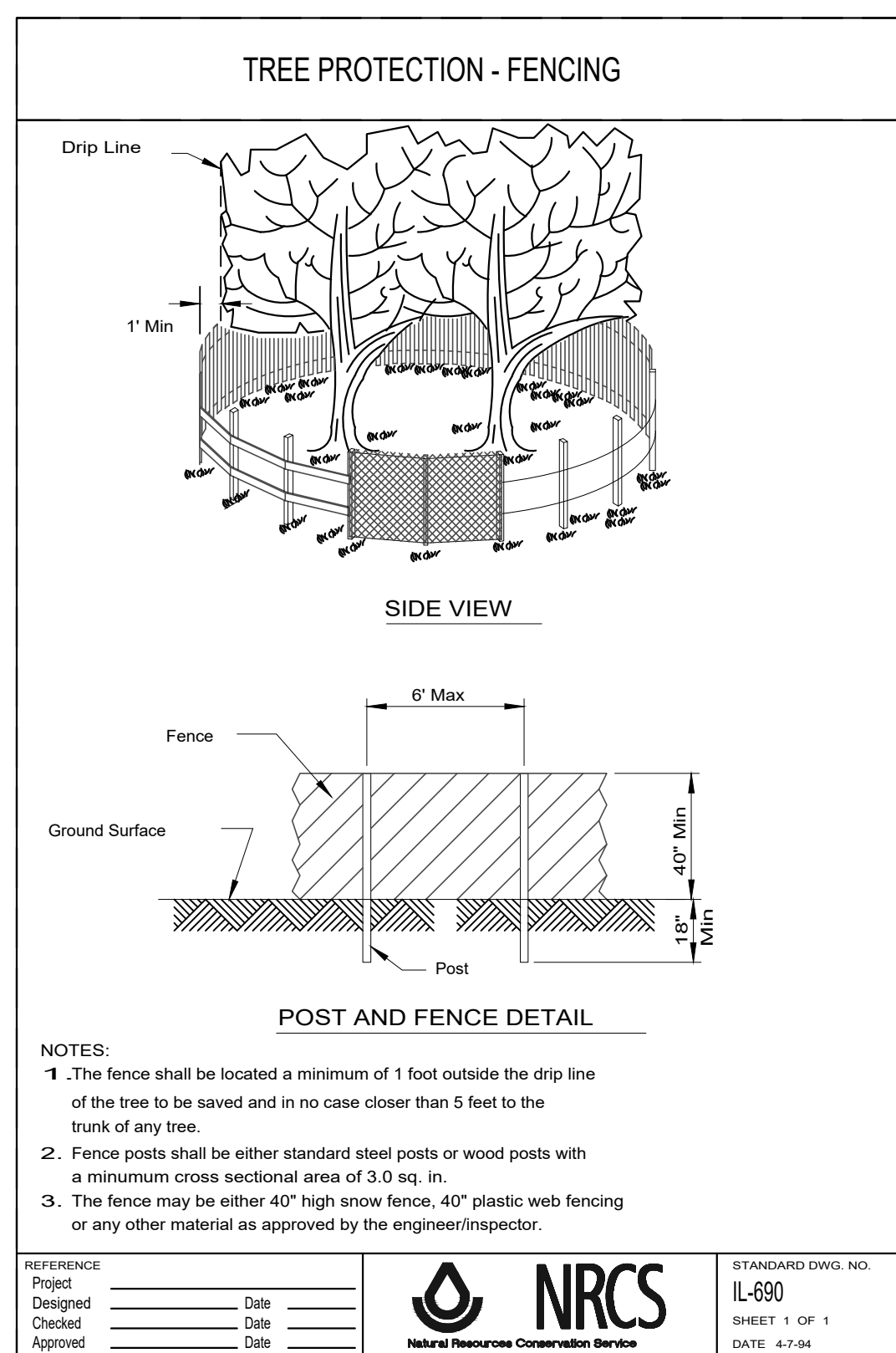
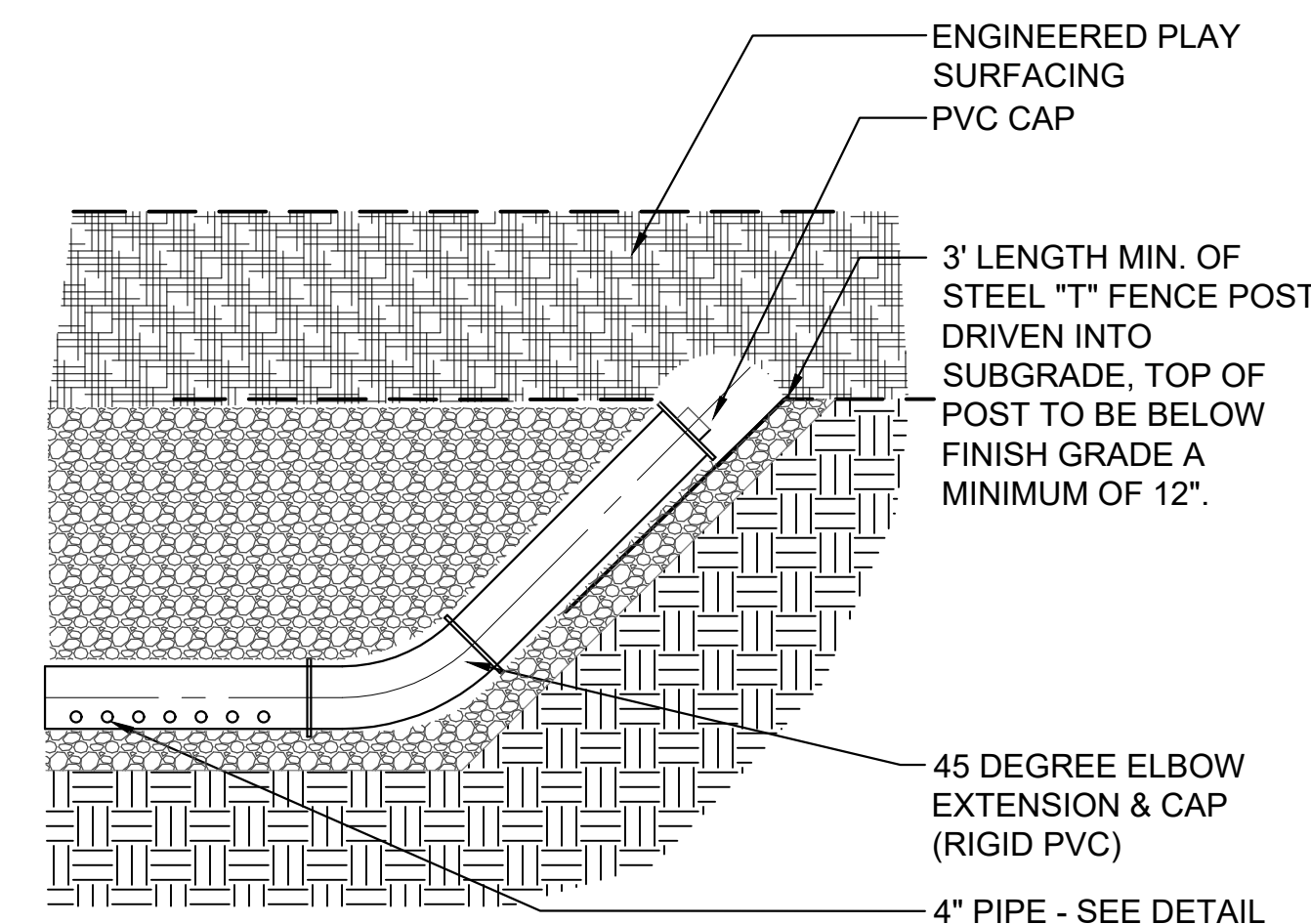


**6 Concrete Sloped Entry**  
SCALE: 1/2"=1'-0"

d-conc\_sloped entry one wing\_24

**9 Drain Cleanout - EWF**  
SCALE: N.T.S.

d-drain cleanout-EWF\_12

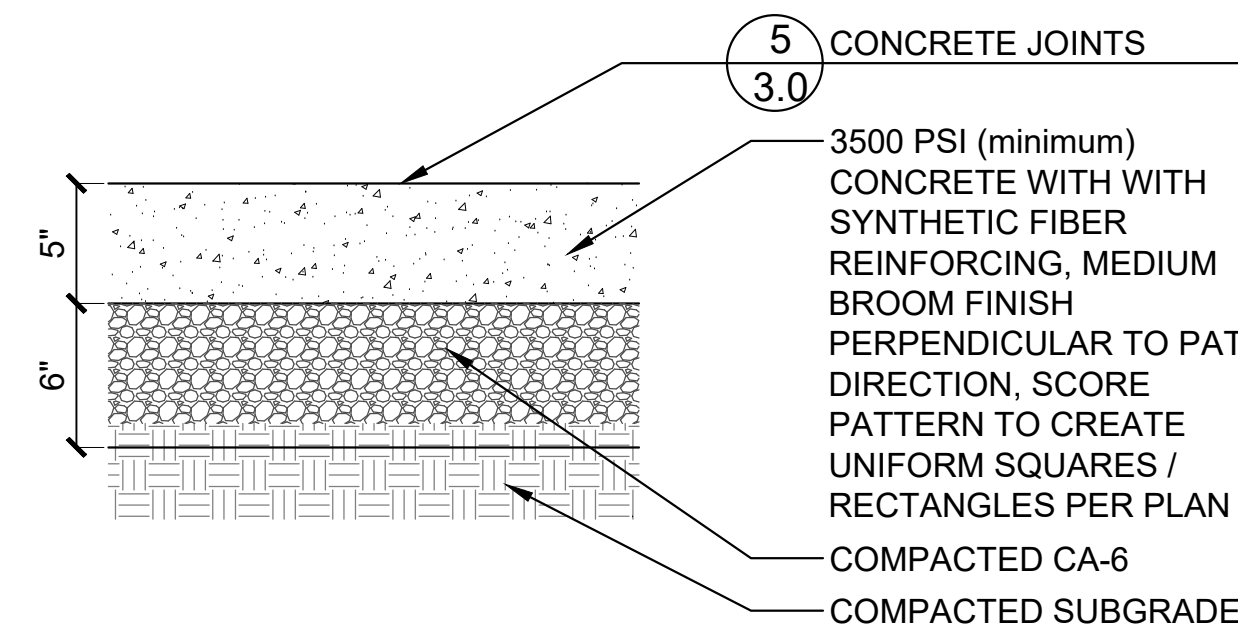


**2 Tree Protection Fence**  
SCALE: NTS

d-NRCS-IL690-tree protection fence\_12

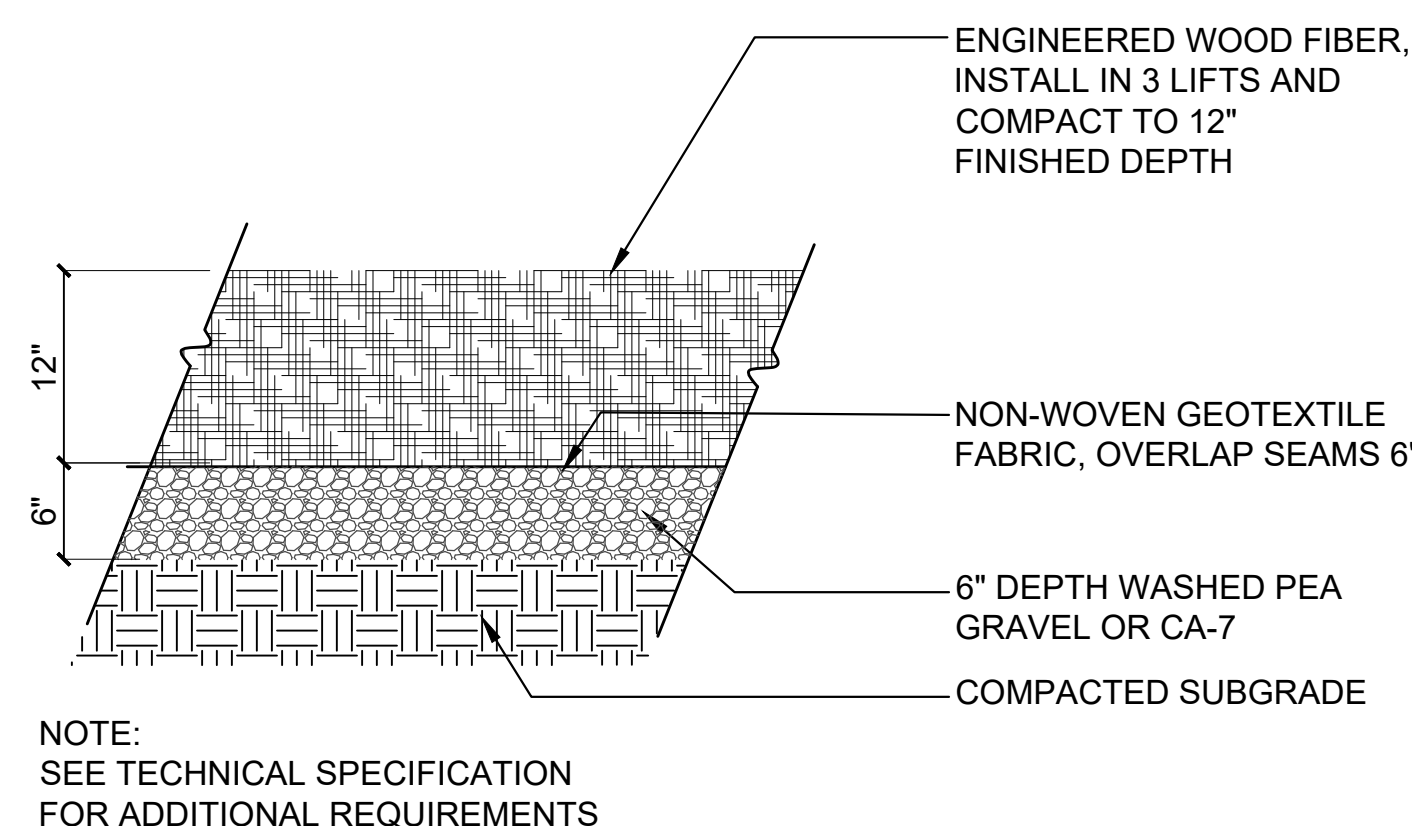
**4 Concrete Paving**  
SCALE: 1 1/2"=1'-0"

d-conc pav\_8



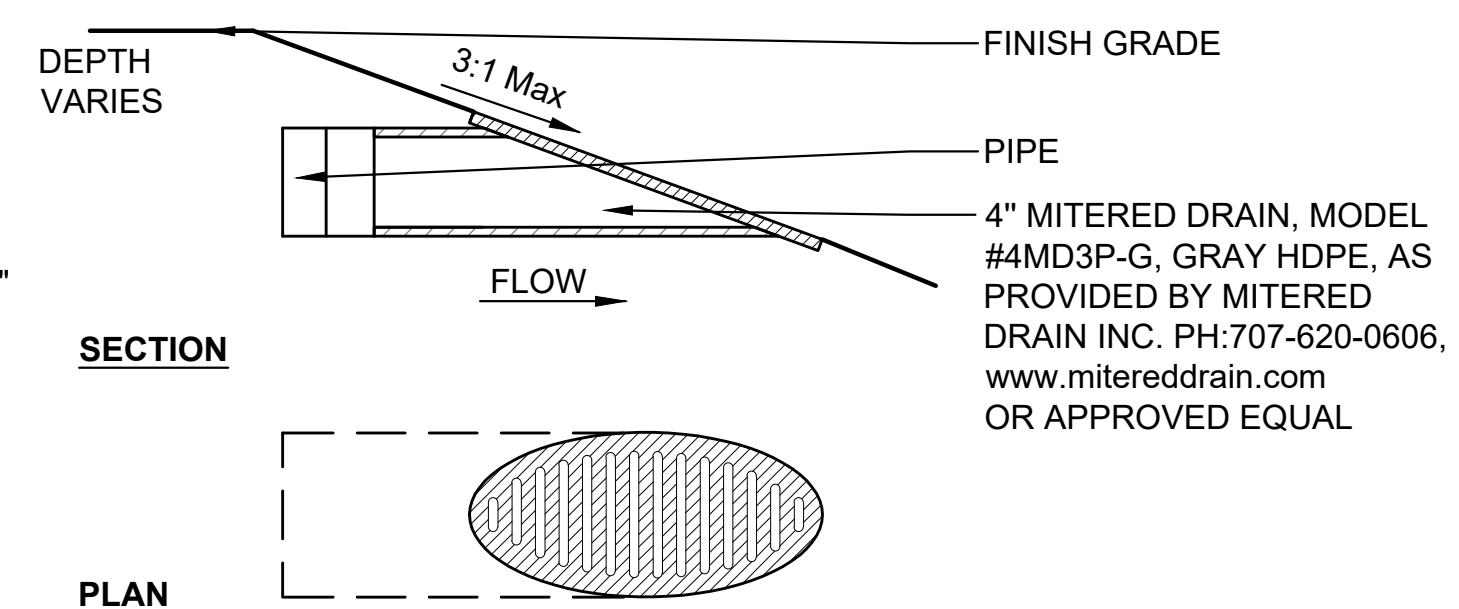
**7 Engineered Wood Fiber Surfacing**  
SCALE: 1"=1'-0"

d-eng wood fiber\_12



**10 Mitered Drain**  
SCALE: 1 1/2"=1'-0"

d-mitered drain\_8









COLOR KEY	
<span style="color: purple;">●</span>	PURPLE
<span style="color: cyan;">●</span>	AQUA
<span style="color: yellow;">●</span>	YELLOW
<span style="color: orange;">●</span>	ORANGE/BLACK



3D Designer: Kendra



LUGE™ SLIDE



FREEDOM SWING



STANDING ROCKER



PETAL STEP CLIMBER



META ROCKER



ROPEVENTURE®



TAKRIKS CRESCENT



**Bid Proposal for:  
Kermit's Korner and Apple Orchard West  
Playground Renovations**

Contractor: \_\_\_\_\_

TO: Bartlett Park District  
Kermit's Korner & Apple Orchard West Playground Renovations  
Bartlett, Illinois 60103

Project # 1019 696 West Stearns Road

Description of abbreviations:

SF = Square Feet

CF = Cubic Feet

LF= Lineal Feet

SY = Square Yard

CY = Cubic Yard

LS = Lump Sum

FF = Finished Face

<b>KERMIT'S KORNER PARK</b>							
Item #	Description	Quantity	Unit	Installed Unit Price	Item Total	ADA Compliance Fund	
1	Site Preparation, Removals & Earthwork, Complete	1	LS	\$ 12,800.00	\$ 12,800.00	30%	3840.00
2	Silt Fence	77	LF	\$ 4.00	\$ 308.00		
3	Concrete Sloped Entry	122	SF	\$ 20.00	\$ 2,440.00	100%	2440.00
4	Engineered Wood Fiber Surfacing	3570	SF	\$ 2.00	\$ 7,140.00	100%	7140.00
5	4" Perf SDR26 Underdrainage	198	LF	\$ 30.00	\$ 5,940.00		
6	4" Solid SDR26 Underdrainage	12	LF	\$ 30.00	\$ 360.00		
7	Drain Cleanout - EWF	1	EA	\$ 250.00	\$ 250.00		
8	Mitered Drain	1	EA	\$ 650.00	\$ 650.00		
<b>Play Equipment shall be purchased by Owner, delivered to and fully installed by Contractor.</b>							
9	5-12 Play Structure	1	LS	\$ 27,306.65	\$ 27,306.65	30%	8192.00
10	Swings: 3 Belt, 1 ADA	1	LS	\$ 1,608.60	\$ 1,608.60	30%	482.00
<b>Site Furniture shall be purchased and fully installed by Contractor.</b>							
11	Picnic Table	1	EA	2700	\$ 2,700.00	100%	2700.00
12	Bench	2	EA	2236	\$ 4,472.00		
13	Litter Receptacle	1	EA	945	\$ 945.00		
14	Recycle Receptacle	1	EA	1012.5	\$ 1,012.50		
15	Lawn restoration and establishment including core aeration, seeding, fertilizing, and blanket cover at all disturbed areas.	1	LS	\$ 1,500.00	\$ 1,500.00		
<b>Kermit's Korner Park Sub Total \$</b>					<b>\$ 69,432.75</b>		<b>\$24,794.00</b>



**APPLE ORCHARD WEST PARK**

Item #	Description	Quantity	Unit	Installed Unit Price	Item Total	ADA Compliance Fund	
16	Site Preparation, Removals & Earthwork, Complete	1	LS	\$ 19,500.00	\$ 19,500.00	30%	5850.00
17	Silt Fence	150	LF	\$ 4.00	\$ 600.00		
18	Asphalt Paving - Trail	181	SY	\$ 70.63	\$ 12,784.03	30%	3835.00
19	Undercut, Removals and Placement of PGE (to be used only with approval of Owner's Representative)	25	CY	\$ 65.00	\$ 1,625.00		
20	Concrete Paving	561	SF	\$ 12.00	\$ 6,732.00	30%	2019.00
21	Concrete Sloped Entry	95	LF	\$ 20.00	\$ 1,900.00	100%	1900.00
22	Engineered Wood Fiber Surfacing	4640	SF	\$ 2.00	\$ 9,280.00	100%	9280.00
23	4" Perf SDR26 Underdrainage	290	LF	\$ 30.00	\$ 8,700.00		
24	4" Solid SDR26 Underdrainage	93	EA	\$ 30.00	\$ 2,790.00		
25	Drain Cleanout - Engineered Wood Fiber	1	EA	\$ 250.00	\$ 250.00		
26	Storm Manhole Connection	1	LS	\$ 1,200.00	\$ 1,200.00		
<b>Play Equipment shall be purchased by Owner, delivered to and fully installed by Contractor.</b>							
27	5-12 Play Structure	1	LS	\$ 27,031.90	\$ 27,031.90	30%	8109.00
28	Meta Rocker	2	EA	\$ 968.00	\$ 1,936.00		
29	Standing Rocker	1	EA	\$ 984.80	\$ 984.80		
30	Ring Panels	1	LS	\$ 1,633.60	\$ 1,633.60		
31	Swings: 4 Belt, 1 Tot, 1 ADA	1	LS	\$ 2,227.60	\$ 2,227.60	30%	668.00

**Site Furniture shall be purchased and fully installed by Contractor.**

32	Picnic Table	1	EA	\$ 2,700.00	\$ 2,700.00	100%	2700.00
33	Bench	3	EA	\$ 2,236.00	\$ 6,708.00		
34	Bike Rack	1	EA	\$ 540.00	\$ 540.00		
35	Litter Receptacle	1	EA	\$ 945.00	\$ 945.00		
36	Recycle Receptacle	1	EA	\$ 1,012.50	\$ 1,012.50		
37	Lawn restoration and establishment including core aeration, seeding, fertilizing, and blanket cover at all disturbed areas.	1	LS	\$ 3,200.00	\$ 3,200.00		
<b>Apple Orchard West Park Sub Total \$</b>					<b>\$ 114,280.43</b>		<b>\$34,361.00</b>

<b>Kermit's Korner &amp; Apple Orchard West Base Bid Total \$</b>		<b>\$ 183,713.18</b>	<b>\$59,155.00</b>
<b>Kermit's Korner &amp; Apple Orchard West Playground Equipment</b>		<b>\$ 147,994.74</b>	<b>\$45,000.00</b>
<b>Kermit's Korner &amp; Apple Orchard West Landscape Architect Services</b>		<b>\$ 26,750.00</b>	<b>\$8,025.00</b>
<b>TOTAL</b>		<b>\$358,457.92</b>	<b>\$112,180.00</b>



