12/05/2023

id. 44873237

### Title Eagle Park

by Jim Holder in Member District ADA Project Request

250 E Wood Street Palatine, Illinois 60067 United States 847-705-5131 ADAProjects@palatineparks.org

#### **Original Submission**

12/05/2023

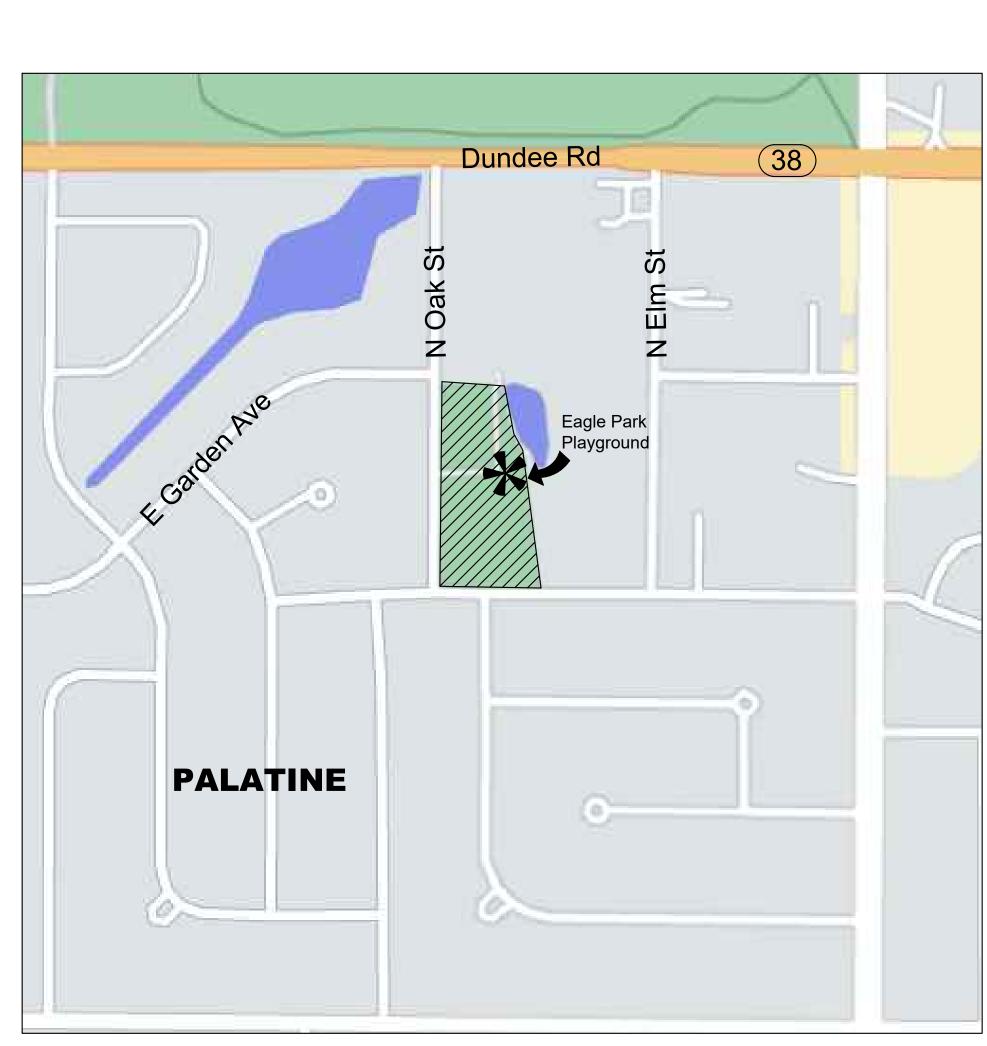
Score	n/a
Name	Jim Holder
Job Title	Superintendent of Parks & Planning
E-mail Address	adaprojects@palatineparks.org
Phone Number	847-705-5131
Park District	Palatine
Project Location	Eagle Park
Project Status	Alteration
Project Type	Recreation Facilities and Amenities Routes and Surfaces
	Playgrounds- Play Components Benches- Picnic Tables
Routes and Surfaces- select a Project Category below:	Accessible Routes- Means of Egress Play Surfaces Walking Surfaces
Benefits of the Project	Allows individuals with mobility issues to access all the amenities within the park from the parking lot.
Items that will become ADA Compliant	The playground, Tennis courts, picnic shelter, and the portable toilet.

The project is	The 2010 Standards for Accessible Design
designed or	The Illinois Accessibility Code
constructed, or	ASTM F 1951 Standard for Accessible Playground Surfaces
applies human	
resources, to comply	
with:	

Upload Project Related Files, Photos, Videos or Audio

01_Plan_Set.pdf				
02_Upland_1121_Invoice_03.pdf				
03_Merged_Parkreation_Invoice.pdf				
04_Bid_Hacienda_Landscaping.pdf				
05_merged_Rubbercycle.pdf				
06_Flood_Testing_Laboratories_Eagle_Park_23-110017_11-10-2023.pdf				
20230920_151451.jpg				
20231020_082646.jpg				
IMG_5535_1.jpg				
00_Eagle_Park_Calculations.pdf				
Budget Table for ADA Related Expenses				
Budget Table.xlsx				
ADA Dollars 174219.41 Requested				

Notes related to requested amount



### LOCATION MAP

SCALE: not to scale



#### LANDSCAPE ARCHITECT:



## uplandDesign Itd

Landscape Architecture & Park Planning 1229 N. North Branch St, Ste. 220A Chicago, Illinois 60642 24042 Lockport St, Plainfield, Illinois 60544 815-254-0091 www.uplandDesign.com

IL License 060-007797

# **Eagle Park Renovation** 1425 N. Oak Street Palatine, Illinois 60067



## Palatine Park District

250 E. Wood St. Palatine, Illinois 60067

### SHEET INDEX

- 1.0 Title Sheet
- 2.0 Existing Conditions & Removals Plan
- 3.0 Layout Plan
- 4.0 Dimension Plan
- 5.0 Grading & Restoration Plan
- 6.0 Construction Details



This project has been prepared by and reviewed by Licensed Landscape Architects. Michelle A. Kelly # 157.001002 Heath A. Wright # 157.000994 Maria Blood # 157.001511

16MAR2023

REVISIONS

MB/AB ISSUED FOR BID

ORIGINAL ISSUE DATE

PROJECT NUMBER

PROJECT NAME

SHEET TITLE

Eagle Park

Renovation

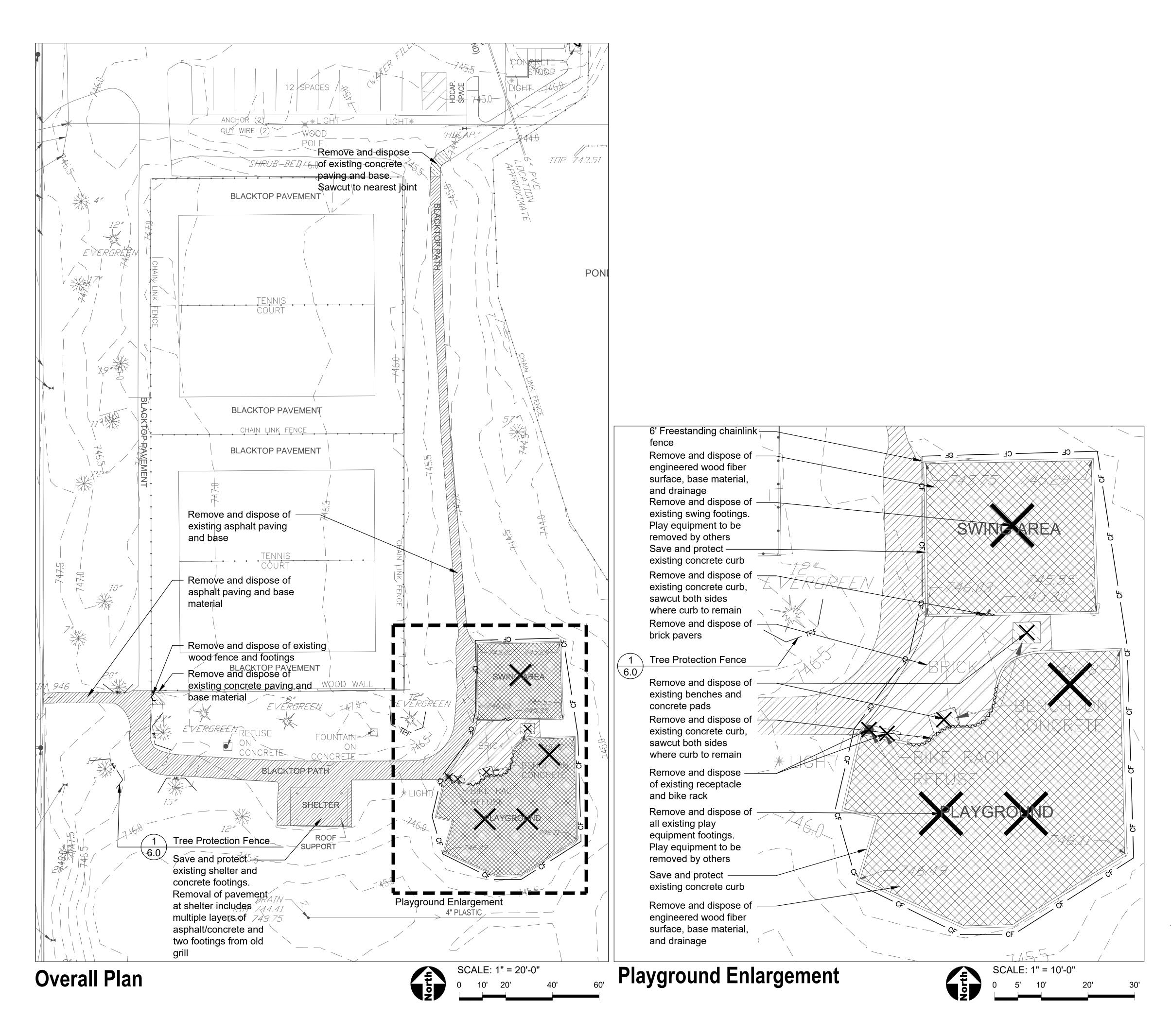
**Title Sheet** 

1121

**Issued for Bid** 16MAR2023

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SHEET NUMBER



#### GENERAL NOTES: EXISTING CONDITIONS & REMOVALS

- 1. The Contractor is to locate all utilities, public and private, prior to beginning construction. Contractor will be responsible for any damages to utilities caused by their work. Contact J.U.L.I.E. 72 hours prior to construction at 1-800-982-0123 or (811) for location of utilities and contractor shall be responsible for protection of the same.
- 2. Site conditions are shown based upon available information, contractor to verify all existing conditions prior to bidding.
- 3. The contractor shall be responsible for the protection of all private utilities even though they may not be shown on the plans. Any utility damaged during the construction shall be repaired or replaced to the satisfaction of the Owner at the contractor's expense. No tree shall be planted within 10 lateral feet of any underground waterline, sewer line, transmission line or other utility.
- Contours and elevations shown hereon are referenced to the North American vertical datum of 1988 (navd88)
- 5. A Topographic Survey was completed for the Owner by: JLH Land Surveying Inc.
  - 910 Geneva St.
- Shorewood, Illinois 60404 Phone: 815-729-4000
- The Contractor shall walk the site prior to submitting a bid to be fully familiar with site conditions.
   The Contractor shall protect and preserve all section, property or survey reference markers.
- Tree Protection Fence to be installed as shown on plans and details prior to beginning construction. (incidental to cost). Do not drive, store equipment or materials within dripline of existing trees that are to be saved. Hold necessary disturbance to a minimum.
- 9. Contractor will be held responsible for damage to items not scheduled for removal.
   10. Contractor shall repair or replace all damaged sidewalks, curbs or paving to remain in place
- that were damaged as a result of work stated in contract documents.
  11. No excavations are to be left open to foul weather, rain, snow, etc. which would necessitate further excavation and additional sub grade materials.
- 12. Work site safety is the responsibility of the Contractor.
- 13. <u>Vehicular Construction access</u> shall be at one location to minimize damage. Construction access shall be approved by the Owner's representative.
- <u>Construction Limits:</u> Construction Limits are as noted on plans. Do not store equipment or stockpile materials outside of construction limits. Any areas disturbed as a result of construction shall be restored to lawn or other surface by contractor to match pre-construction condition.
- Topsoil may be stockpiled for redistribution as needed. Excess topsoil, debris and plant material to be removed off site and disposed of legally.
   Construction fonce shall be installed prior to be removed off site and disposed of legally.
- Construction fence shall be installed prior to beginning construction. Construction fence to be 4' orange construction fence or free standing chainlink per plans. (incidental to contract).
   Place erosion control measures as required to eliminate sedimentation into non-construction
- areas and as shown on plans and details prior to beginning construction.
  18. Before beginning work at the site and throughout the course of the work contractor to inspect and verify the location and condition of every item affected by the work under this contract
- and report discrepancies to the Owner's Representative before beginning work.
  19. Should discrepancies appear among the contract documents or between the contract documents and existing conditions, the contractor shall request an interpretation from the Owner's Representative before bidding. If the contractor fails to make such requests, it is presumed that both provisions were included in the bid, and the Owner's Representative shall determine which of the conflicting requirements shall govern. The contractor shall perform the work at no additional cost to the Owner in accordance with the Owner's Representative determination. Where conflicts exists between or within the contract documents between and applicable standards, codes, ordinances or manufacturers recommendations, and clarification has not been requested from the Owner's Representative prior to bidding as provided for above, the more stringent or higher quality standard shall prevail. Large scale drawings shall take precedence over small scale drawings, figured dimensions on the drawings over scaled dimensions and noted material over graphic representations.
- 20. The contractor shall provide all work and materials which any section or part of the drawings, specifications or conditions require them to provide, regardless of whether such requirement is or is not faithfully repeated in other parts of the documents thereof to which the provisions might be appropriate.
- 21. All necessary site work permits will be obtained by Owner. Contractor and all subcontractors shall register and pay associated fees to the Building Department. Contractor is responsible for following permit requirements including coordination of inspections and/or reinspections and associated fees.
- 22. Contractor shall follow all permit requirements as part of the project.

#### REMOVALS LEGEND

	Remove and Dispose of Existing Engineered Wood Fiber
	Remove and Dispose of Existing Asphalt Paving
	Remove and Dispose of Existing Concrete Paving
	Remove and Dispose of Existing Brick Pavers
~~~~~~~~~~~~~~~~~~~~~~~~~~~~~~~~~~~~~~~	Remove and Dispose of Existing Concrete Curb
×	Remove and Dispose of Item as Marked
TPF	Tree Protection Fence
CF	Construction Fence



250 E. Wood St. Palatine, Illinois 60067 Phone: 847-991-0333

### PROJECT Eagle Park Renovation

1425 N. Oak St. Palatine, Illinois 60067

#### PROJECT TEAM



Landscape Architecture & Park Planning 1229 N North Branch St, Ste. 220A Chicago, Illinois 60642 24042 Lockport St, Plainfield, Illinois 60544 815-254-0091 www.uplandDesign.com

SURVEYOR JLH Land Surveying Inc. 910 Geneva St. Shorewood, Illinois 60404 Phone: 815-729-4000

REVISI	ONS	
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	IAL ISSUE DATE	

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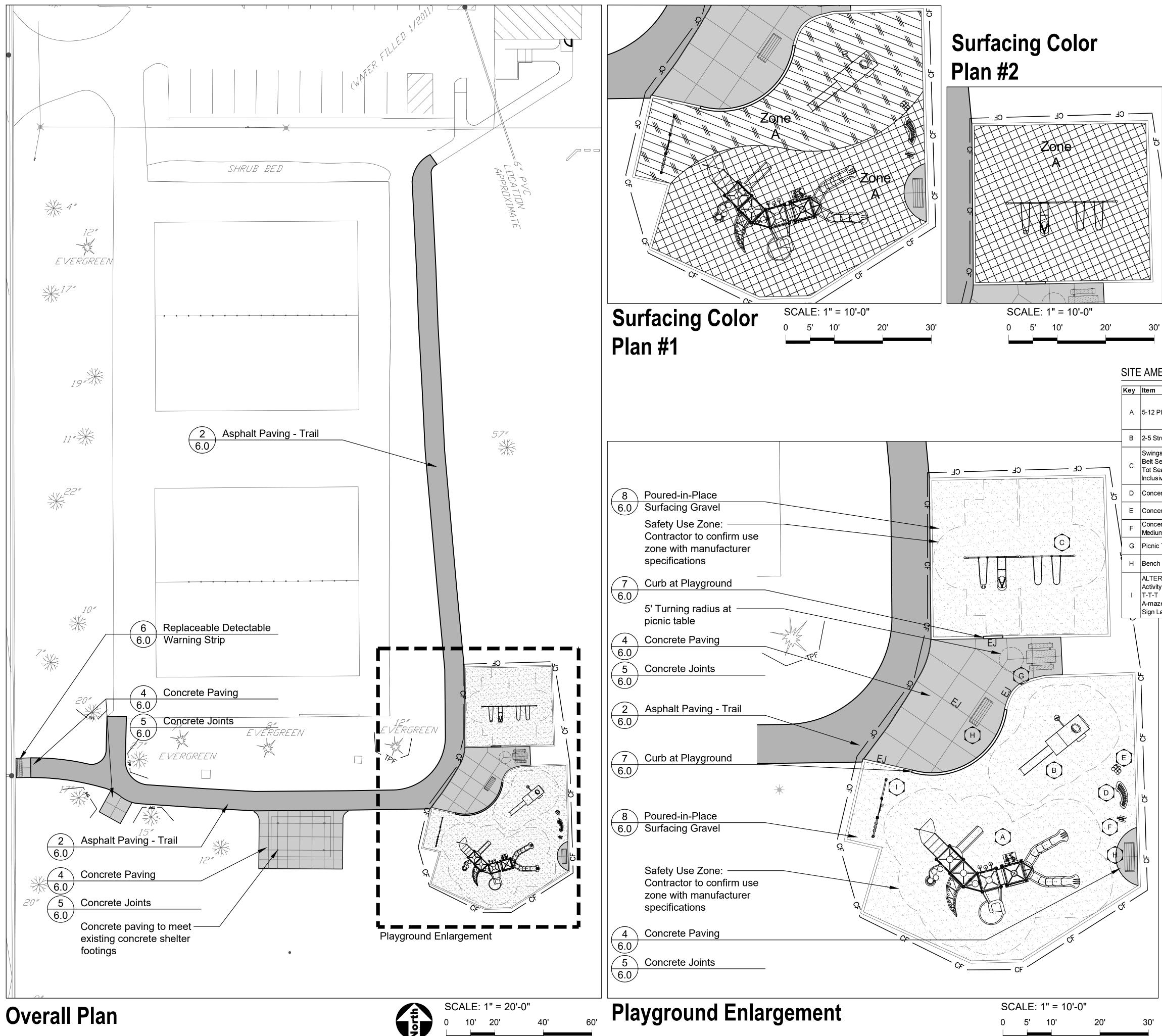
PROJECT NUMBER

1121

SHEET TITLE

## Existing Conditions & Removals Plan

SHEET NUMBER



#### LEGEND - POURED-IN-PLACE COLORS

Color A: 75% Light Blue, 25% Black



Color B: 75% Dark Blue, 25% Black

#### CRITICAL FALL HEIGHTS

Zone A: 8' Critical Fall Height Critical fall heights to be confirmed by play equipment manufacturers and measured in field

#### SITE AMENITIES SCHEDULE

m	Color	Qty	Model	Manufacturer	Supplier
12 Play Structure	Blue, Teal, Metallic Gray, Chartreuse	1	Custom #PS022723	Little Tikes	Parkreation 847-419-7746
5 Structure	Blue, Teal, White	1	Custom #PS022723	Little Tikes	Parkreation 847-419-7746
vings It Seat t Seat Iusive Seat	Metallic Gray, Chartreuse	1 2 1 1	Custom #PS022723 #200202835 #200202836 #200203433	Little Tikes	Parkreation 847-419-7746
oncerto Vibes	Blue	1	#200203438	Little Tikes	Parkreation 847-419-7746
oncerto 2-Congas	Blue	1	#200203442	Little Tikes	Parkreation 847-419-7746
ncerto Spin Cabasas dium	Blue	1	#200203440	Little Tikes	Parkreation 847-419-7746
cnic Table by Owner		1			
nch by Owner		2			
TERNATE: tivity Panels T-T maze-ing Insert gn Language	Blue	1 1 1	Custom #PS022723 #200007124 #200203471 #200200074	Little Tikes	Parkreation 847-419-7746

#### **GENERAL NOTES: LAYOUT**

- It is the responsibility of the Contractor to perform layout of all project elements and points for review by Owner prior to construction. (This work is considered incidental to the project and not paid as a separate bid item).
- The contractor shall be responsible for all materials and quantities as required to complete the work in accordance with the plans and specifications. The contractor will notify the Owner's Representative in writing of any discrepancies or changes required to complete the work before any action may be taken. All changes or change orders must be approved by the Owner's Representative and Owner before any changes are execut
- Contractor shall follow Village of Palatine permit requirements as part of the project. Contractor shall confirm that all equipment use/safety zones specified by play equipment manufacturer are adhered to.
- All play equipment footings shall meet manufacturers recommendations for footing depth and width.

#### **REFERENCED SPECIFICATIONS AND CODES**

- The Americans with Disabilities Act and the Illinois Accessibility Code.
- The Illinois Procedures and Standards for Urban Soil Erosion and Sedimentation Control, and IEPA Standards and Specifications for Soil Erosion and Sedimentation Control.
- U.S. Soil Conservation Service Field Engineering Handbook All codes and ordinances of the Village of Palatine, United States Army Corp of Engineers, Illinois Department of Natural Resources, Cook County Soil and Water Conservation Districts, and all agencies having jurisdiction.
- All requirements of the Occupational Safety and Health Administration. The cited standard specifications, codes and permits, with these construction plans and details, are all to be considered part of the work, incidental items or accessories necessary to complete this work may not be specifically noted but are considered a part of these improvements.
- 7. In case of conflict, the more restrictive provision shall apply.

#### LEGEND



EJ

Asphalt Paving

Concrete Paving

Poured in Place Rubber Surfacing

Concrete Expansion Joints

----- CF ----- Construction Fence



250 E. Wood St. Palatine, Illinois 60067 Phone: 847-991-0333

### PROJECT Eagle Park Renovation

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#### PROJECT TEAM



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SURVEYOR JLH Land Surveying Inc. 910 Geneva St. Shorewood, Illinois 60404 Phone: 815-729-4000

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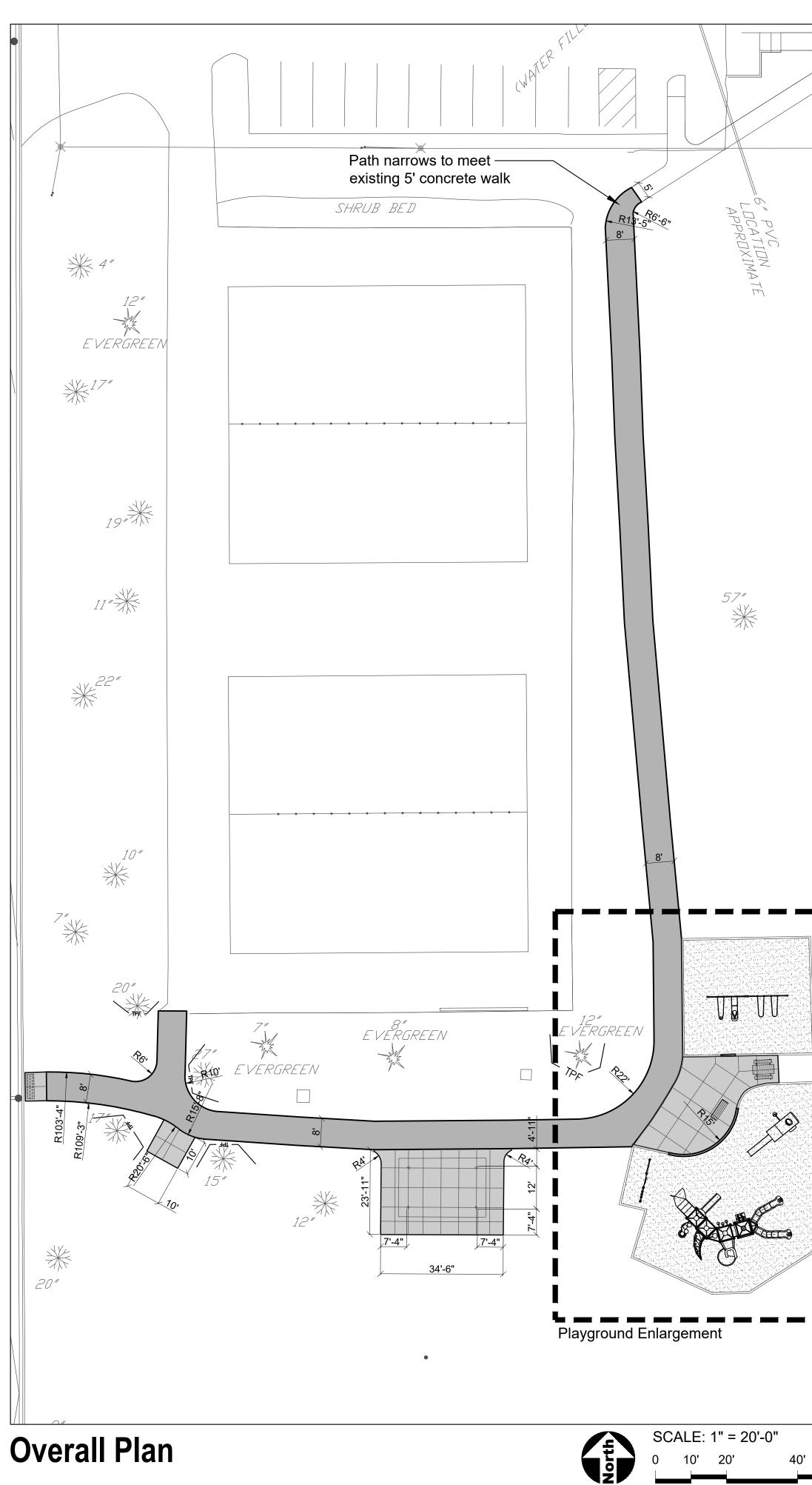
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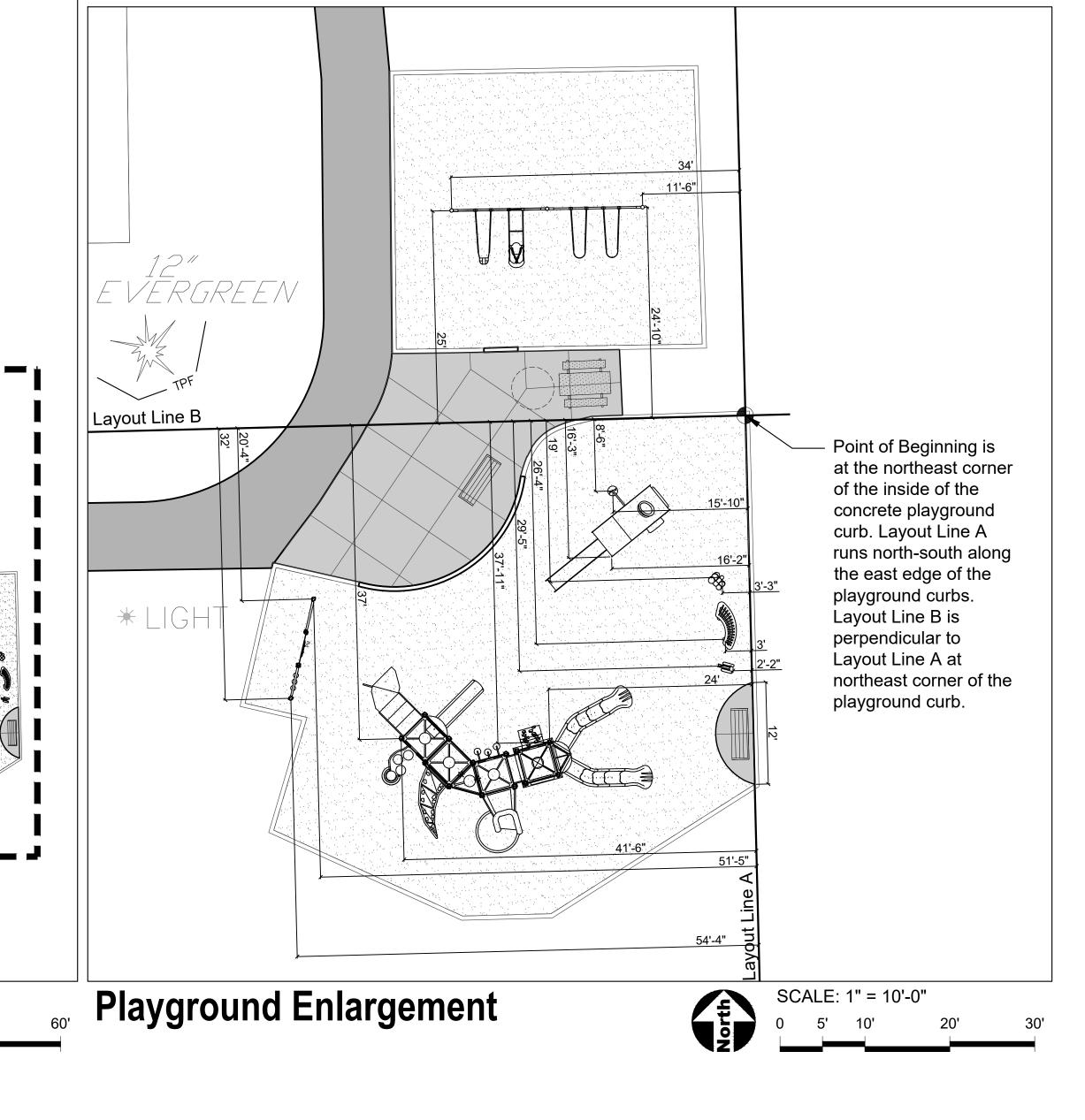
1121

SHEET TITLE

### Layout Plan

SHEET NUMBER





 $\square$ 

#### GENERAL NOTES: DIMENSION

EQUIPMENT LIST

EJ

Concrete Paving

Asphalt Paving

Engineered Wood Fiber Surfacing

Concrete Expansion Joints

Construction Fence

Point of Beginning

- 1. Layout of equipment is to center of post. 2. Layout play equipment with safety zones to be staked by the Contractor for review by Owner's Representative prior to play equipment installation.
- 3. Paving radii shall be formed completely and shall smoothly transition into tangents and adjoining lines. Dimensions are to face of curb and edge of pavement unless otherwise specified.
- 4. Dimensions are in feet or degrees. Dimensions are perpendicular & parallel unless otherwise noted.
- 5. See Layout Plan, Sheet 3.0 for additional general notes and referenced specifications and codes.
- Contractor shall perform all construction layout for the project. Contractor will be provided 6. with an electronic file in AutoCAD format to assist with layout. Neither the Owner nor their representative shall be responsible for setting additional layout points.



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## PROJECT Eagle Park Renovation

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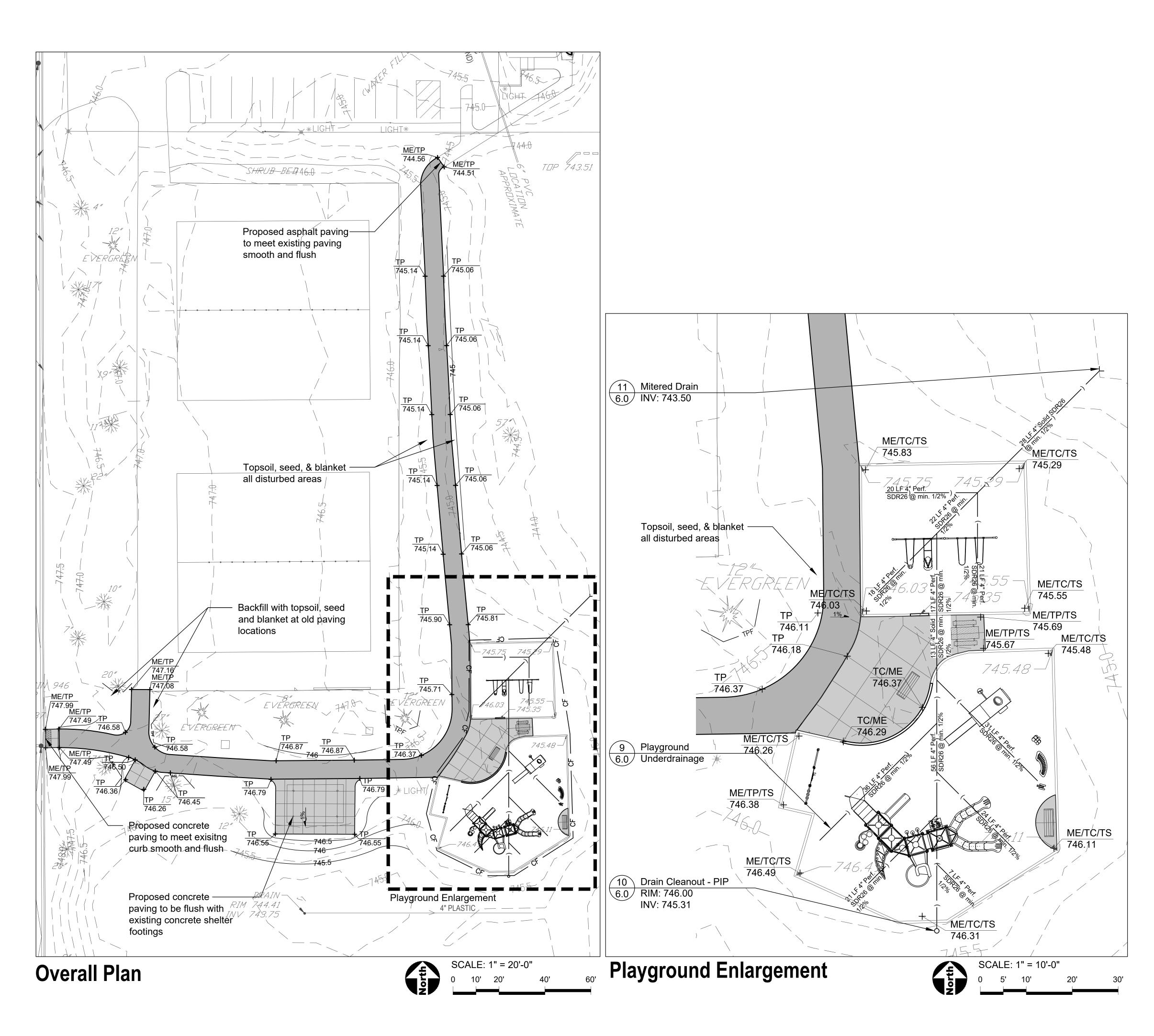
PROJECT NUMBER

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SHEET TITLE

### Dimension Plan

SHEET NUMBER



#### **GENERAL NOTES: GRADING**

- 1. Finished surfaces to be smooth and even with no abrupt or awkward changes in grade. Paving to meet adjacent grades flush and smooth.
- Contractor shall restore all areas disturbed as a result of construction. 2.
- All walks, drives and paved areas are to follow ADA per incorporated specifications. Any 3. deviation shall be removed and reinstalled to follow this law.
- 4. All Accessible Route paving shall not exceed 4.5% in any direction. Cross slopes shall be less than 2%. Contractor shall slope all walks and slabs to eliminate ponding. ADA Turning Radius paving shall be less than 2% in all directions.
- This work shall include the excavation, stockpile, and placement of topsoil and suitable excavated material along with removal of all excess topsoil and debris off site and dispose of legally.
- Follow the Illinois Procedures and Standards for Urban Soil Erosion and Sedimentation Control, IEPA Standards and Specifications for Soil Erosion and Sedimentation Control, and U.S. Soil Conservation Service Field Engineering Handbook.
- 7. Transitions between paving types (i.e. concrete to asphalt) shall be smooth. Transitions not to exceed 1/8" vertical or horizontal difference.



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681	Existing Contour Line	
681	Proposed Contour Line	
+ contraction	Existing Spot Elevation	
<sup>+</sup> 689.66	Proposed Spot Elevation	
	Drainage Flow Direction	
CF	Construction Fence	

#### INDEX OF ACRONYMS AND ABBREVIATIONS

- HP High Point
- INV Pipe Invert Elevation
- LP Low Point
- ME Match Existing Elevation
- RIM Top of Rim Elevation
- TC Top of Curb
- TP Top of Pavement
- TS Top of Surface

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#### ORIGINAL ISSUE DATE Issued for Bid 16MAR2023

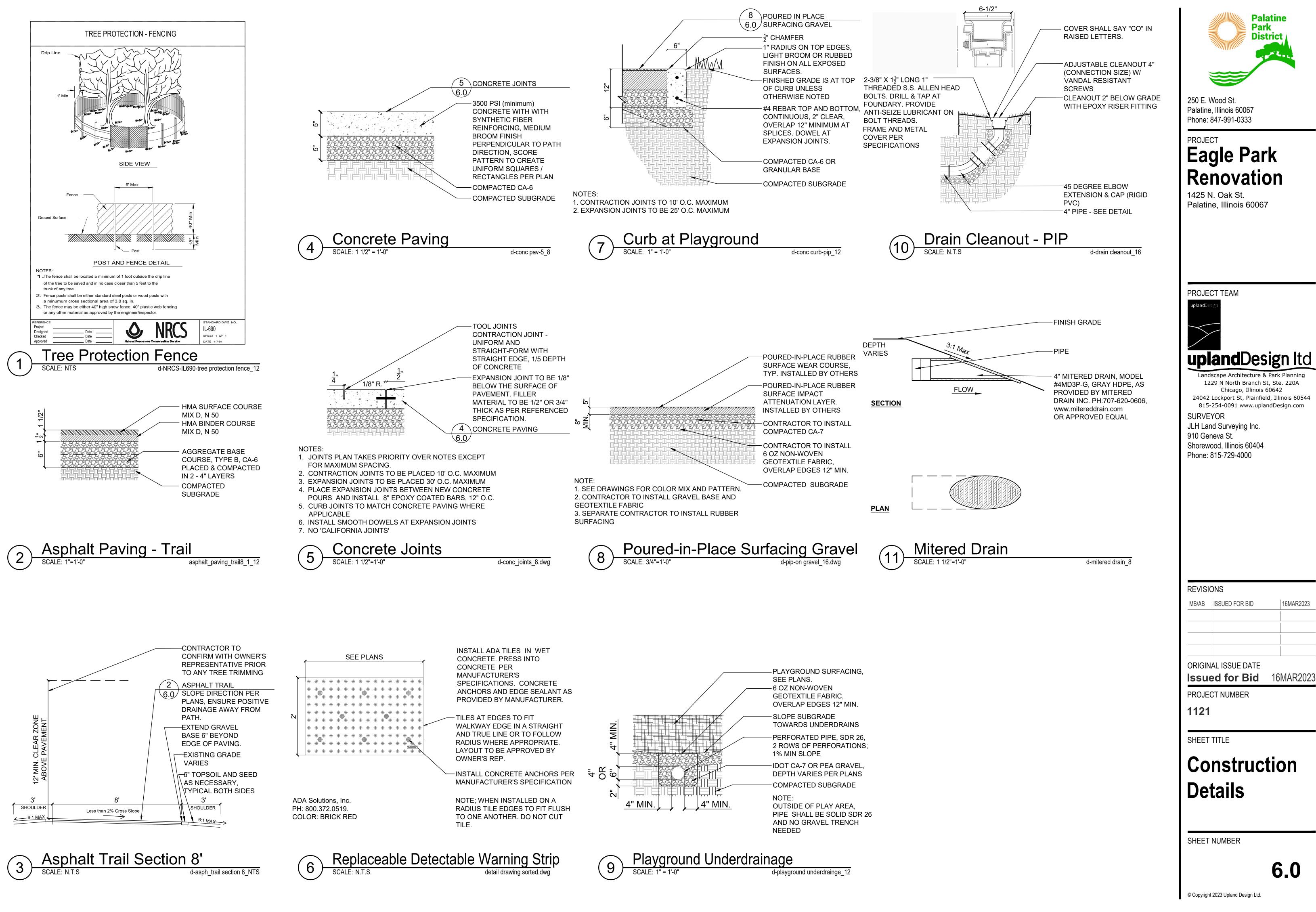
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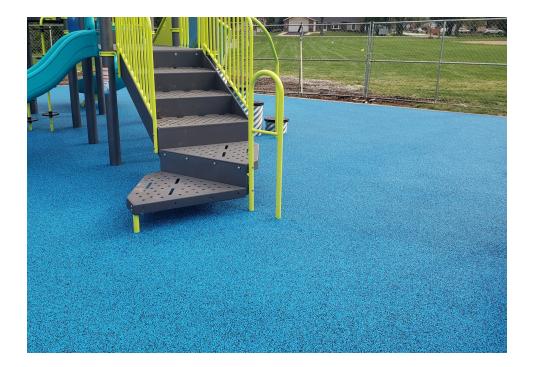
1121

#### SHEET TITLE

## Grading & Restoration Plan

SHEET NUMBER









Project Type (From ab Project Category (From Above)	Media File #/Name	Project Category Cost	ADA Portion of Project Cate % ADA Dollars	Requested
Rec amenities & Rout: Accessible route, Play grounds, and shelter	1-10	328028.3	1 174219.41	53.11%
			#DI'	V/0!
			#DI	V/0!
			#DI	V/0!
			#DI'	V/0!
			#DI	V/0!
			#DI'	V/0!
			#DI	V/0!
			#DI	V/0!
			#DI'	V/0!
Total Project Cost	328028.3	31		
Total ADA Portion of Project Cost	174219.4	1		
Total % of ADA Dollars Requested	53.11	%		