

Title	<b>Eagle Park</b>	12/05/2023
	by <b>Jim Holder</b> in <b>Member District ADA Project Request</b>	id. 44873237
	250 E Wood Street Palatine, Illinois 60067 United States 847-705-5131 ADAProjects@palatineparks.org	

## Original Submission 12/05/2023

Score	n/a
Name	Jim Holder
Job Title	Superintendent of Parks & Planning
E-mail Address	adaprojects@palatineparks.org
Phone Number	847-705-5131
Park District	Palatine
Project Location	Eagle Park
Project Status	Alteration
Project Type	Recreation Facilities and Amenities Routes and Surfaces
Recreation Facilities and Amenities- select a Project Category below:	Playgrounds- Play Components Benches- Picnic Tables
Routes and Surfaces- select a Project Category below:	Accessible Routes- Means of Egress Play Surfaces Walking Surfaces
Benefits of the Project	Allows individuals with mobility issues to access all the amenities within the park from the parking lot.
Items that will become ADA Compliant	The playground, Tennis courts, picnic shelter, and the portable toilet.

The project is designed or constructed, or applies human resources, to comply with:

The 2010 Standards for Accessible Design  
The Illinois Accessibility Code  
ASTM F 1951 Standard for Accessible Playground Surfaces

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Upload Project Related Files, Photos, Videos or Audio

[01\\_Plan\\_Set.pdf](#)

[02\\_Upland\\_1121\\_Invoice\\_03.pdf](#)

[03\\_Merged\\_Parkcreation\\_Invoice.pdf](#)

[04\\_Bid\\_Hacienda\\_Landscaping.pdf](#)

[05\\_merged\\_Rubbercycle.pdf](#)

[06\\_Flood\\_Testing\\_Laboratories\\_Eagle\\_Park\\_23-110017\\_11-10-2023.pdf](#)

[20230920\\_151451.jpg](#)

[20231020\\_082646.jpg](#)

[IMG\\_5535\\_1.jpg](#)

[00\\_Eagle\\_Park\\_Calculations.pdf](#)

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Budget Table for ADA Related Expenses

[Budget Table.xlsx](#)

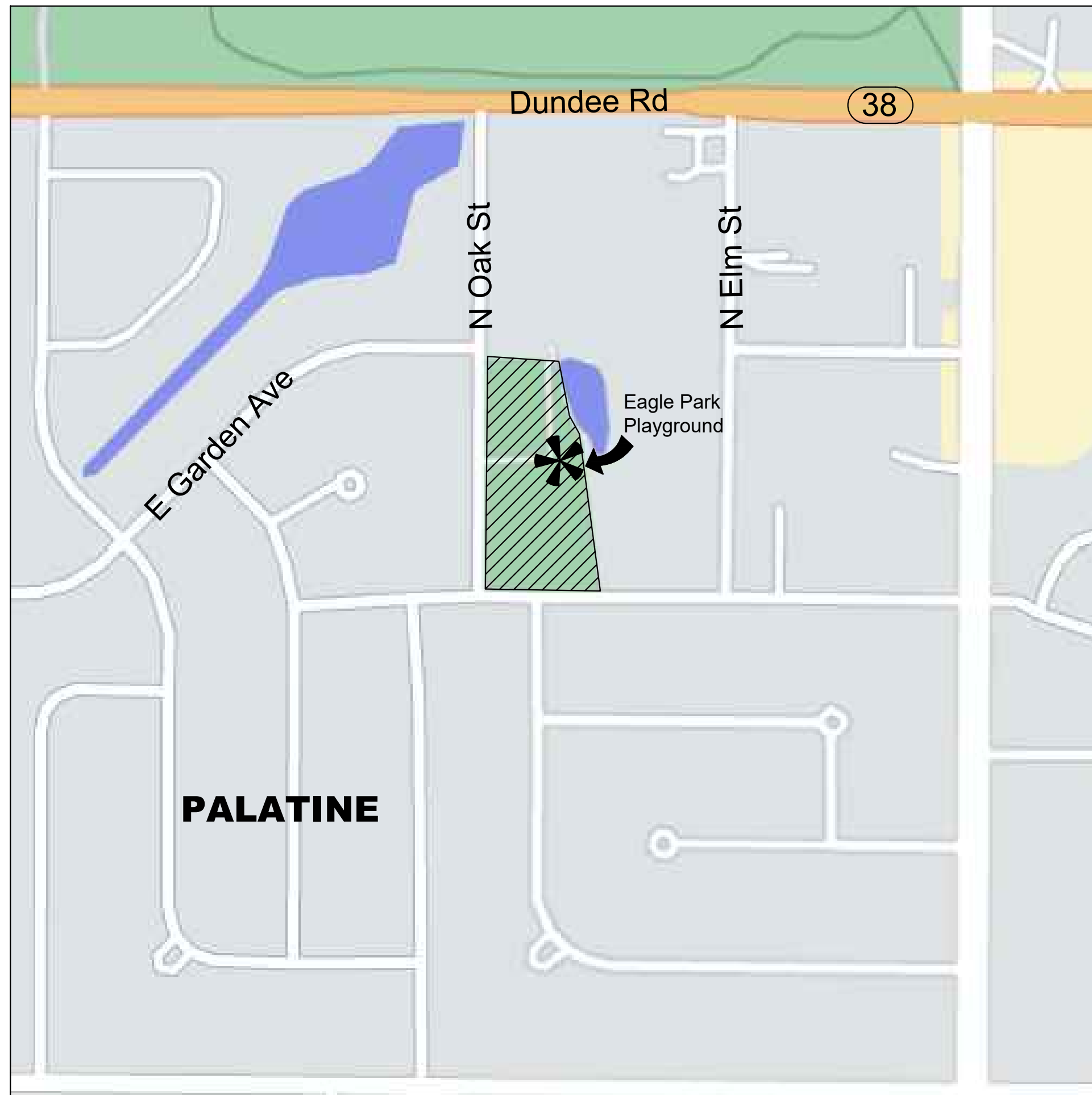
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ADA Dollars Requested	174219.41
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Notes related to requested amount

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LOCATION MAP

SCALE: not to scale



LANDSCAPE ARCHITECT:



Landscape Architecture & Park Planning  
 1229 N. North Branch St, Ste. 220A  
 Chicago, Illinois 60642  
 24042 Lockport St, Plainfield, Illinois 60544  
 815-254-0091 www.uplandDesign.com  
 IL License 060-007797

# Eagle Park Renovation

1425 N. Oak Street  
Palatine, Illinois 60067



Palatine Park District  
250 E. Wood St.  
Palatine, Illinois 60067

## SHEET INDEX

- 1.0 Title Sheet
- 2.0 Existing Conditions & Removals Plan
- 3.0 Layout Plan
- 4.0 Dimension Plan
- 5.0 Grading & Restoration Plan
- 6.0 Construction Details

This project has been prepared by and reviewed by Licensed Landscape Architects.  
Michelle A. Kelly # 157.001002  
Heath A. Wright # 157.000994  
Maria Blood # 157.001511

### REVISIONS

MB/AB	ISSUED FOR BID	16MAR2023

ORIGINAL ISSUE DATE

**Issued for Bid 16MAR2023**

PROJECT NUMBER

**1121**

PROJECT NAME

**Eagle Park Renovation**

SHEET TITLE

**Title Sheet**

SHEET NUMBER

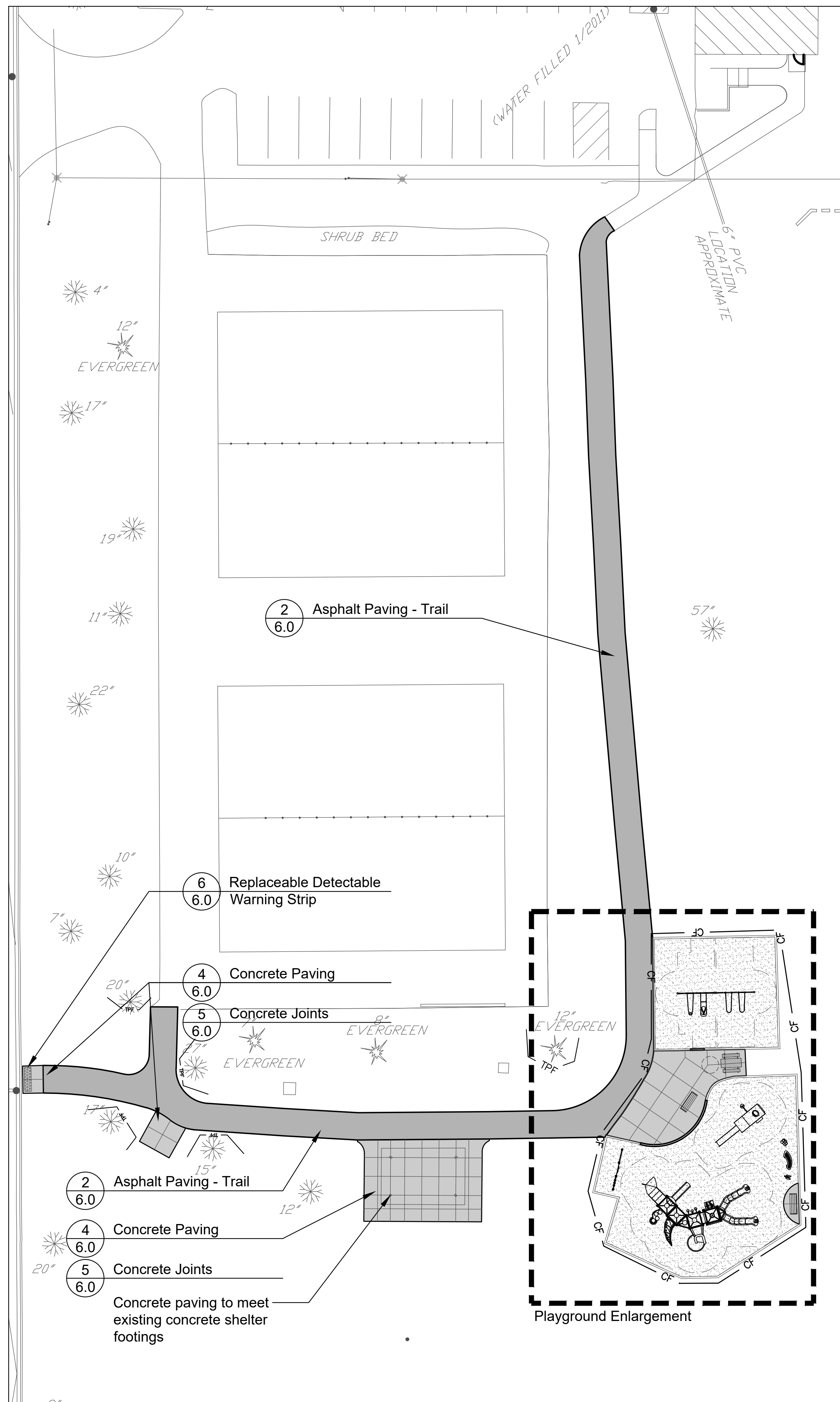
**1.0**



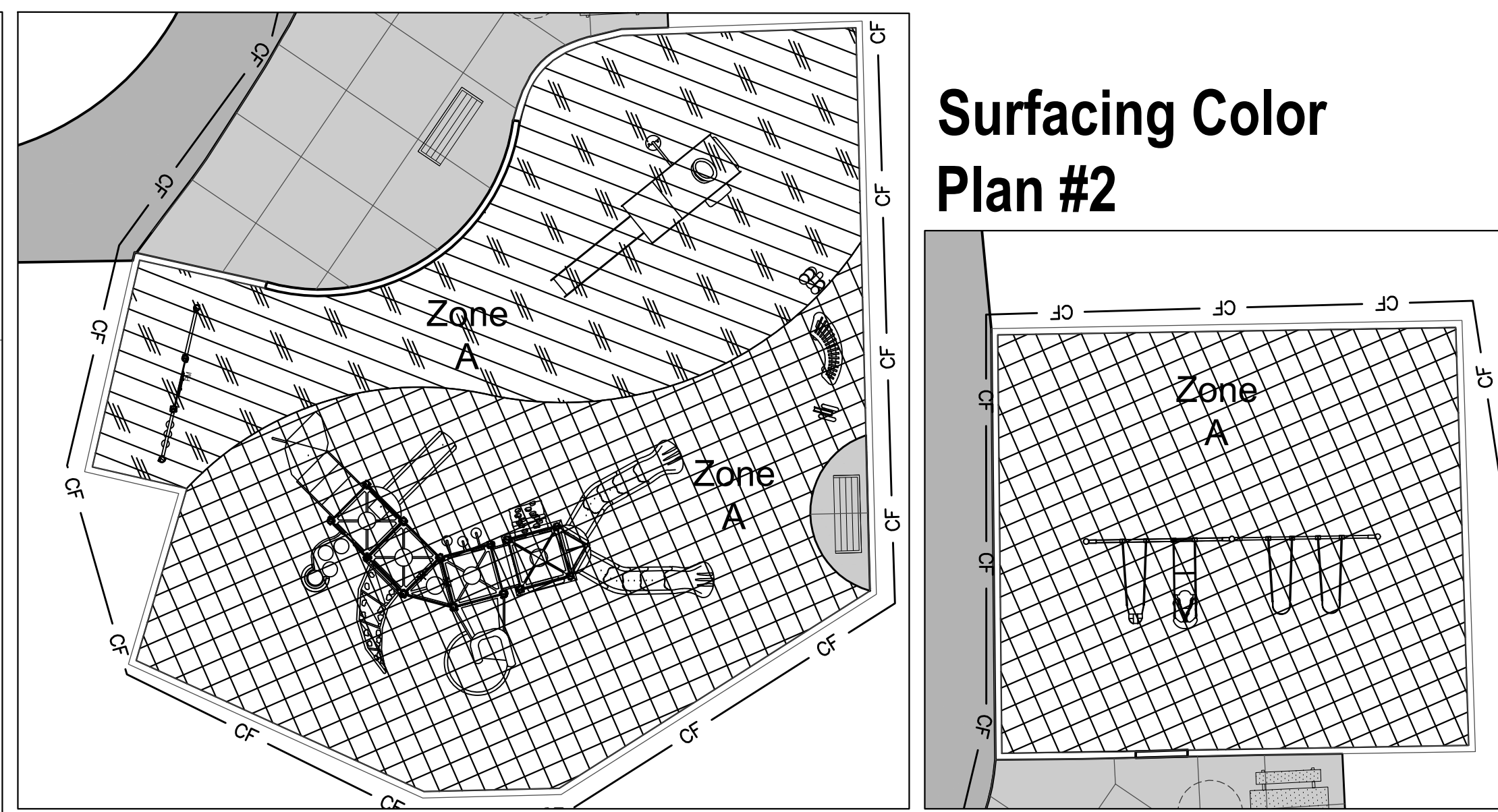
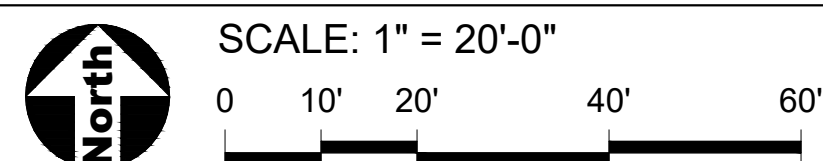








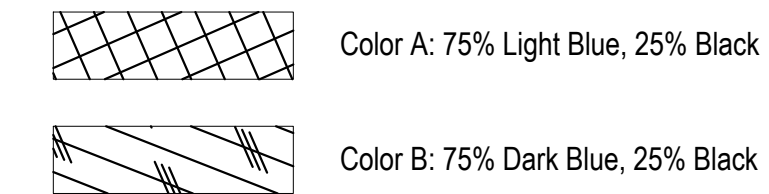
Overall Plan



Surfacing Color Plan #1

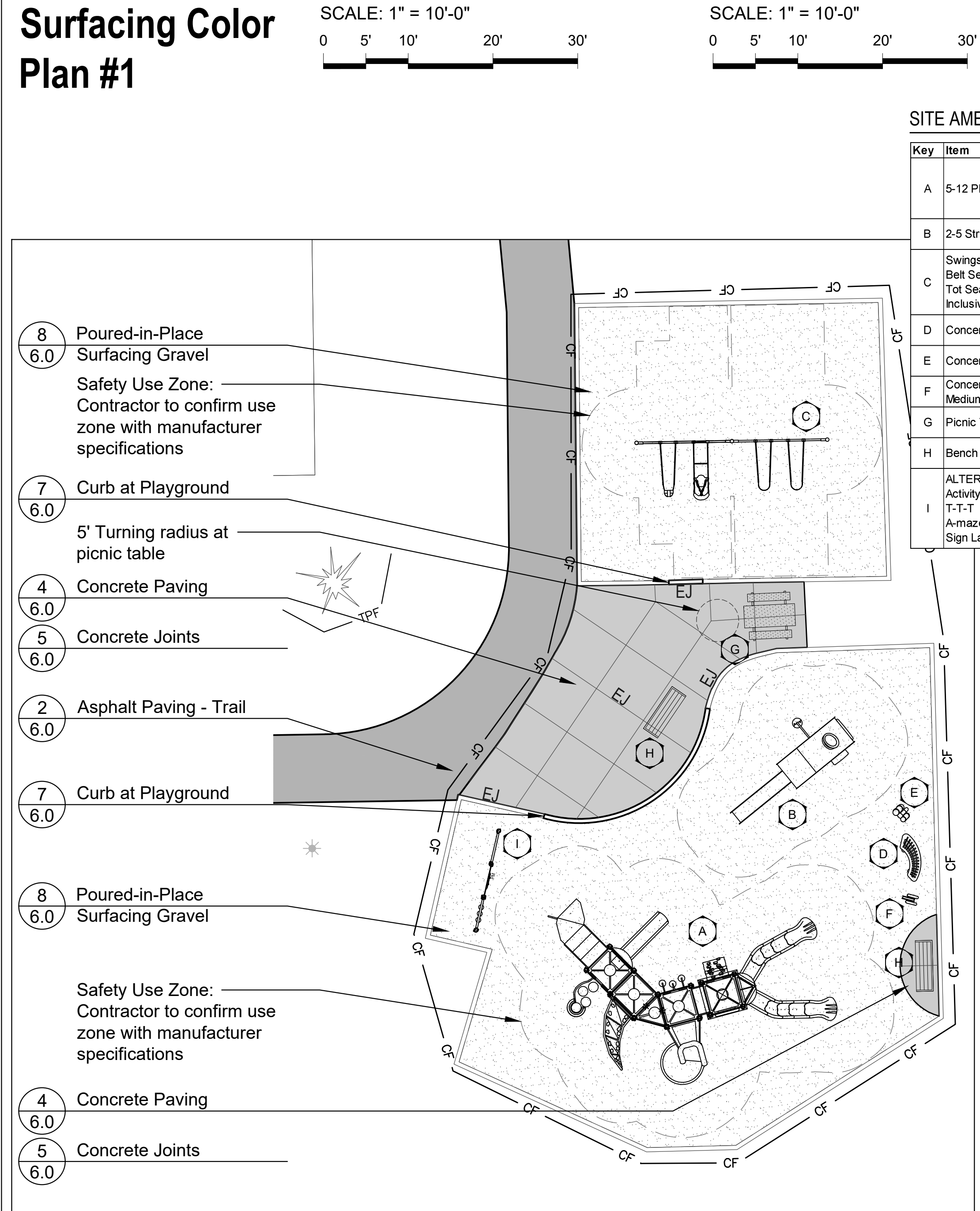
Surfacing Color Plan #2

LEGEND - POURED-IN-PLACE COLORS

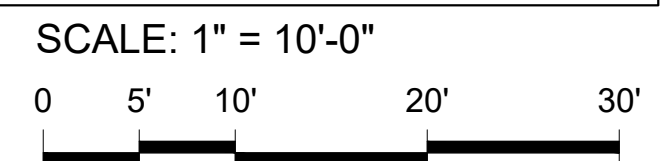


CRITICAL FALL HEIGHTS

Zone A: 8' Critical Fall Height  
Critical fall heights to be confirmed by play equipment manufacturers and measured in field



Playground Enlargement



SITE AMENITIES SCHEDULE

Key	Item	Color	Qty	Model	Manufacturer	Supplier
A	5-12 Play Structure	Blue, Teal, Metallic Gray, Chartreuse	1	Custom #PS022723	Little Tikes	Parkreation 847-419-7746
B	2-5 Structure	Blue, Teal, White	1	Custom #PS022723	Little Tikes	Parkreation 847-419-7746
C	Swings	Metallic Gray, Chartreuse	1	Custom #PS022723	Little Tikes	Parkreation 847-419-7746
	Belt Seat		2	#200202835		
	Tot Seat Inclusive Seat		1	#200203433		
D	Concerto Vibes	Blue	1	#200203438	Little Tikes	Parkreation 847-419-7746
E	Concerto 2-Congas	Blue	1	#200203442	Little Tikes	Parkreation 847-419-7746
F	Concerto Spin Cabasas Medium	Blue	1	#200203440	Little Tikes	Parkreation 847-419-7746
G	Picnic Table by Owner		1			
H	Bench by Owner		2			
I	ALTERNATE: Activity Panels T-T-T A-maze-ing Insert Sign Language	Blue	1	Custom #PS022723	Little Tikes	Parkreation 847-419-7746
			1	#200007124		
			1	#200203471		
			1	#200200074		

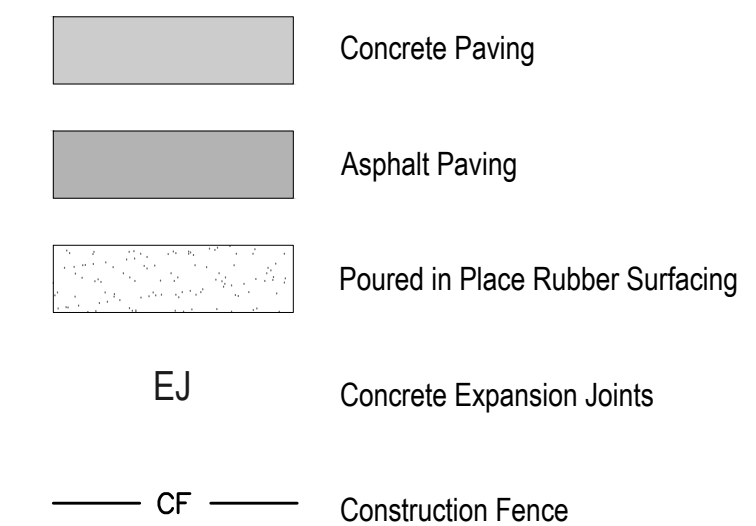
GENERAL NOTES: LAYOUT

- It is the responsibility of the Contractor to perform layout of all project elements and points for review by Owner prior to construction. (This work is considered incidental to the project and not paid as a separate bid item).
- The contractor shall be responsible for all materials and quantities as required to complete the work in accordance with the plans and specifications. The contractor will notify the Owner's Representative in writing of any discrepancies or changes required to complete the work before any action may be taken. All changes or change orders must be approved by the Owner's Representative and Owner before any changes are executed.
- Contractor shall follow Village of Palatine permit requirements as part of the project.
- Contractor shall confirm that all equipment use/safety zones specified by play equipment manufacturer are adhered to.
- All play equipment footings shall meet manufacturers recommendations for footing depth and width.

REFERENCED SPECIFICATIONS AND CODES

- The Americans with Disabilities Act and the Illinois Accessibility Code.
- The Illinois Procedures and Standards for Urban Soil Erosion and Sedimentation Control, and IEPA Standards and Specifications for Soil Erosion and Sedimentation Control.
- U.S. Soil Conservation Service Field Engineering Handbook
- All codes and ordinances of the Village of Palatine, United States Army Corp of Engineers, Illinois Department of Natural Resources, Cook County Soil and Water Conservation Districts, and all agencies having jurisdiction.
- All requirements of the Occupational Safety and Health Administration.
- The cited standard specifications, codes and permits, with these construction plans and details, are all to be considered part of the work, incidental items or accessories necessary to complete this work may not be specifically noted but are considered a part of these improvements.
- In case of conflict, the more restrictive provision shall apply.

LEGEND



250 E. Wood St.  
Palatine, Illinois 60067  
Phone: 847-991-0333

PROJECT  
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PROJECT TEAM

uplandDesign Ltd  
Landscape Architecture & Park Planning  
1229 N North Branch St, Ste. 220A  
Chicago, Illinois 60642  
24042 Lockport St, Plainfield, Illinois 60544  
815-254-0091 www.uplandDesign.com

SURVEYOR  
JLH Land Surveying Inc.  
910 Geneva St.  
Shorewood, Illinois 60404  
Phone: 815-729-4000

REVISIONS

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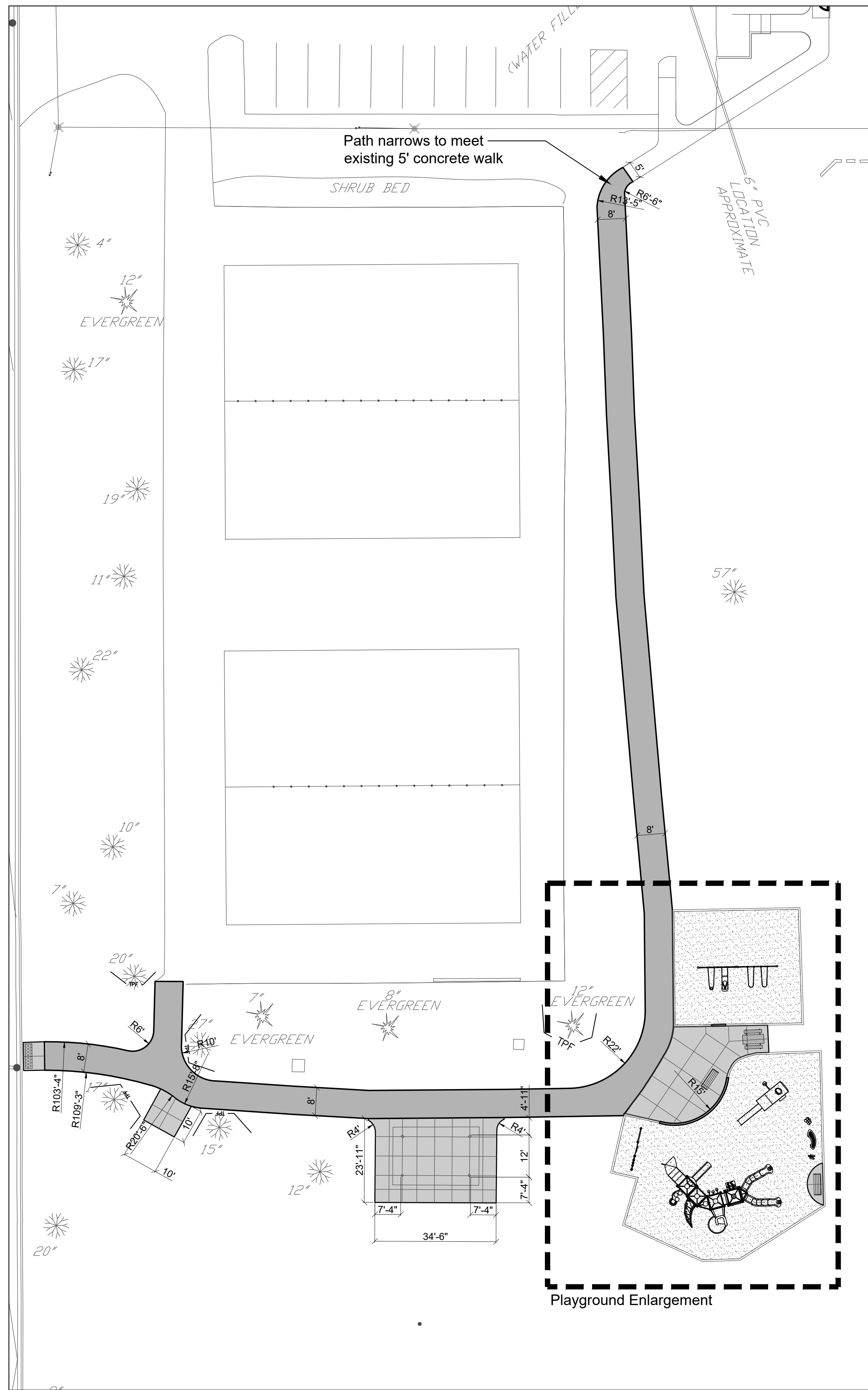
ORIGINAL ISSUE DATE  
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PROJECT NUMBER  
**1121**

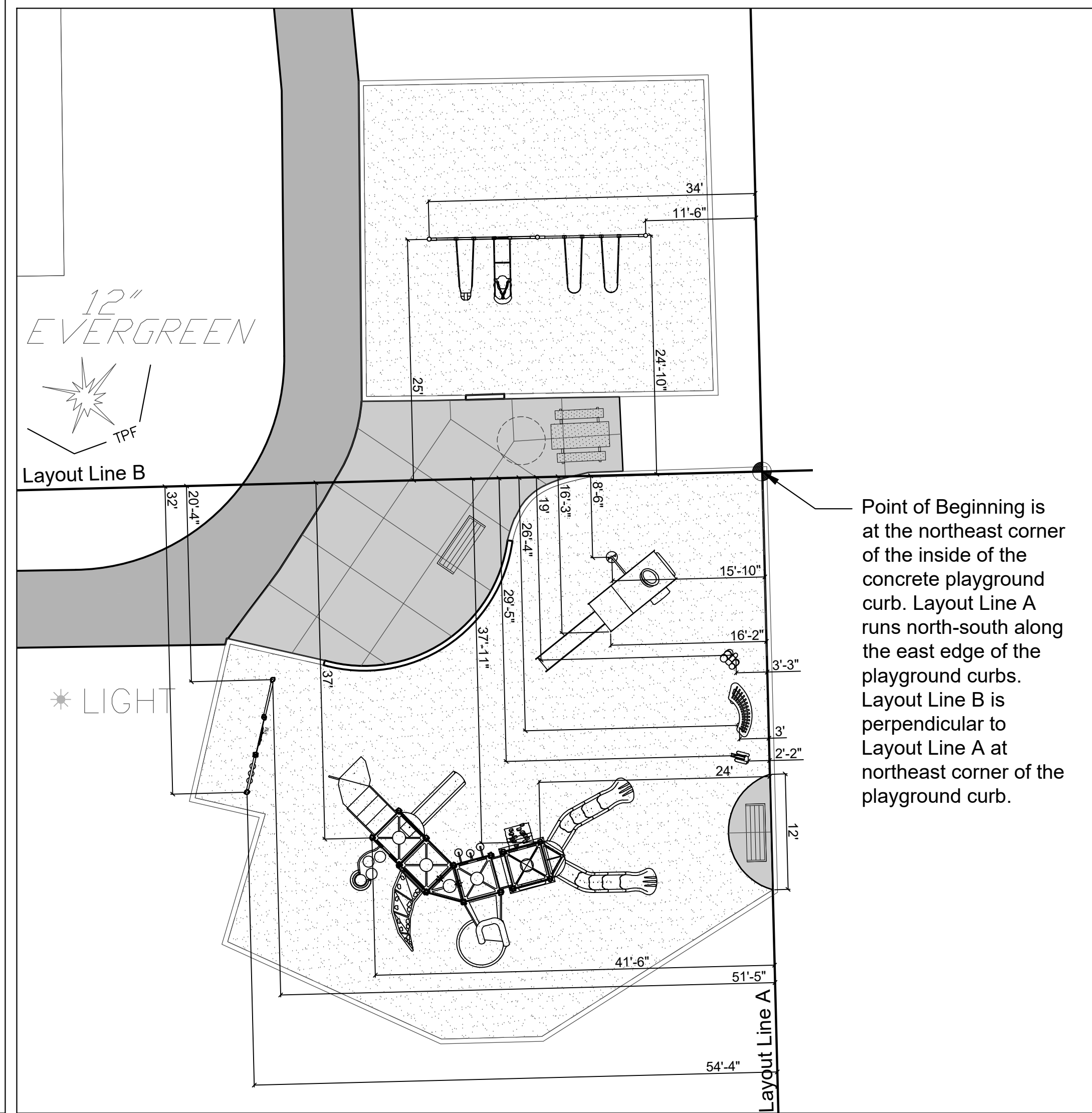
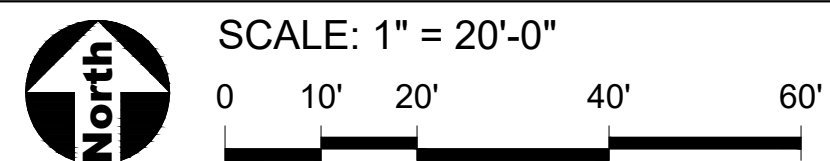
SHEET TITLE  
**Layout Plan**

SHEET NUMBER

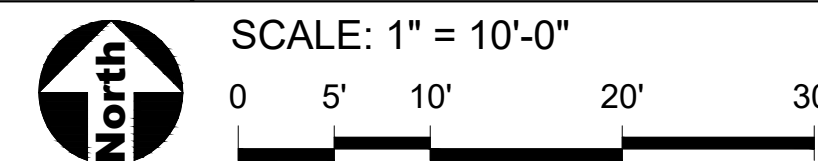




Overall Plan



Playground Enlargement



GENERAL NOTES: DIMENSION

1. Layout of equipment is to center of post.
2. Layout play equipment with safety zones to be staked by the Contractor for review by Owner's Representative prior to play equipment installation.
3. Paving radii shall be formed completely and shall smoothly transition into tangents and adjoining lines. Dimensions are to face of curb and edge of pavement unless otherwise specified.
4. Dimensions are in feet or degrees. Dimensions are perpendicular & parallel unless otherwise noted.
5. See Layout Plan, Sheet 3.0 for additional general notes and referenced specifications and codes.
6. Contractor shall perform all construction layout for the project. Contractor will be provided with an electronic file in AutoCAD format to assist with layout. Neither the Owner nor their representative shall be responsible for setting additional layout points.



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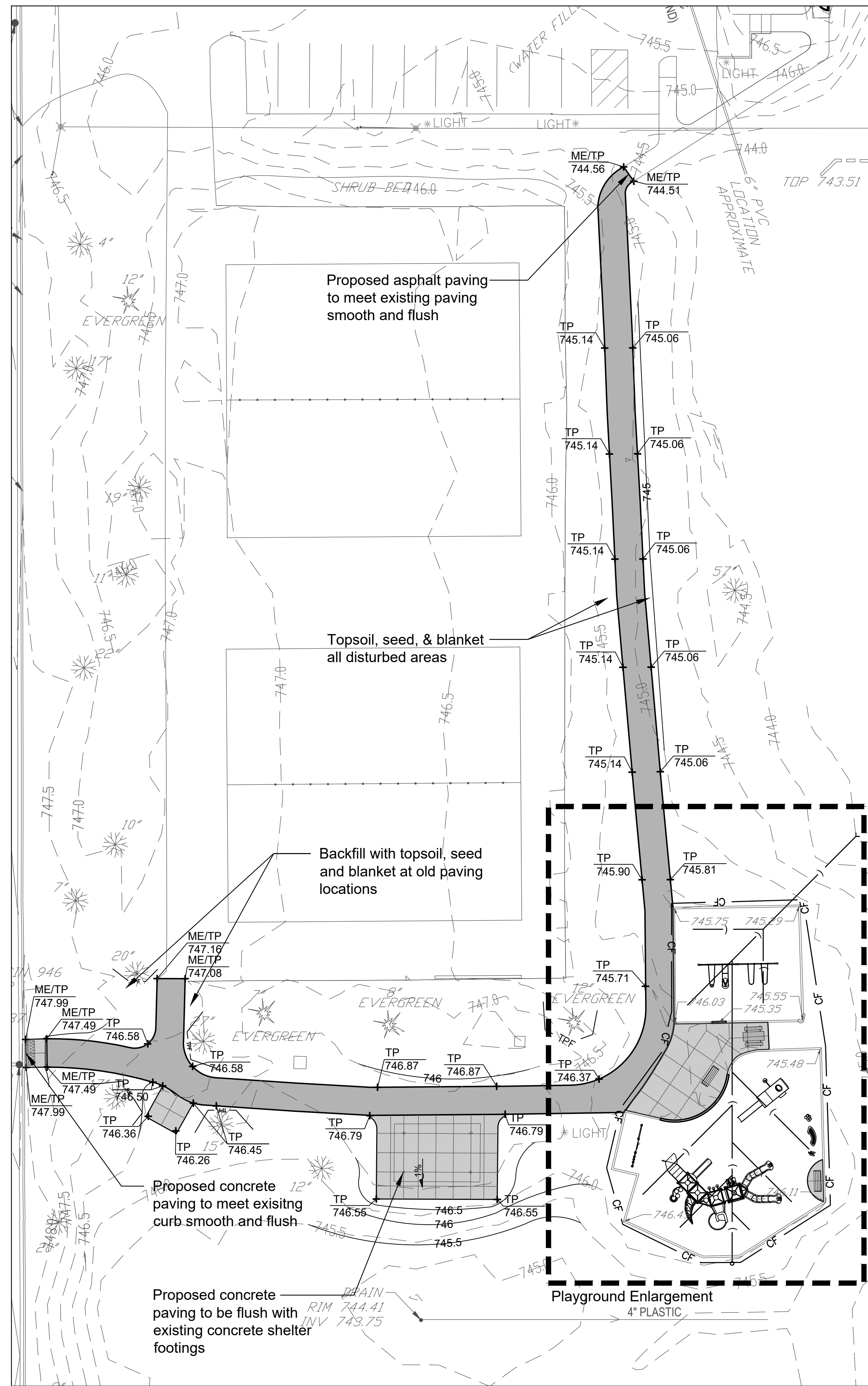
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SHEET TITLE  
**Dimension Plan**

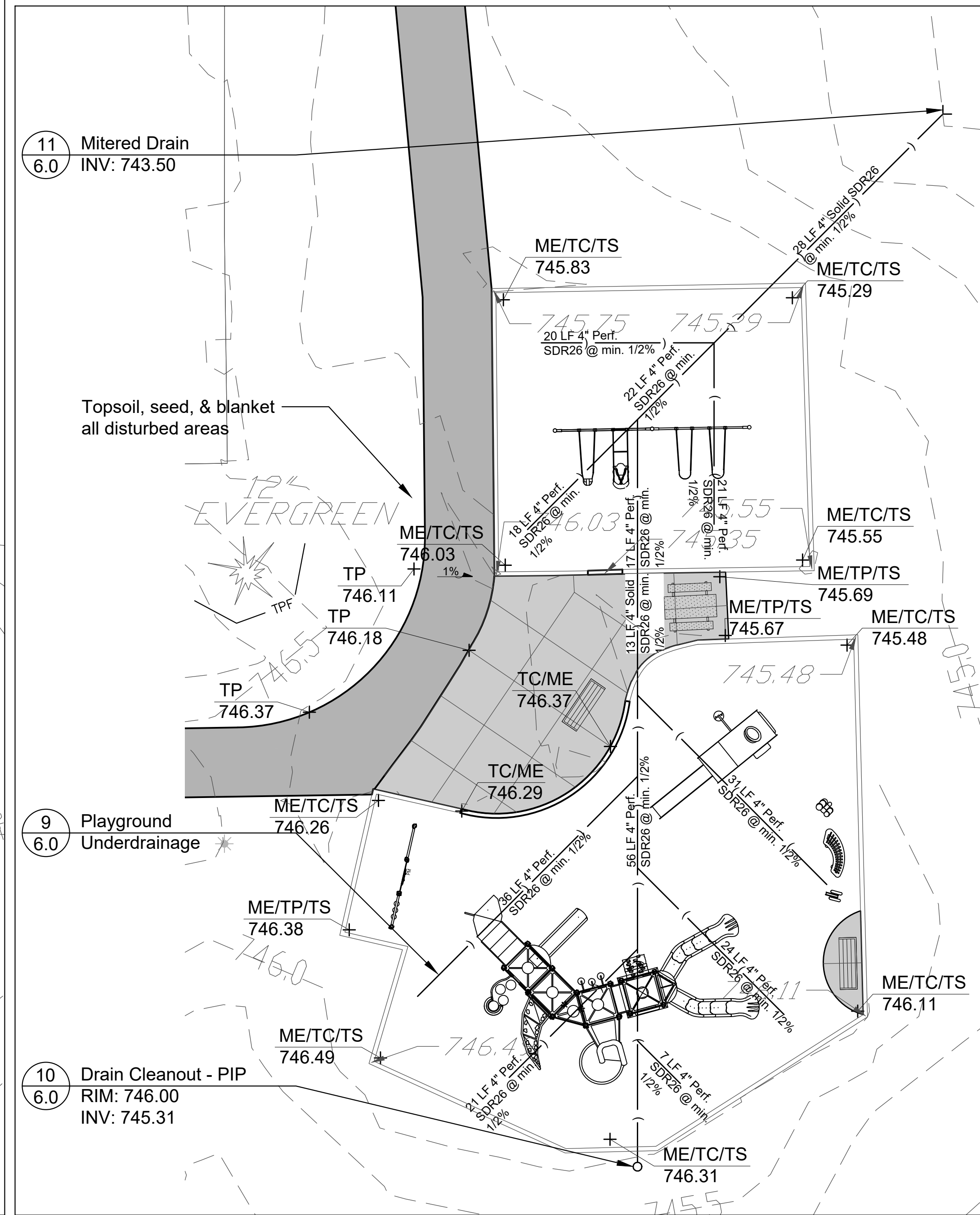
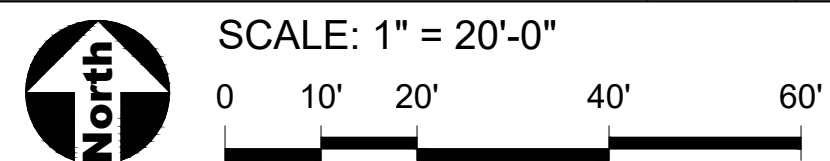
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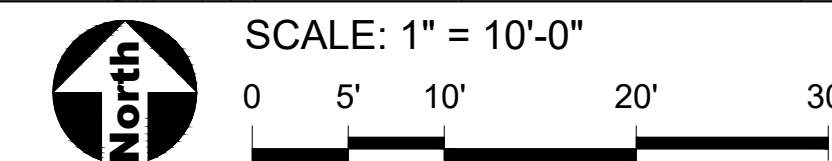




Overall Plan



Playground Enlargement



GENERAL NOTES: GRADING

1. Finished surfaces to be smooth and even with no abrupt or awkward changes in grade. Paving to meet adjacent grades flush and smooth.
2. Contractor shall restore all areas disturbed as a result of construction.
3. All walks, drives and paved areas are to follow ADA per incorporated specifications. Any deviation shall be removed and reinstalled to follow this law.
4. All Accessible Route paving shall not exceed 4.5% in any direction. Cross slopes shall be less than 2%. Contractor shall slope all walks and slabs to eliminate ponding. ADA Turning Radius paving shall be less than 2% in all directions.
5. This work shall include the excavation, stockpile, and placement of topsoil and suitable excavated material along with removal of all excess topsoil and debris off site and dispose of legally.
6. Follow the Illinois Procedures and Standards for Urban Soil Erosion and Sedimentation Control, IEPA Standards and Specifications for Soil Erosion and Sedimentation Control, and U.S. Soil Conservation Service Field Engineering Handbook.
7. Transitions between paving types (i.e. concrete to asphalt) shall be smooth. Transitions not to exceed 1/8" vertical or horizontal difference.



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LEGEND

- 681 --- Existing Contour Line
- 681 — Proposed Contour Line
- + 685.35 Existing Spot Elevation
- + 689.66 Proposed Spot Elevation
- 2% Drainage Flow Direction
- CF — Construction Fence

INDEX OF ACRONYMS AND ABBREVIATIONS

- HP - High Point
- INV - Pipe Invert Elevation
- LP - Low Point
- ME - Match Existing Elevation
- RIM - Top of Rim Elevation
- TC - Top of Curb
- TP - Top of Pavement
- TS - Top of Surface

REVISIONS

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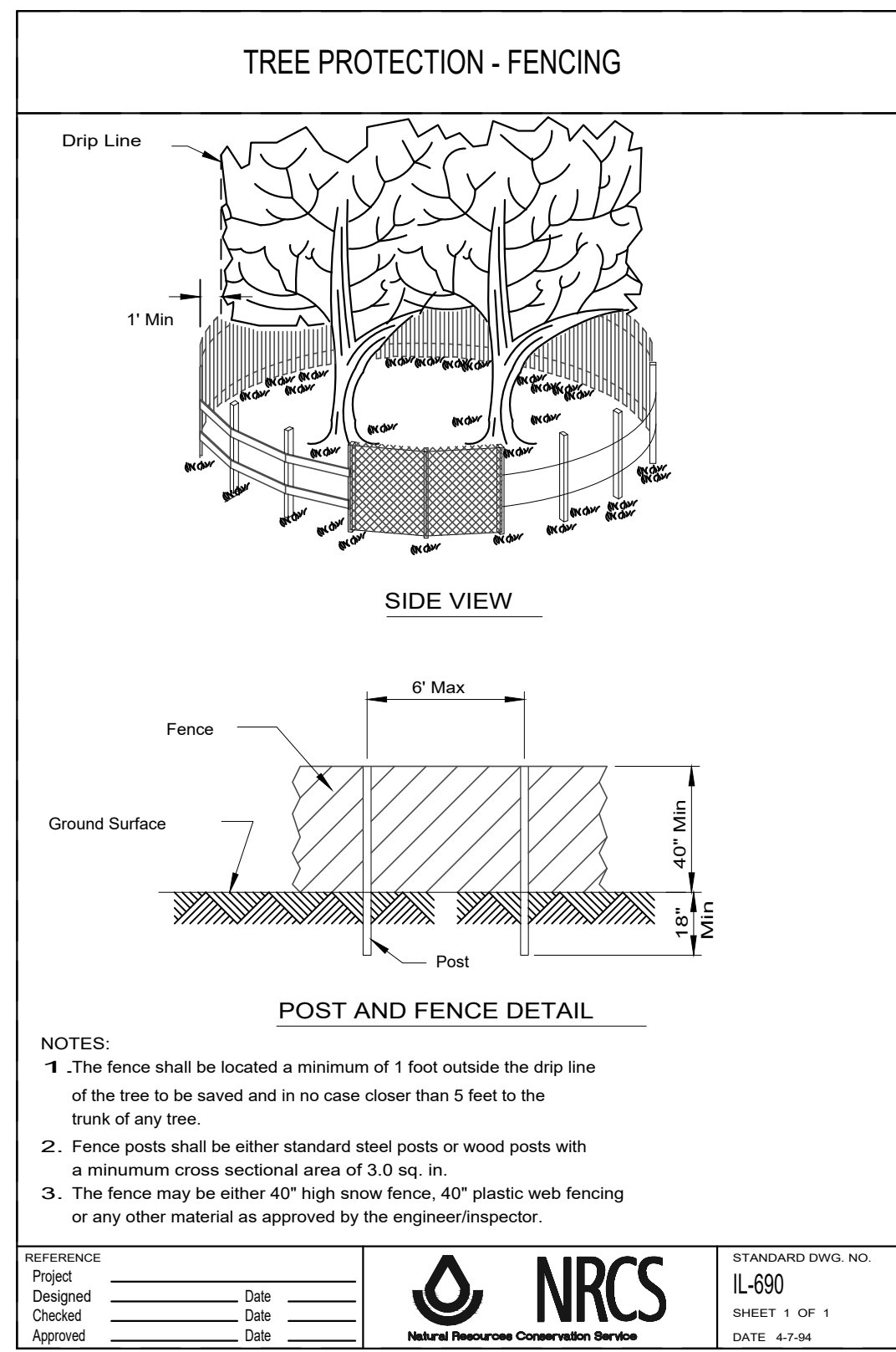
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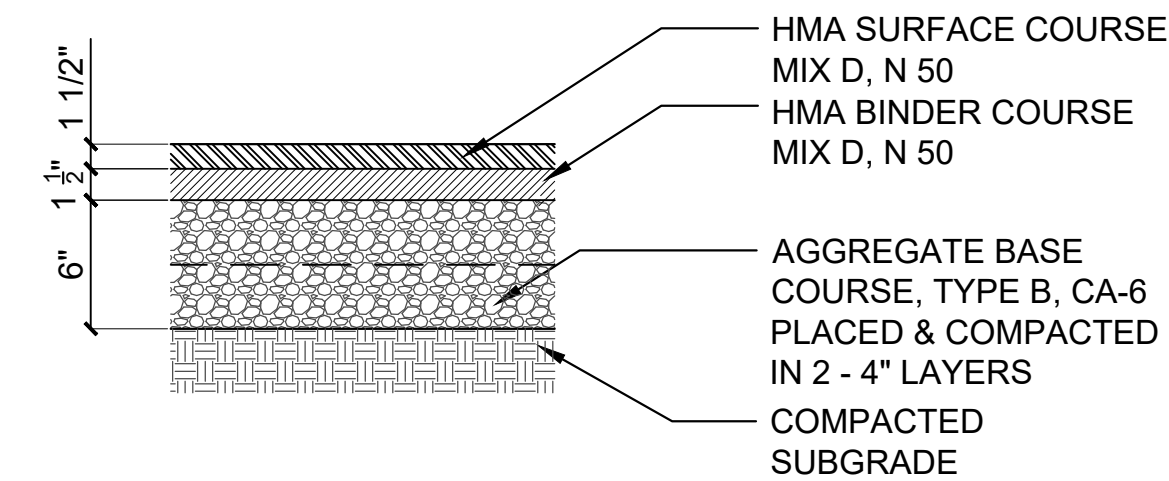
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**Grading & Restoration Plan**

SHEET NUMBER

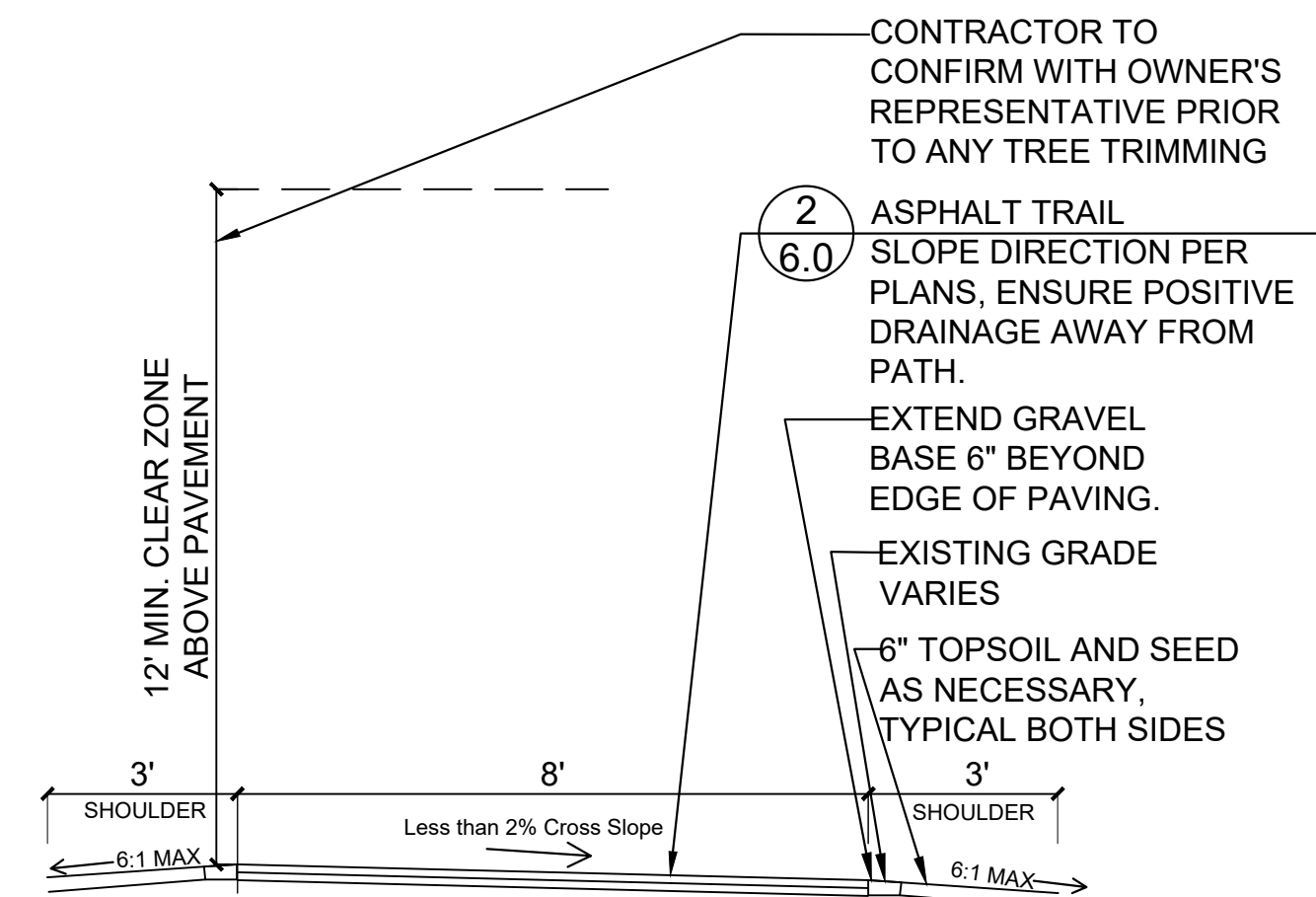




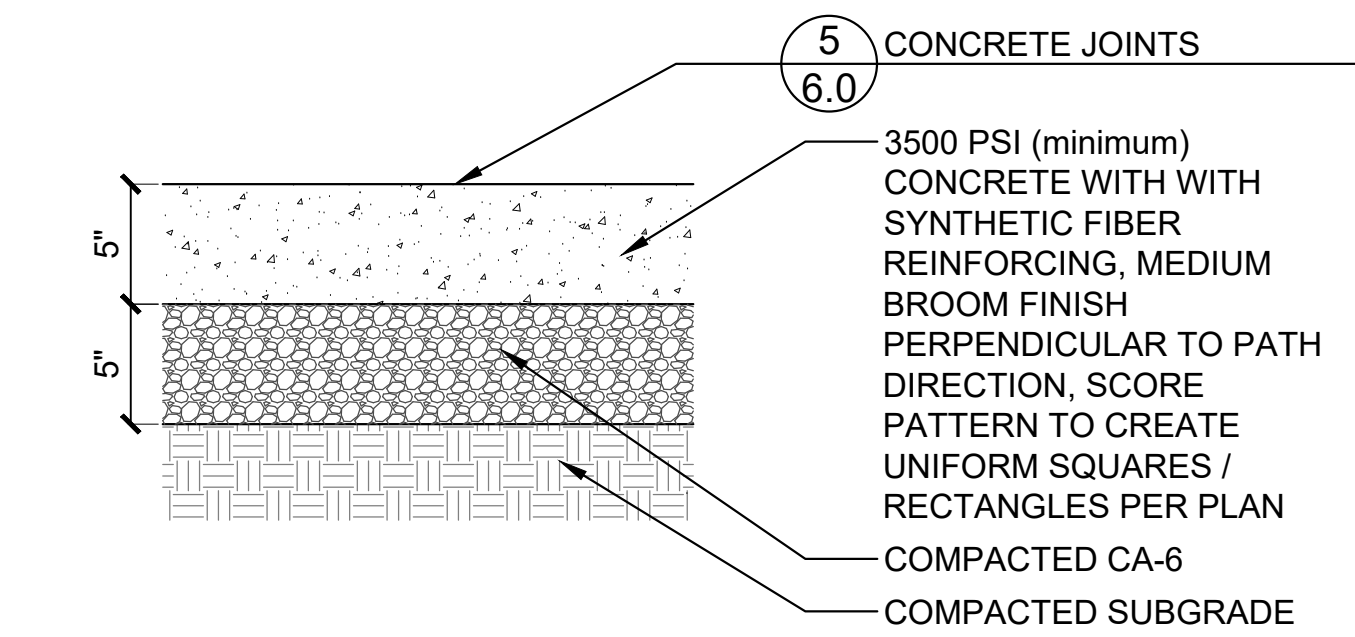
**1 Tree Protection Fence**  
SCALE: N.T.S. d-NRCS-IL690-tree protection fence\_12



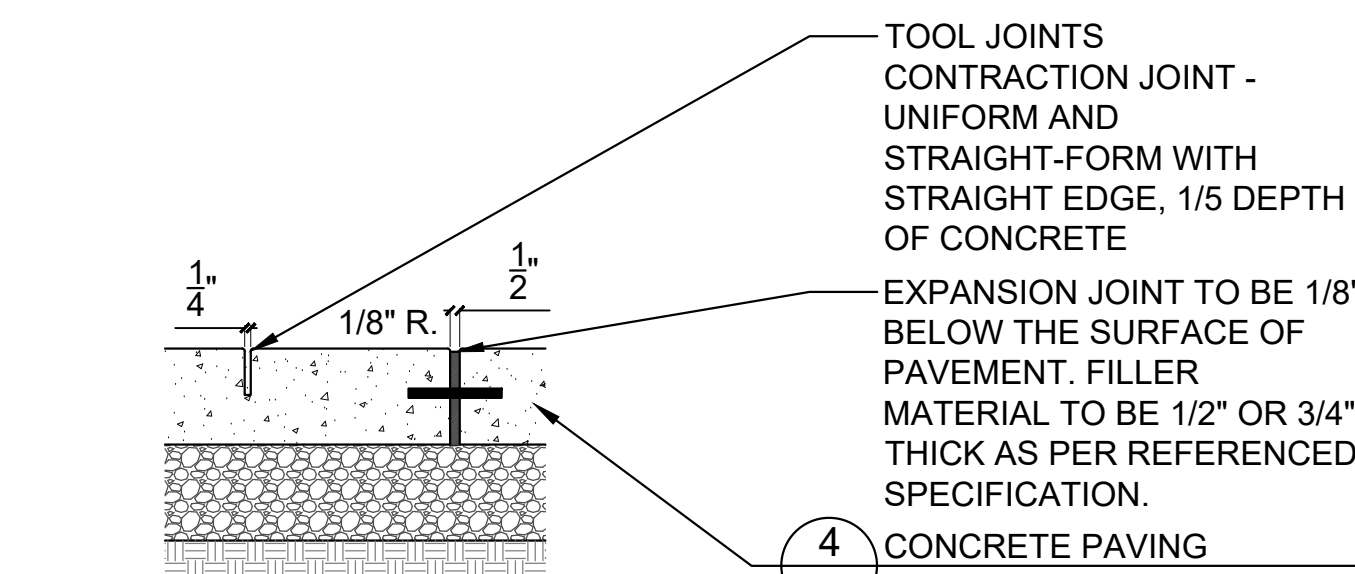
**2 Asphalt Paving - Trail**  
SCALE: 1"=1'-0" asphalt\_paving\_trail8\_1\_12



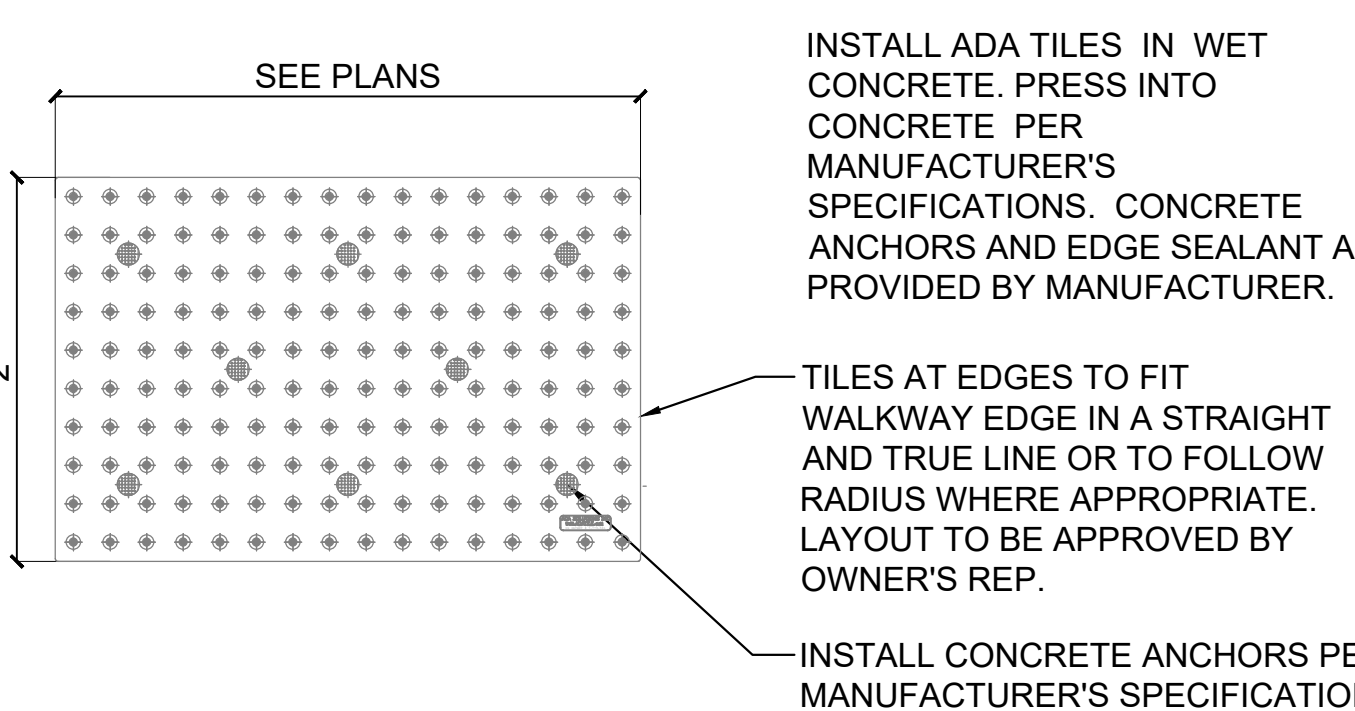
**3 Asphalt Trail Section 8'**  
SCALE: N.T.S. d-asph\_trail section 8\_NTS



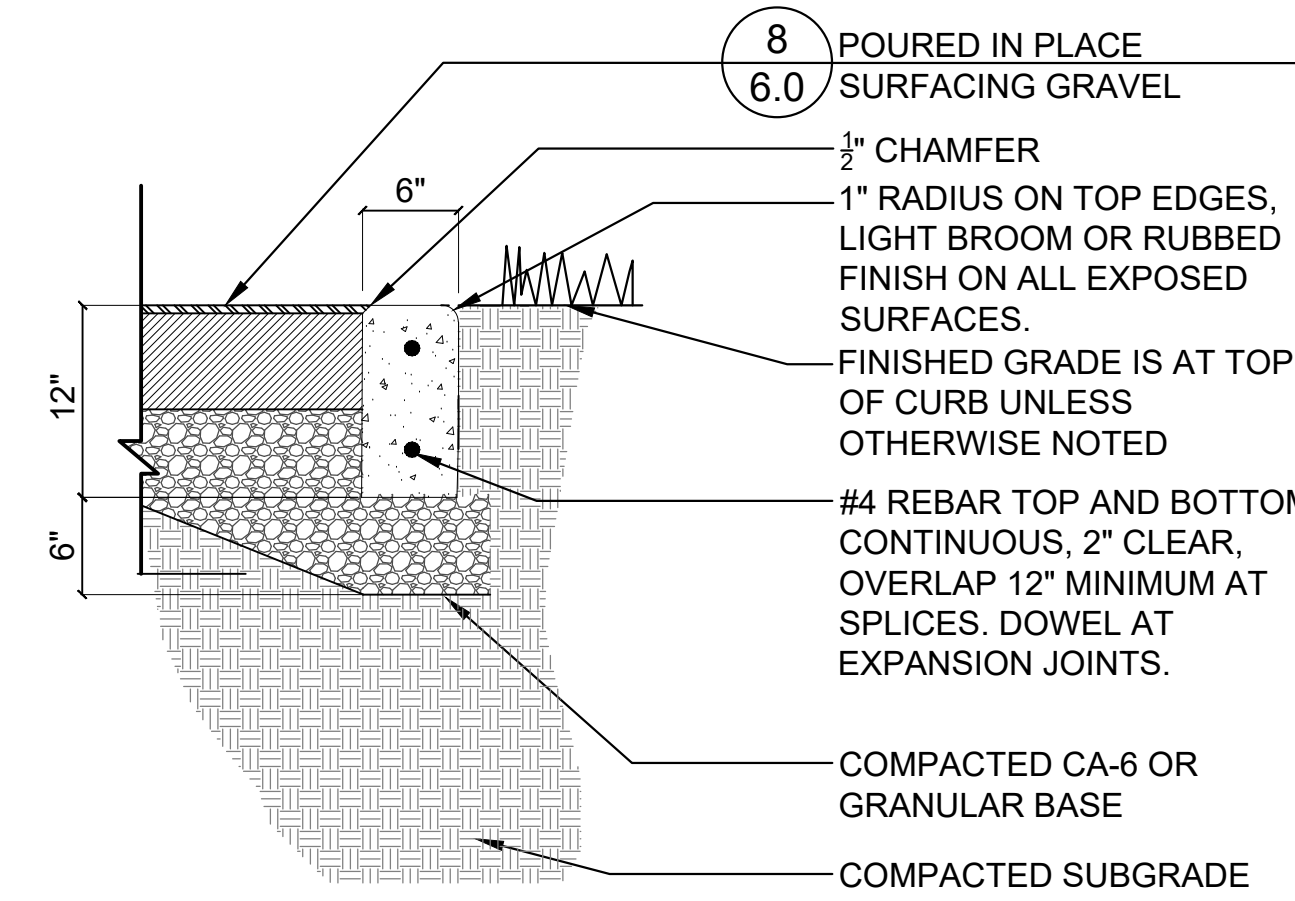
**4 Concrete Paving**  
SCALE: 1 1/2"=1'-0" d-conc pav-5\_8



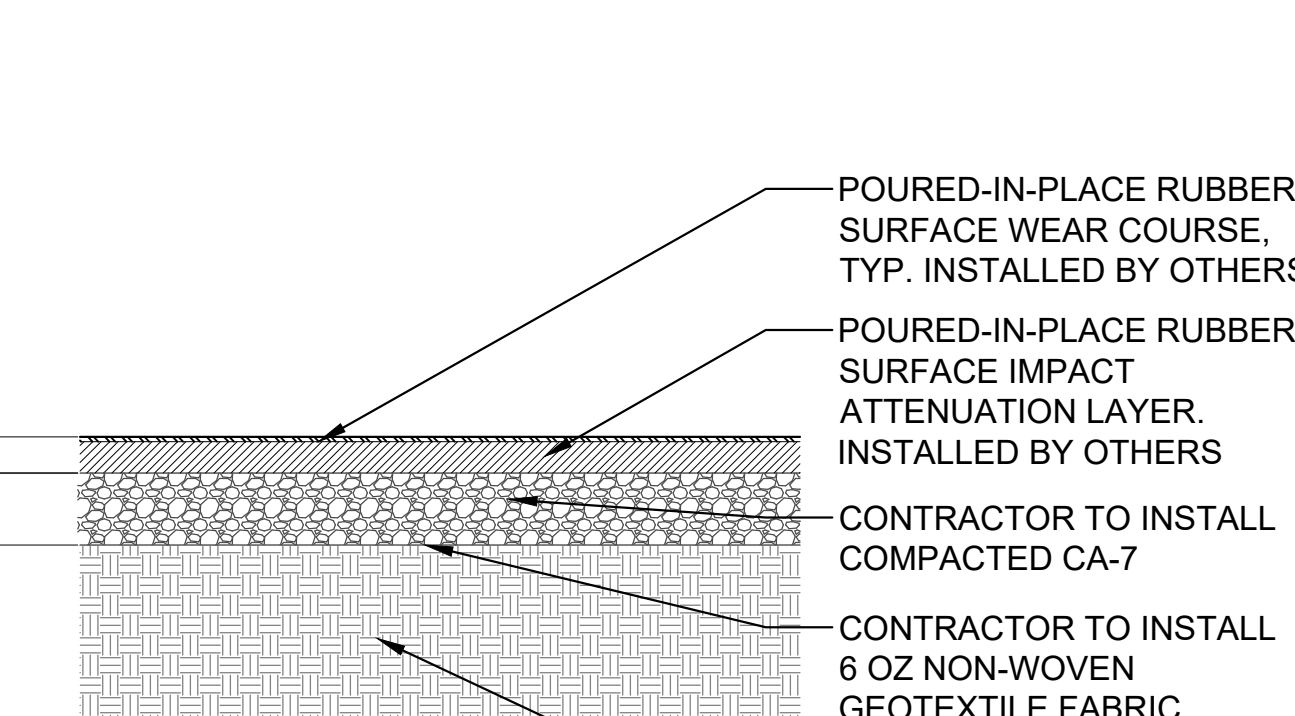
**5 Concrete Joints**  
SCALE: 1 1/2"=1'-0" d-conc\_joints\_8.dwg



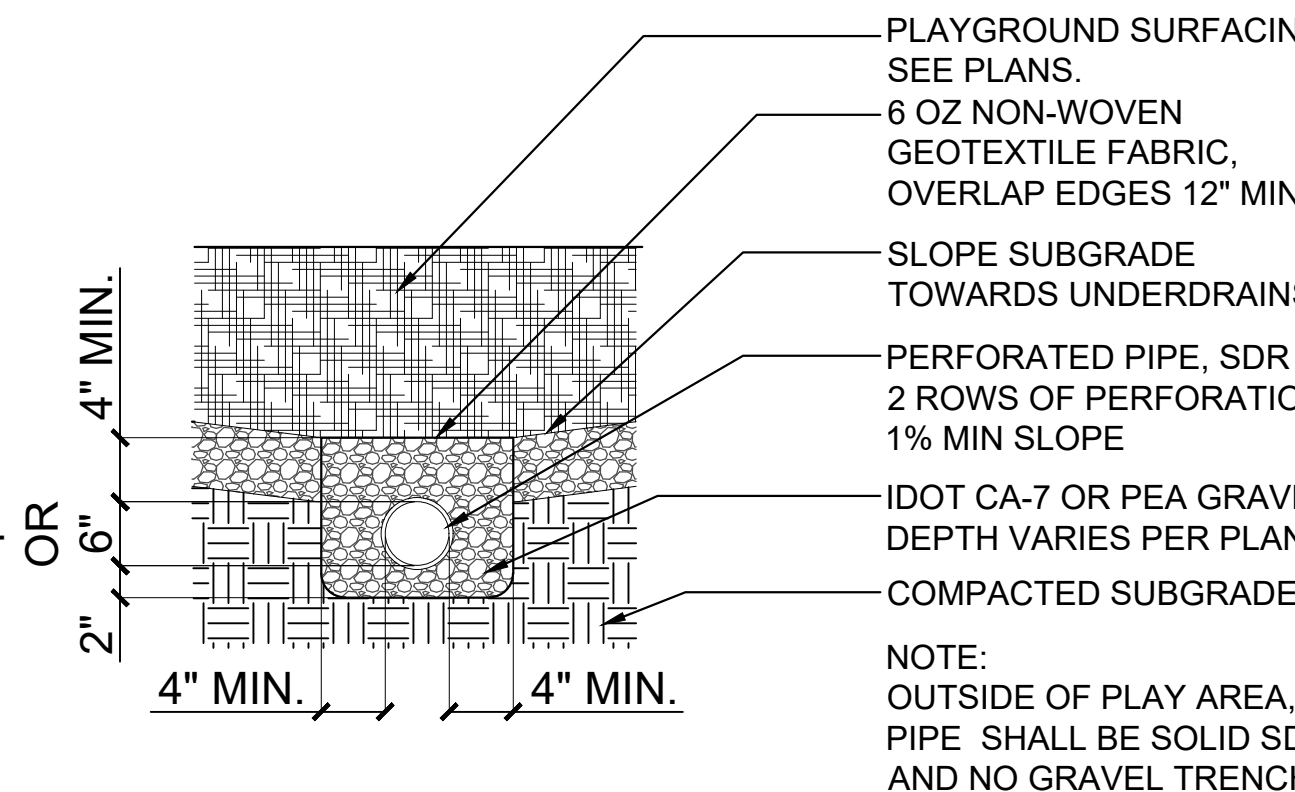
**6 Replaceable Detectable Warning Strip**  
SCALE: N.T.S. detail drawing sorted.dwg



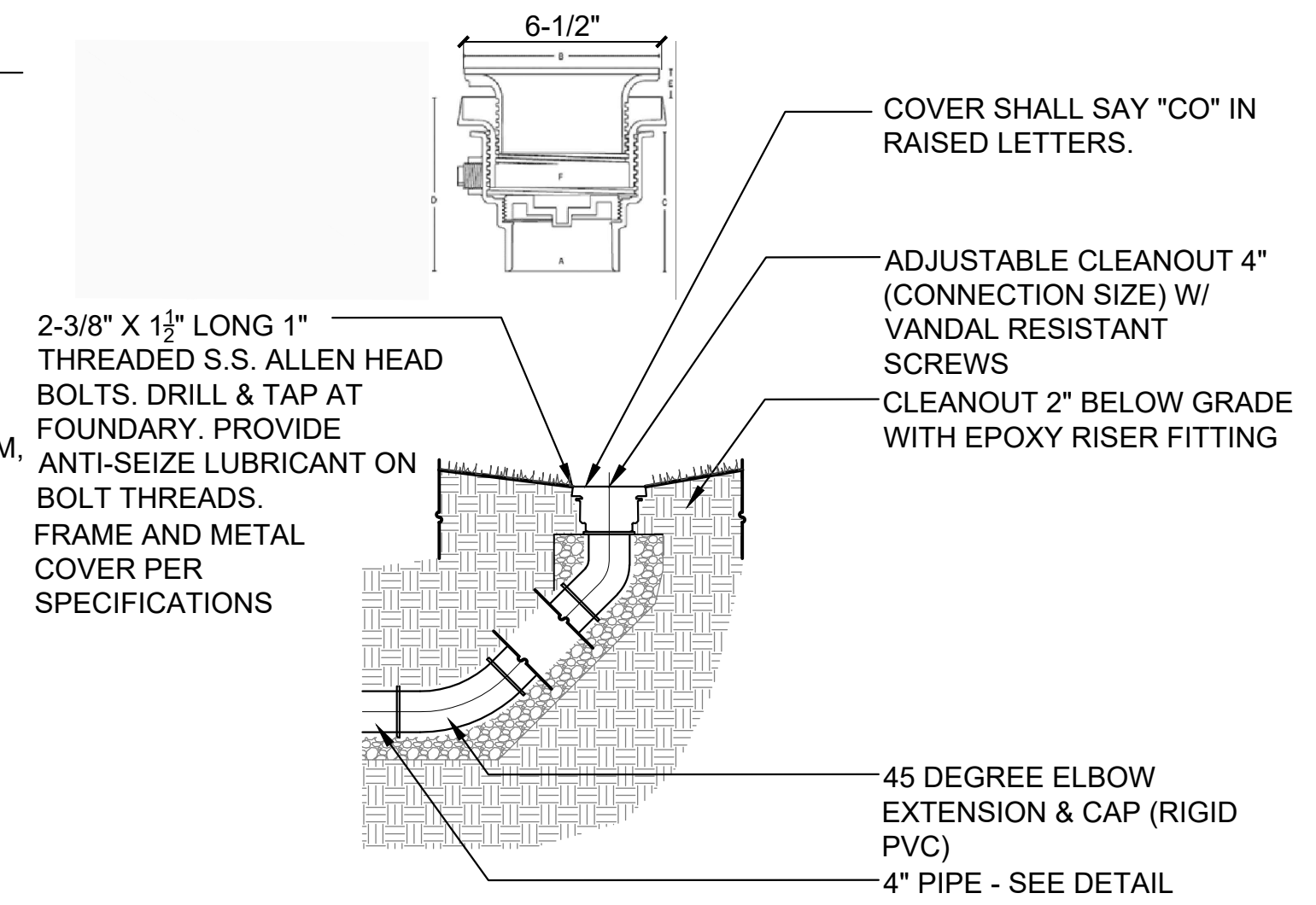
**7 Curb at Playground**  
SCALE: 1"=1'-0" d-conc curb-pip\_12



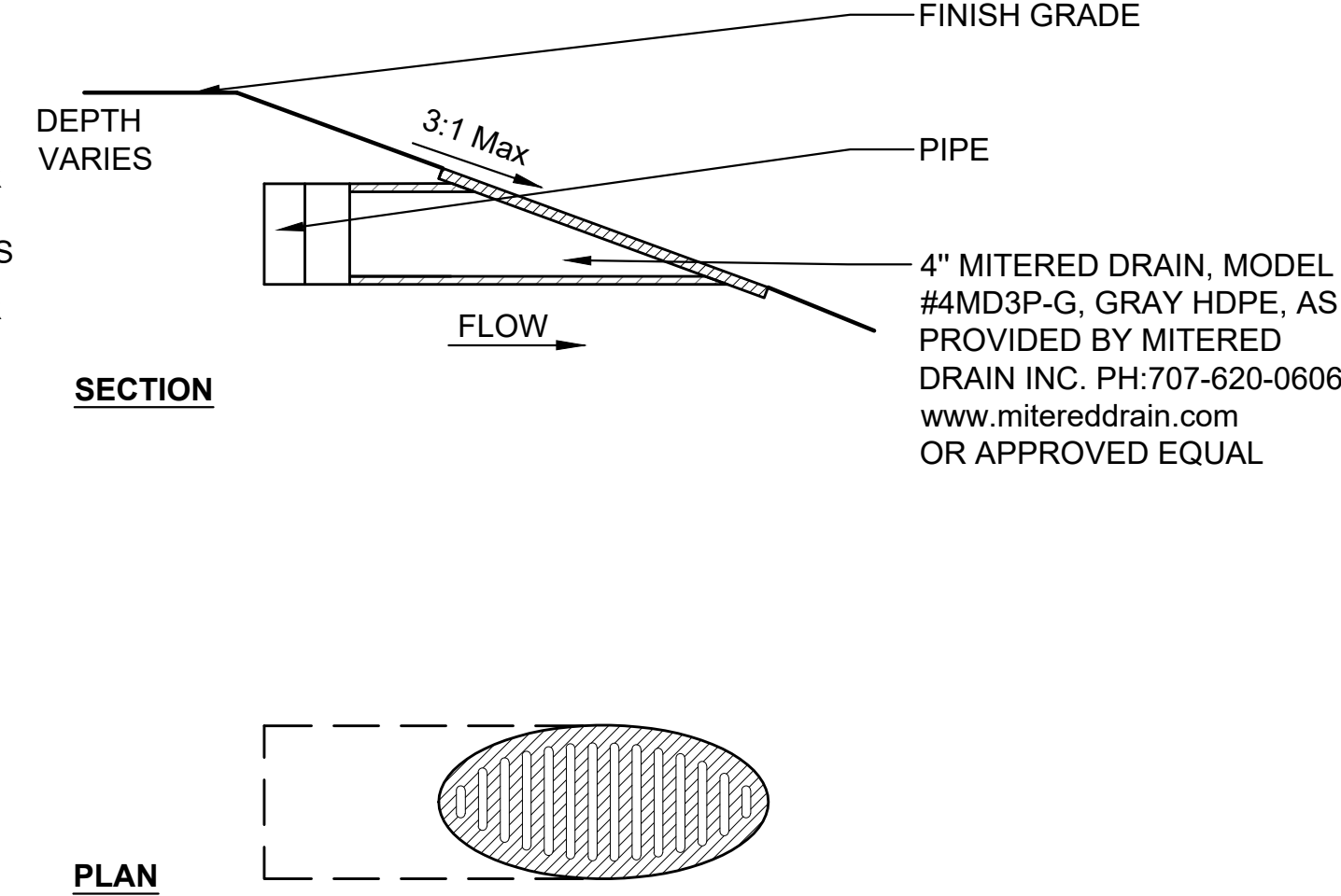
**8 Poured-in-Place Surfacing Gravel**  
SCALE: 3/4"=1'-0" d-pip-on gravel\_16.dwg



**9 Playground Underdrainage**  
SCALE: 1"=1'-0" d-playground underdrainage\_12



**10 Drain Cleanout - PIP**  
SCALE: N.T.S. d-drain cleanout\_16



**11 Mitered Drain**  
SCALE: 1 1/2"=1'-0" d-mitered drain\_8



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SHEET TITLE

# Construction Details

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