mdziubinski@mppd.org

11/17/2023

Title Lions Park 11/17/2023 by Matt Dziubinski in Member District ADA Project id. 44727528 Request 1000 W. Central Rd Mount Prospect, Illinois 60056 United States 8479566773

Original Submission

Score	n/a
Name	Matt Dziubinski
Job Title	Director of Parks & Planning
E-mail Address	mdziubinski@mppd.org
Phone Number	8479566773
Park District	Mt. Prospect
Project Location	Lions Park
Project Status	New Alteration
Project Type	Routes and Surfaces Recreation Facilities and Amenities
	Playgrounds- Play Components Benches- Picnic Tables
Routes and Surfaces- select a Project Category below:	Play Surfaces Walking Surfaces
Benefits of the Project	Benefits include playground equipment that will be fully accessible. This includes adding poured in place playground surfacing for both the 2-5 and 5-12 age play areas. There will be a new asphalt pedestrian pathway throughout the park. The new 8' wide asphalt pedestrian path system will provide an accessible route around the site including connections to the playground, baseball fields, Veterans Memorial bandshell, and S. Maple Street.

Items that will become ADA Compliant	Playground and the surrounding amenities including the shelter area, activity patio, and game courts. There will also be a new path system that will be ADA compliant.
The project is designed or constructed, or applies human resources, to comply with:	The 2010 Standards for Accessible Design Agency's ADA Transition Plan ASTM F 1951 Standard for Accessible Playground Surfaces ASTM Standard for Accessible Exercise Equipment

Upload Project Related Files, Photos, Videos or Audio

Lions_Park_Phase_NWSRA_12.13.23_FINAL_MD.pdf NWSRA_LP_Support_Docs_12.13.23_FINAL_MD.pdf

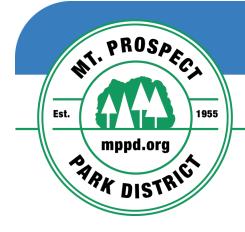
Budget Table for ADA Related Expenses

Budget Table.xlsx

ADA Dollars Requested

505264.49

Notes related to requested amount



December 13, 2023

Ms. Tracey Crawford, CTRS, CPRP Executive Director Northwest Special Recreation Association 3000 Central Rd. - Suite 205 Rolling Meadows, IL 60008

Re: ADA Improvements- Lions Park Phase 1 Renovations

Dear Tracey,

The Mt. Prospect Park District hereby notifies and requests approval of the NWSRA Board of Directors for the proposed expenditures of funds from the Park District's Special Recreation levy to pay for the following improvements at Lions Park- Phase 1 Renovations. Lions Park is a community park located on the north side of the Park District. The funds will be used for general park construction and paid to a contractor.

• Request reimbursement for 50% of the cost of labor to install new outdoor fitness equipment and playground equipment. The cost of the labor is \$86,425. We request authorization for the Park District to use ADA funds in the amount of **\$43,212.50**.

• Request reimbursement for 100% of the cost of 8,260 sf of poured in place surfacing. The surface shall meet the current ADA Standards (2010) and Accessibility as determined in Chapter 2 Scoping Requirements 206.2.2 Accessible Route, Chapter 3 Building Blocks 305.2 Floor and Ground Surfaces and ASTM F 1951 Standard for Accessible Playground Surfaces. We request authorization for the Park District to use ADA funds in the amount of **\$202,000**.

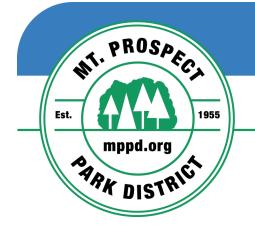
• Request reimbursement for 50% of the purchase and delivery of new outdoor fitness and playground equipment. The cost of the new equipment is \$253,228.98. The fitness station and playground meets and exceeds current ADA Standards (2010). The play area accessibility is as determined in Chapter 10 Recreation Facilities 1008 Play Areas and ASTM 3101-21a Standard Specification for Unsupervised Public Use Outdoor Fitness Equipment. We request authorization for the Park District to use ADA funds in the amount of **\$126,614.49**.

• Request reimbursement for 5' of pathway width. We are adding a new 8' wide asphalt pedestrian path system throughout the park. The path will provide an accessible route around the site including connections to the playground, baseball fields, Veterans Memorial bandshell, and S. Maple Street. The asphalt paving total is \$213,500.00. The asphalt shall meet the current ADA Standards (2010) and

Central Community Center	RecPlex	Lions Recreation Center	Friendship Park Conservatory	Mt. Prospect Golf Club
1000 W. Central Rd.	420 W. Dempster St.	411 S. Maple St.	395 W. Algonquin Rd.	600 See-Gwun Ave.
Mount Prospect, IL 60056	Mount Prospect, IL 60056	Mount Prospect, IL 60056	Des Plaines, IL 60018	Mount Prospect, IL 60056
847-255-5380	847-640-1000	847-632-9333	847-298-3500	847-259-4200

Our Mission:

To provide exceptional parks and recreation experiences that enrich the quality of life for present and future generations



Accessibility as determined in Chapter 2 Scoping Requirements 206.2.2 Accessible Route within a site Chapter 4 Accessible Routes 402 accessible Routes 403 Walking Surfaces including 403.5.3 Passing Space. We request authorization for the Park District to use ADA funds in the amount of **\$133,437.50**.

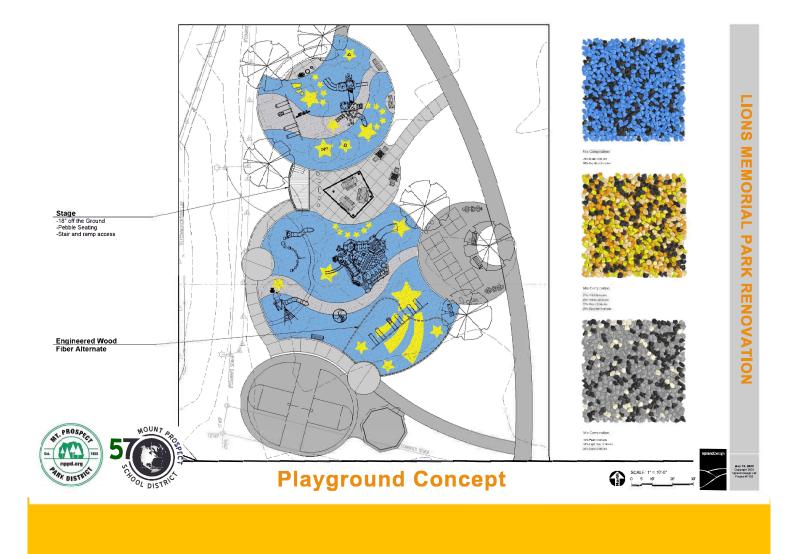
We request authorization by the NWSRA for the Park District to use ADA funds for a combined total of **\$505,264.49** for accessibility improvements made as part of the Lions Park Phase 1 Renovations. The total cost of work for Lions Park Phase 1 Renovations is \$2,324,524.98.

If you have any questions or require additional information, please do not hesitate to contact me at (847) 956-6773 ext. 460 or mdziubinski@mppd.org. Thank you for your consideration.

Sincerely, Matt Dziubinski Director of Parks & Planning

CC: Jim Jarog, Executive Director



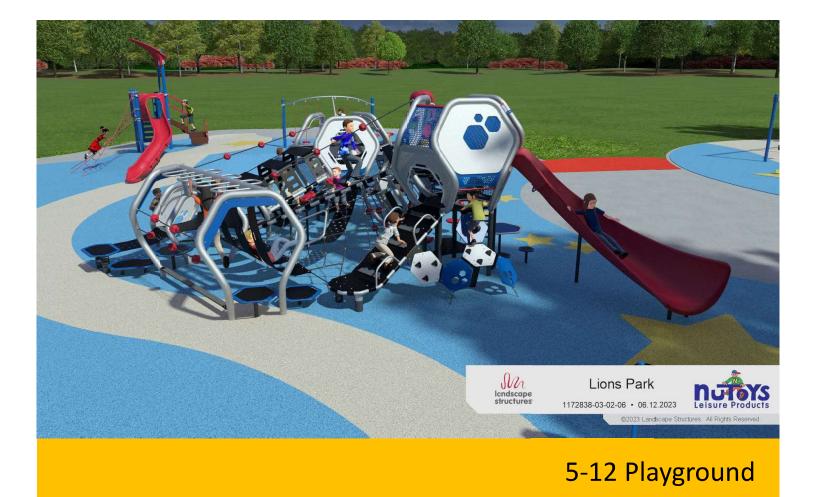








2-5 Playground







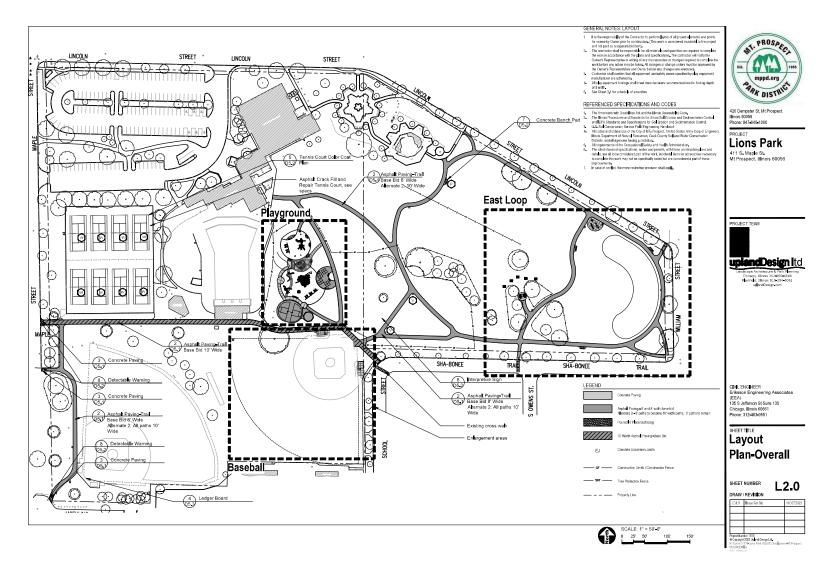
Shelter & Stage

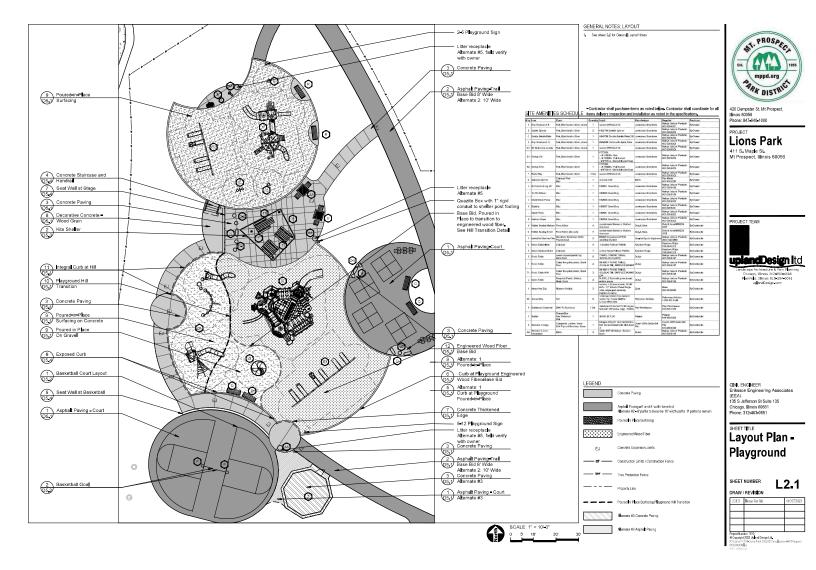


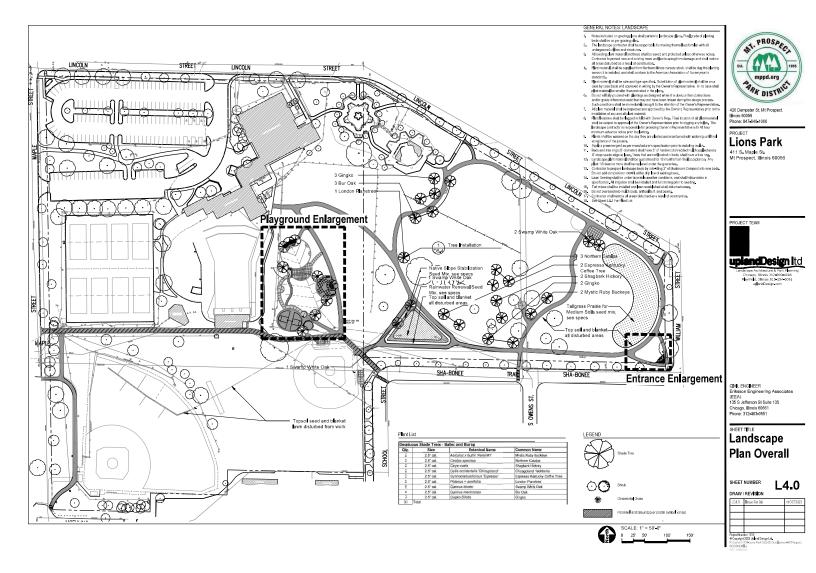
Fitness Equipment



Fitness







ja e

BID FORM

ORIGINIAL

Projects:	Lions Park Phase 1 Renovation	
Owner:	Mt. Prospect Park District 1000 West Central Road Mount Prospect, Illinois 60056	
Architect:	Upland Design, Ltd 1229 N. North Branch St, #220A Chicago, IL 60642	
Construction: Manager	Nicholas & Associates, Inc. 1001 Feehanville Drive Mt. Prospect, IL 60056	
Bid To:	Mt. Prospect Park District 1000 West Central Road Mount Prospect, Illinois 60056	
Bid Package #_	1 - Site Work and Landscaping	1
Bid From:	AJ Oleson Construction Co.	Erick Oleson
	Name of Firm 29250 N. Gilmer Road	Contact Person
	Address Mundoloin, IL 60060	
630.	.546.0235 e:	<u>rick.ol</u> eson@gmail.com
	Telephone Fax	Email
All bidders are	to acknowledge receipt of Addendum on Bid F	Form. Failure to do so may result in
disqualification	n of bid.	

Addendum No <u>1</u>	Date: 10.23.23	Addendum No	_ Date:
Addendum No2	Date: <u>10.24.</u> 23	Addendum No	Date:

Addendum No _____ Date: ____23 Addendum No _____ Date: ____

Bid Date, Time & Place: Construction Manager, Nicholas & Associates, inc. will receive bid proposals in triplicate form on Wednesday, November 1st, 2023 at 2:00 P.M. at the Office of Nicholas & Associates, 1001 Feehanville Dr. Mount Prospect, IL 60056.

Mt. Prospect Park District Lions Park Phase 1 Renovation

Bidders:

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By submitting this bid form, the contractor has thoroughly familiarized themselves with the entire bid documents, procedure manual, local conditions, Instructions to bidders, and here by propose to perform everything required and to provide all labor, materials, tools, bonds, insurance, equipment, and services as required to perform the scope of work in a skilled and workmanlike manner in accordance with the drawings and described in the project manual even through such work may be included as related requirements specified in other divisions or section for the lump sum amount of

Base Bid

one million five hundred minety mine thousand four hundred minety mine dollars 00/100 Dollars (\$ 1,599,499.00

Alternate Bid Proposals

The following alternate describe labor or materials which shall be provided in a like manner as those specified and /or indicated on the drawings. The Owner reserves the right to accept any alternate as a change to the base bid. For each alternate, state the amount to be added to or deducted from the base bid should the Owner decide to proceed with the portion of the work identified as alternates. NOTE: See Uplands spec section 01 23 00 for alternate descriptions.

Alternate Bid	#1: Add por	ured in place at 5-12 playgrou	<mark>nd.</mark>
ADD/DEDUCT	ninety	thousand 00/100	Dollars (\$ 90, 000.00
Alternate Bid	#2: Widene	d Asphalt Path.	
ADD/DEDUCT	thirty sev	an thousand five hundredd 00/100	Dollars (\$ 37, 500.00
Alternate Bid	#3: Add Ga	<u>za Pit.</u>	
ADD/DEDUCT	twelve th	ousand five hundred 00/10	0 Dollars (\$ 12, 500.00
Alternate #4:	Shelter Con	duit.	
ADD/DEDUCT	three the	ousand five hundred 00/10	Dollars (\$ (3, 500.00)
Alternate #5:	Add Trash r	eceptacles by playground.	
ADD/DEDUCT	eight tho	usand five hundred 00/100	Dollars (\$ 8,500.00
	0% "Perforr		ayment Bond" that is <u>included</u> in this bid. lars (\$ <u>17,5</u> 00.00)

Pre-Bid Conference

This bidder did <u>x</u> did not <u>attend</u> the pre-bid conference.

Mt. Prospect Park District Lions Park Phase 1 Renovation

Multiple Bid Submissions

Contractors are strongy advised to <u>properly identify their individual trade</u> on this bid form and the exterior of the <u>sealed</u> bid envelope. Contractor will be permitted to submit multiple trade bids; however, <u>each separate trade</u> will required a separate bid proposal in a separate bid envelope.

All bidders accept the provisions of the bidding requirements regarding disposition of bid security.

When awarded a contract based upon this bid, this contractor will enter into and execute a contract with the Owner and aggress to furnish in accordance with the bidding documents:

- 1. All insurance requirements
- 2. All bords requirements
- 3. Accomplish the work in accords with the contract

Extra Work

The undersigned agrees that on all changes to the construction documents involving cost, either extra items or credit items, the following percentage will be added or deducted from the actual cost of the work for this bidder's overhead and profit.

For work performed by contractor's own employees – 10% For work performed under subcontractor employees – 5% Note: Above to be applied for extras if and when the allowance value is exhausted. No OH&P will be approved for cost changes being applied to the specified allowance.

Unit Prices

General Requirements: Include on Bid Form an amount for each Unit Price listed on Bid Form and specified with this Section. Include costs for labor, materials, installation, overhead, and Contractor's profit in amount for each Unit Price.

<u>Unit Price #1</u> – Unsuitable Soils Removal & Disposal (CCDD compliant) backfilled with CA6 in 8"-10" lifts and compacted to required compaction.

\$95.00 / Per Cubic Yard

Unit Price #2 - Unsuitable Soils Removal & Disposal (non-CCDD, Subtitle D Compliant)

\$150.00 / Per Cubic Yard

Unit Price #3 - Provide & install CA-1 compacted backfill

\$65.00 / Per Cubic Yard

Unit Price #4 - Provide & install CA-7 compacted backfill

\$63.00 / Per Cubic Yard

Unit Price #5 - Provide & install CA-6 compacted backfill

\$60.00 / Per Cubic Yard

Mt. Prospect Park District Lions Park Phase 1 Renovation

Unit Price #6 - Furnish & install sod

\$20.00 / Per Square Yard

Unit Price #7 - Furnish & install additional asphalt path (Including excavation, stone & asphalt)

\$125.00 / Per Square Yard

Unit Price #8 – Furnish & install additional concrete walk (Including excavation, stone & concrete paving)

\$25.00 / Per Square Foot

Time is of Essence

The contractor by signing this agreement shall make every effort, including working overtime, weekends and /or evenings to complete work on schedule and not adversely inconvenience the Owner or other contractors to perform their work following this contractor's work. This contractor will make every effort to cooperate with other trades on site.

Award

In submitting this bid, it is understood that the right is reserved by the Owner to reject any and all bids. If written notice of the acceptance of the bid is mailed, telegraphed, facsimiled, and /or delivered to the undersigned with in 45 days after the bid opening there of, or at any time thereafter before this bid is withdrawn by written notification, the undersigned agrees to execute and deliver a contract in the prescribed form and furnished the required bonds within 10 days after the contract is presented to them for *signature*.

Schedule of Values

The contractor agrees to furnish a schedule of values and complete list of subcontractors within seven (7) days of the bid opening. This may be requested regardless of award of bid.

Substitutions

The contractor may submit a list of substitutions for materials and /or products. The bidder must provide a list of items they intend to substitute, substitution product / material and any related cost factors as to whether they are an add or deduct on a separate sheet.

Substitution	Add \$	Deduct \$	
Description:	N/A		

It is understood that the bidder included the base bid items within the base bid stated herewith. It is further understood that the selection of materials is optional with the Owner and approval or rejection of the substitutions will be indicated prior to execution on the contract.

Substitution Consideration

Mt. Prospect Park District Lions Park Phase 1 Renovation

Play Illinois, LLC

310 N. Grant Street, Westmont, IL 60559 Tel (844) 222-9990 Fax (844) 217-1113 www.playil.com



Signed:

Project Name: Lions Park

Project Location: 411 S. Maple St.

Mt. Prospect, IL 60056

Date:

Date: 10/30/2023 Quote #: 824142 Accepted Approved Quotation, Terms and Conditions

In coordination with BCI Burke Company, LLC

Tel: (920) 921-9220

To: Mt. Prospect Park District 1000 West Central Road Mt. Prospect, IL 60056

ID# 50498

Prepared by	Estimated Ship Date	Payment Terms		
Colin MacLean	15-18 weeks after receipt of order	Net 30 Days.		
Item	Description	Unit Price	Quantity	Total
Equipment	560-0051 Inclusive Orbit	13,884.00	1	13,884.00
Discount	Discount per Sourcewell Contract # 010521-BUR	(971.88)	1	(971.88)
Freight	Delivery of Burke Equipment	464.86	1	464.86
	Open Market			
Sales Tax	Please submit tax exempt form at time of order	0.00	1	-
	TOTAL:			\$ 13,376.98

Colin MacLean

Title: Project Manager, Play Illinois, LLC

Source well	
Awarded Contract	
Contract #010521-BUR	

Pricing and Freight are valid for 30 days.

Thank you for the opportunity to provide this quote.

We look forward to filling your park & playground needs in the months and years to come!

Special Notes: Prices do not include site security, safety surfacing (unless shown in quoted items above), installation (unless shown in quoted items above) or sales tax (if applicable). Prices are based on standard colors per CURRENT YEAR BCI Burke Catalog. Custom colors, where available, would be an extra charge. Freight charges are predicated on all items being ordered and shipped at the same time.

Rock Clause: If excessive underground obstructions such as rock, coral, asphalt, concrete, pipes, drainage systems, root systems, water or any other unknown obstructions are discovered, additional charges will be added to the proposal.

In coordination with BCI Burke Company, LLC "An ISO 9001:2008 and ISO 14001:2004 Certified Company" PO Box 549 - Fond du Lac, WI 54936-0549 - Phone (920) 921-9220 - Fax (920) 921-9566 - www.bciburke.com Play that Moves You®

TERMS: \$13,376.98 for Equipment and Delivery will be invoiced at time of shipping.

\cap	-	ALL PURCHASE ORDERS, CONTRACTS, AND		
	0-	CHECKS TO BE MADE OUT TO:		
	$\boldsymbol{\Lambda}$	LANDSCAPE STRUCTURES, INC.		
0.	• •	601 7TH STREET SOUTH		
lands	cape	DELANO, MN 55328 U.S.A.		
- turius	cape	763-972-3391 800-328-0035		
STruc	n scape tures	Fax: 763-972-3185		
		ORDER FORM/PROPOSAL		
3-Aug-23				
BILL TO:			SHIP TO:	
Mt. Prospect	Park Distric	t		
1000 West C				
Mt. Prospect				
PROJECT N	A ME •	Lions Park, Mt. Prospect		
24 HOURS C				
QTY.	NO.	DESCRIPTION		PRICE
<u>un.</u>	<u>NU.</u>			<u>ENICE</u>
		5-12 Area		
1	265928D	Hedra w/Apine Side, Perf & Perf Direct Bury1		\$ 96,050
1	182503C	Welcome Sign (LSI Provided) Ages 5-12 years Direct	Burv	-
HILLSIDE CO	MPONENTS	:		
1	184490C	Swiggle Stix Bridge w/o Deck Connections DB		\$ 7,845
1	148039A	Star Seeker DB Only Attached to Square Deck		4,695
1	116247C	Vertica Ladder - Pane 40"		1,385
1	152911B	Curved Transfer Module Left 40"Dk DB		3,535
1	111228A	Square Tenderdeck		1,315
3	166809A	E-Pod Seat	\$ 395	1,185
4	111404F	108"Alum Post DB	380	1,520
2	111404M	148"Steel Post DB	455	910
2	1795950	204"Steel Post For Vibe Roof DB	615	1,230
1	179594A	Vibe Roof		1,715
1	189313A	Rushwinder DB Left		6,435
1	124863F	SlideWinder2 72"Dk DB 2 Straight 1 Right		4,535
1	158105A	Wobble Pod DB Only		1,960
		SUBTOTAL		\$ 38,265
SWINGS:				
3	174018A	Belt Seat Proguard Chains 8' Beam	\$ 160	\$ 480
2	176038A	Full Bucket Seat Proguard Chains 8' Beam	445	890
1	177351A	Molded Bucket Seat (5-12 yrs) w/Harness Proguard C	hains 8' Beam	1,090
1	177332A	Single Post Swing Frame 8' Beam		1,630
2	177333A	Single Post Swing Frame Addt Bay 8' Beam	1,210	2,420
_		SUBTOTAL		\$ 6,510
		2-5 Area		
1	152443A	Grid Walk w/Barriers		\$ 4,440
1	152431A	ABC Climber 48"Dk DB		2,090
1	135344B	Block Climber Perm Handholds Ground-Deck 40"D DE	3	3,420
1	123293A	Cozy Climber Perm Handholds 32"Dk DB		3,115

2	122197A	90* Triangular Tenderdeck	\$ 1,105	2,210
4	121948A	Kick Plate 8"Rise	145	580
3	111228A	Square Tenderdeck	1,315	3,94
1	185852A	Transfer Step w/2 Handloops DB		1,29
		PAGE 1 OF 2		
PAGE 2				
2	111231A	Triangular Tenderdeck	\$ 1,015	\$ 2,030
1	119646A	Tri-Deck Extension		98
1	121949A	Tri-Deck Kick Plate 8"Rise		21
1	173564A	Optigear Panel Above Deck		4,29
1	177718A	Rain Sound Wheel Panel Above Deck		2,75
1	130565A	Table Panel DB		1,39
1	120314A	Wire Barrier Above Deck		87
1	120901A	Grab Bar		24
1	120818A	Playstructure Seat		49
1	111404F	108"Alum Post DB		38
1	111404E	116"Alum Post DB		39
6	111404D	124"Alum Post DB	455	2,73
2	179595U	156"Stee Post For Vibe Roof DB	530	1,06
4	179595R	180"Steel Post For Vibe Roof DB	570	2,28
3	179594A	Vibe Roof	1,715	5,14
1	130798A	Double Swirl Slide 48"Dk DB		2,89
1	123337A	Single Side 40"Dk DB		2,00
1	124863B	SlideWinder2 40"Dk DB 1 Right		2,97
1	182503A	Welcome Sign (LSI Provided) Ages 2-5 years Direct B	ury	-
		SUBTOTAL		\$ 56,28
ALSO:				
1	164075B	Double Bobble Rider DB		\$ 2,64
2	152179A	Sadde Spinner DB 12"Height	\$ 1,305	2,61
1	228213A	Rhapsody Jingle Metallophone DB		4,17
1	228217A	Rhapsody Kettle Drum Junior DB		1,80
1	228218A	Rhapsody Kundu Drum Junior DB		1.80
		SUBTOTAL		\$ 13,03
SWINGS:				
3	176038A	Full Bucket Seat Proguard Chains 8' Beam	\$ 445	\$ 1,33
1	177351A	Molded Bucket Seat (5-12 yrs) w/Harness Proguard Cl		1,09
1	177332A	Single Post Swing Frame 8' Beam		1.63
1	177333A	Single Post Swing Frame Addt Bay 8' Beam		1,21
	11100014	SUBTOTAL		\$ 5,26
		Use Mitches of Outside and Elfance		
4	1004514	Healthbeat Outdoor Fitness		\$ 2.12
1	192451A	Ab Crunch/Leg Lift DB Order Post Separately*		\$ 2,12 2,80
1	192454A	Balance Steps DB Order Post Separately*		
1	192455A	Cardio Stepper DB Order Post Separately*		8,64
1	192456A	Chest/Back Press DB Order Post Separately*		6,70
1	192461A	Squat press DB Order Post Separately*		6,70
1	205945A	Steel Post w/2 and 1T Attachments DB		1,09
2	205946A	Stee Post w/2 and 2 Attachments DB	\$ 1,090	2,18
1	192463A	Tai Chi Wheels Order Post Separately*		2,63
		SUBTOTAL		\$ 32,86
		EQU PMENT TOTAL		\$ 248,26

Fax will be charged	d, if applicable, re net 30 to tax supported institutions or those who have an acc charged on past due accounts.	
ERMS: Our terms a	re net 30 to tax supported institutions or those who have an ac	
Fax will be charged		
	l, if applicable	
chain, and labor sho currently cannot gua	in effect for 30 days, NOTE: Due to the volatile cost of r- rtages; prices and lead times can change without notice, rrantee or hold prices quoted extended period of time, pyp of your Sales Tax Exemption Certificate with Ord.	Unfortunately, we
	es shipping cost but not installation	
	TOTAL	\$ 239,852
	SHIPPING	11,453
		(19,861

PROJECT COST BREAKDOWN

Professional Services (Design, Engineering, Survey)	\$ 144,038.00
Construction Costs	\$1,692,999.00
Fitness and Playground Equipment	\$ 253,228.98
Construction Management Services	\$ 234,259.00

TOTAL Project Cost :

\$2,324,524.98

Project Type (From ab Project Category (From Above)	Media File #/Name	Project Category Cost	ADA Portion of Project Cate ₁ % ADA Dollars Requested	
Recreation Facilities & Exercise & Play Equipment (Install)		86425	43212.5	50.00%
Routes & Surfaces Poured In Place Surfacing		202000	202000	100.00%
Recreation Facilities & Exercise & Play Equipment (Purchase)		253228.98	126614.49	50.00%
Routes & Surfaces Accessible Routes		213500	133437.5	62.50%
				#DIV/0!
Total Project Cost	755153.9	98		
Total ADA Portion of Project Cost	505264.4	19		
Total % of ADA Dollars Requested	66.91	%		