



**November 28, 2017**

Tracey Crawford  
Executive Director  
Northwest Special Recreation Association  
3000 Central Road, Suite 205  
Rolling Meadows, IL 60008

Re: Improvements proposed to be financed using special recreation levy

Dear Ms. Crawford:

The Palatine Park District hereby notifies and requests approval of the NWSRA Board of Directors for the proposed expenditure of funds from the District's special recreation levy, to pay the cost of the following improvement.

The Palatine Park District completed the contracted installation of an ADA path from the sidewalk along Wren Street to the shelter, playground and basketball court at Ashwood Park.

The total cost of the improvements to the park is \$42,763. This includes the replacement of a basketball court and additional concrete replacement to the original bid price. The Palatine Park District is requesting \$8,472.05. This cost is related to the 5' width of the path that is eligible for ADA funding and the additional concrete sidewalk replacement necessary to comply with ADA standards. The project has been completed. Pictures of the path are included along with engineering plans and the contract for construction. Anticipated benefits of the project to NWSRA are as follows:

The path will allow access to the shelter, playground and basketball court at Ashwood Park as identified in the 2010 audit of parks and facilities.

The District respectfully requests that you review this request and present it with your approving recommendation to the NWSRA Board of Directors. If you have any questions or require additional information, please do not hesitate to contact me.

Very truly yours,

A handwritten signature in black ink, appearing to be 'M. D. ...', written over a horizontal line.

**Executive Director  
Palatine Park District**

cc: Board of Park Commissioners

# AGREEMENT BETWEEN OWNER AND CONTRACTOR

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This Agreement between Owner and Contractor (the "Agreement") is made as of this 27<sup>th</sup> day of June, 2017,

**BETWEEN:**                The Palatine Park District ("Owner") with Administrative Offices located at  
  
   250 East Wood Street  
   Palatine, IL 60067

**AND:**                      Allstar Asphalt, Inc. ("Contractor"), with offices located at:  
  
   165 West Hintz Road, Wheeling, IL 60090

IN CONSIDERATION of the mutual promises between the Owner and Contractor (jointly referred to as "Parties") as stated herein and for other good and valuable consideration the receipt and sufficiency of which are hereby acknowledged, the Parties agree as follows:

## ARTICLE 1

### THE CONTRACT DOCUMENTS

The Contract Documents represent the entire and integrated agreement between the parties hereto and supersedes prior negotiations, representations or agreement, either written or oral.

## ARTICLE 2

### THE WORK

The Contractor shall perform all the ("Work") required by the Contract Documents for:

Asphalt Rehabilitation and ADA Path Installation  
Project Number: 17-14P

## ARTICLE 3

### TIME OF COMMENCEMENT AND SUBSTANTIAL COMPLETION

The Work to be performed under this Contract shall be commenced July, 2017 and, subject to authorized adjustments, substantial Completion shall be achieved not later than October, 2017.

## ARTICLE 4

### CONTRACT SUM

The Owner shall pay the Contractor in current funds for the performance of the Work, subject to additions and deductions by Change Order as provided in the Contract Documents, the Contract Sum of Contract Amount:.

4.2 The Contract Sum is determined as follows:

Item 1: Oak Park Basketball Court:	\$42,540.00
Item 2: Ashwood Basketball Court & Path	<b>\$39,311.00</b>
Item 3: Mallard Park ADA Pathway Installation	\$25,208.00

Item 4: Birchwood Basketball Court Renovation	\$49,738.00
Item 5: Birchwood Tennis Court & Fencing Renovation	\$81,832.80
Item 6: Community Park Path Improvements	\$55,653.00
Item 7: Dutch Schultz Park Accessibility Improvements:	\$22,308.80
Item 8: Hamilton Park Path Improvements	\$26,019.00
Item 9: Ost Field Bleacher Area Improvements	\$21,358.00
Item 10: Palatine Trail from Palatine Hills Drive to Hamilton Drive	\$35,981.00
<b>TOTAL BASE BID</b>	<b>\$399,849.60</b>
Alt. 1: Ost Field Bleacher Improvements	\$ 1,279.00
Alt. 2: Ost Field Bleacher Improvements	\$ 12,544.00
<b>TOTAL</b>	<b>\$413,672.60</b>

4.3 In the event that changes in the Work are authorized by the Owner, such changes shall be duly recorded on a written Change Order and signed by either the Executive Director or the Superintendent of Parks and Planning.

#### **ARTICLE 5**

##### **PROGRESS PAYMENTS**

Based upon Applications for Payment submitted to the Owner and Architect (if used) by the Contractor together with all submissions as required by the Contract Documents and if required by Owner, Certificates for Payment issued by the Owner or Architect, the Owner shall make progress payments on account of the Contract Sum to the Contractor as provided in the Contract Documents for the period ending the last day of the month as follows:

Not later than thirty (30) days following the end of the period covered by the Application for Payment ninety percent (90%) of the approved portion of the Contract Sum properly allocable to labor, materials and equipment incorporated in the Work and zero percent (0%) of the portion of the Contract Sum properly allocable to materials and equipment suitably stored at the site or at some other location agreed upon in writing, for the period covered by the Application for Payment, less the aggregate of previous payments made by the Owner; and upon substantial Completion of the entire Work, a sum sufficient to increase the total payments to ninety (90%) of the Contract Sum, less such amounts as the Owner shall determine for all incomplete Work and unsettled claims as provided in the Contract Documents.

#### **ARTICLE 6**

##### **FINAL PAYMENT**

The Owner shall pay final payment, constituting the entire unpaid balance of the Contract Sum, to the Contractor when the Work has been completed, the Contract fully performed, and if required by Owner a final Certificate for Payment has been issued by the Architect (if used).

#### **ARTICLE 7**

##### **MISCELLANEOUS PROVISIONS**

7.1 Terms used in this Agreement, which are defined in the Conditions of the Contract, shall have the meanings designated in those Conditions.

7.2 The Contract Documents, which constitute the entire agreement between the Owner and the Contractor, are enumerated as follows:

# Palatine Park District Path and Court Improvements at Ashwood Park

710 Wren Avenue  
Palatine, Illinois  
PROJECT NO. F0285.R0528



LOCATION MAP NOT TO SCALE



LEGEND	
EXISTING	PROPOSED
FLUX	
EGGMENT	
PROPERTY LINE	
COMBINED SEWER	
SANITARY SEWER	
STORM SEWER	
WATERMAIN	
FLAMED END SECTION	
CATCHBASIN	
INLET	
MANHOLE	
VALVE VAULT	
HYDRANT	
WATER SERVICE BOX	
GAS VALVE	
LIGHT FIXTURE	
POWER POLE	
ELEVATION	1637.00
GRADE CONTOUR	1637.00
FLOW ARROW	
HIGH POINT	
TREE TO REMAIN	
TREE TO BE REMOVED	
BUSHES	
OPEN	
MAILBOX	

**FIELD VERIFY ALL UTILITIES**  
THE LOCATION OF ALL UTILITIES INDICATED ON THE PLANS IS THE RESPONSIBILITY OF THE CONTRACTOR. THE CONTRACTOR SHALL VERIFY THE LOCATION AND DEPTH OF ALL UTILITIES AND SHALL BE RESPONSIBLE FOR THE LOCATION AND DEPTH OF ALL UTILITIES. THE CONTRACTOR SHALL BE RESPONSIBLE FOR THE LOCATION AND DEPTH OF ALL UTILITIES. THE CONTRACTOR SHALL BE RESPONSIBLE FOR THE LOCATION AND DEPTH OF ALL UTILITIES.



OPERATES 24 HOURS A DAY AND 365 DAYS A YEAR  
TOWNSHIP OF PALATINE  
MUNICIPALITY OF PALATINE, ILLINOIS

INDEX OF SHEETS	
NO.	DESCRIPTION
1	COVER SHEET
2	EXISTING SITE CONDITIONS & DEMOLITION
3	PAVING AND GRADING PLAN
4	PROFILE, NOTES AND DETAILS

**CONTROL**  
Horizontal Control:  
North State Plane Coordinate, East Zone  
NAD 1983  
Vertical Control:  
U.S.G.S. N.A.V.D. 1988  
Derived from Trible VRS Network, 2009 Adjustment

**OWNER CONTACT**  
Ed Tyoczak  
Superintendent of Parks  
Palatine Park District  
100 W. Wren Avenue  
Palatine, IL 60067  
(847) 705-5130

**INSPECTIONS REQUIRED**  
THE CONTRACTOR SHALL SCHEDULE ANY INSPECTIONS REQUIRED THROUGHOUT CONSTRUCTION OF THE PROPOSED IMPROVEMENTS.

**REFERENCED STANDARDS**  
THE FOLLOWING CODES AND SPECIFICATIONS SHALL BE REFERENCED IN THESE PLANS. THESE CODES AND SPECIFICATIONS SHALL BE CONSIDERED MINIMAL CONSTRUCTION STANDARDS. IN THE EVENT OF CONFLICT BETWEEN CODES, PLANS AND SPECIFICATIONS, THE STRICTEST CONDITION SHALL APPLY. IF NO SPECIFIC EDITION IS INDICATED, THE LATEST EDITION SHALL APPLY.  
2018 DOT STANDARD SPECIFICATIONS FOR ROAD AND BRIDGE CONSTRUCTION  
2018 DOT STANDARD SPECIFICATIONS FOR ROAD AND BRIDGE CONSTRUCTION  
2014 MANUAL ON LAMPWORK TRAFFIC CONTROL DEVICES  
2014 MANUAL ON LAMPWORK TRAFFIC CONTROL DEVICES  
2010 ACCESSIBILITY CODE  
ILLINOIS ACCESSIBILITY CODE

**DUTY TO INDEMNIFY**  
THE CONTRACTOR SHALL DEFEND, INDEMNIFY, KEEP AND SAVE HARMLESS THE MUNICIPALITY, OTHER CONTRACTORS, DESIGN PROFESSIONALS, ENGINEERS, ARCHITECTS, SURVEYORS, AND EMPLOYEES, IN BOTH INDIVIDUAL AND OFFICIAL CAPACITIES, AGAINST ALL SUITS, CLAIMS, DAMAGES, LOSSES AND EXPENSES, INCLUDING ATTORNEY'S FEES, CAUSED BY GROWING OUT OF OR INCIDENTAL TO THE PERFORMANCE OF THE WORK UNDER THE CONTRACT BY THE CONTRACTOR OR SUBCONTRACTORS, INCLUDING THE CONTRACTOR'S NEGLIGENCE, WHETHER OR NOT SUCH DAMAGE OR INJURY IS CAUSED BY THE NEGLIGENCE OF ANY SUCH PARTY (INCLUDING DESIGNER) OR LOSS OF DAMAGE OF CLAIMS, INDEMNIFIED OR CLAIMS THEREFORE. THE CONTRACTOR SHALL GIVE PROMPT NOTICE TO THE OWNER.

I HEREBY CERTIFY THAT THIS PLAN WAS PREPARED BY ME OR UNDER MY CLOSE PERSONAL SUPERVISION AND THAT I AM A DULY LICENSED PROFESSIONAL ENGINEER UNDER THE LAWS OF THE STATE OF ILLINOIS.  
DATED: \_\_\_\_\_  
BY LICENSE RENEWAL DATE: NOVEMBER 30, 2017  
UNLESS SPECIFIED OTHERWISE, THIS PLAN WAS PREPARED BY THE SIGNER UNLESS SPECIFIED BELOW.

PROJECT INFORMATION  
Palatine Park District - Path & Court Improvements  
Ashwood Park, Palatine, IL  
SHEET NO. 1 OF 4  
FILE NAME: C:\Users\j...  
DATE: 11/29/2017

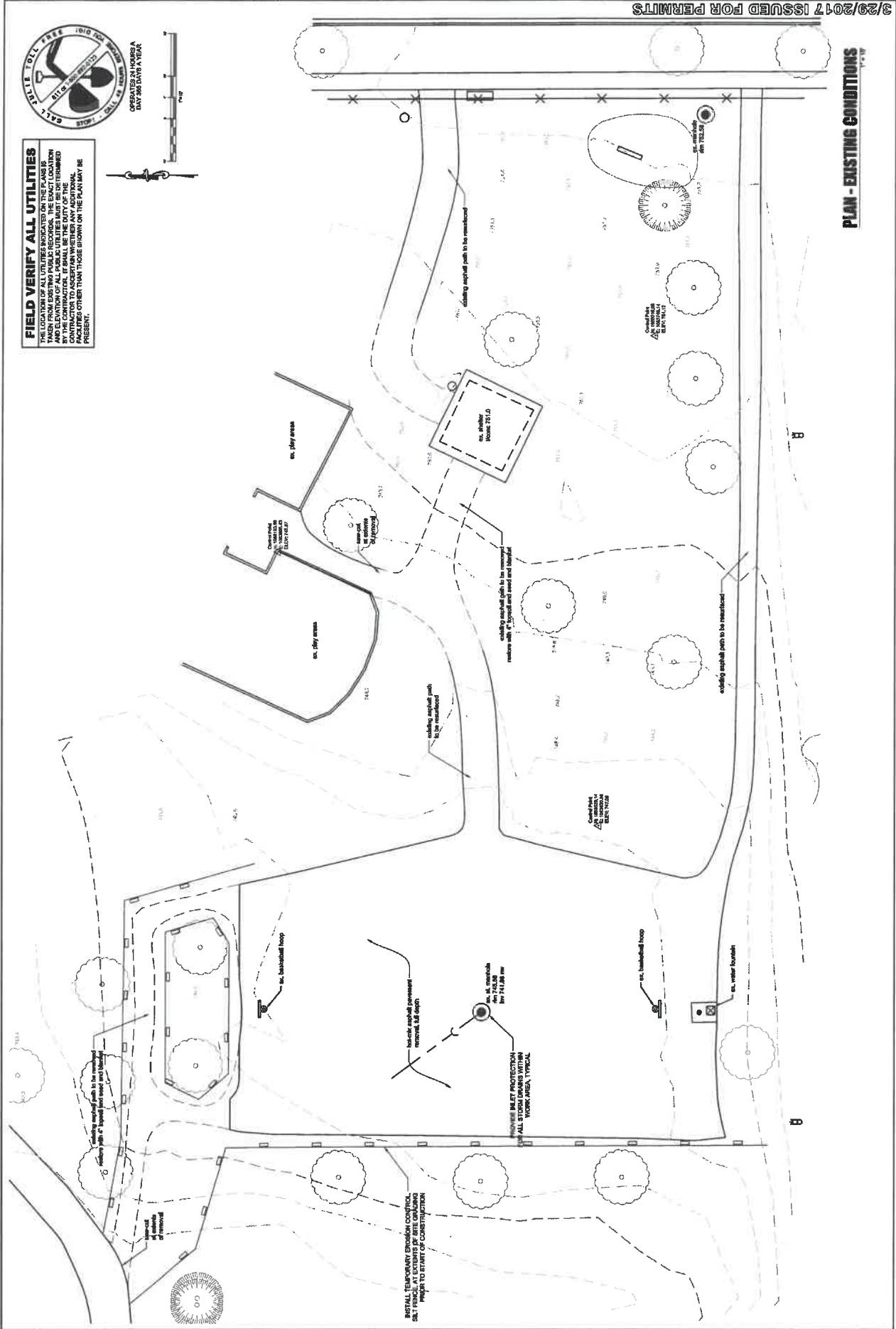
3/29/2017 ISSUED FOR PERMITS

NO.	REVISION	DATE

DATE: 3/29/2017  
 APPROVED BY: MLC  
 DRAWN BY: MLC

Amert  
 DESIGN  
 10000  
 Ashwood Park, Palmdale, IL

EXISTING CONDITIONS  
 PLAN - EXISTING CONDITIONS  
 SHEET NO. 2  
 OF 4  
 FILE NAME: 17030002



**FIELD VERIFY ALL UTILITIES**  
 THE LOCATION OF ALL UTILITIES INDICATED ON THE PLANS IS BASED ON RECORD DRAWINGS AND FIELD SURVEY. THE LOCATION AND ELEVATION OF ALL PUBLIC UTILITIES MUST BE DETERMINED BY THE FIELD ENGINEER PRIOR TO THE START OF CONSTRUCTION. THE CONTRACTOR SHALL BE RESPONSIBLE FOR OBTAINING ALL NECESSARY PERMITS AND FACILITIES OTHER THAN THOSE SHOWN ON THE PLAN MAY BE PRESENT.



REPLACE EXISTING 18\"/>

INSTALL TEMPORARY EROSION CONTROL  
 SEE PLAN FOR LOCATION AND  
 PRIOR TO START OF CONSTRUCTION

PROVIDE INLET PROTECTION  
 ALL STORMDRAINS WITHIN  
 IMPROVEMENT AREA

REPLACE EXISTING 18\"/>

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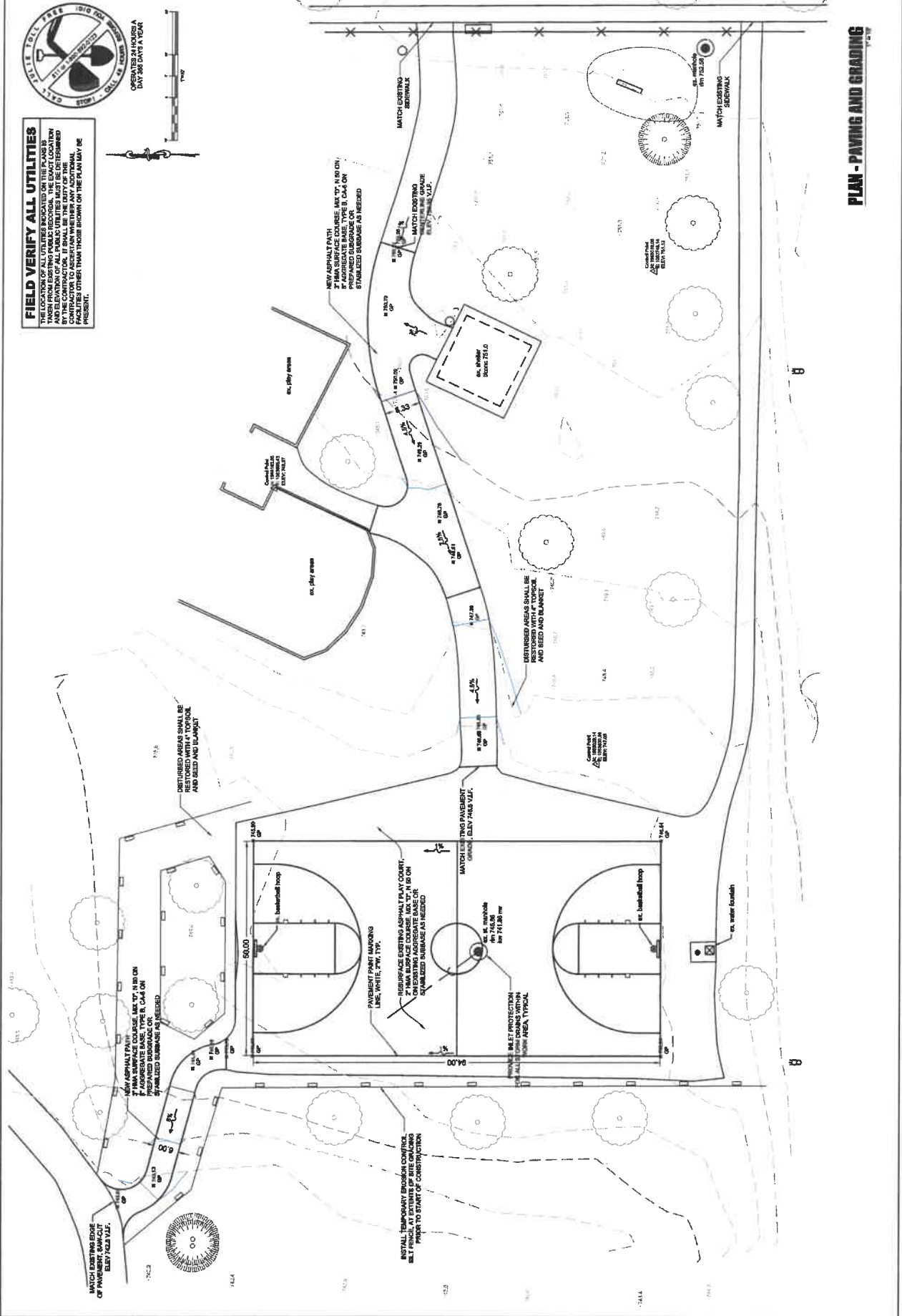
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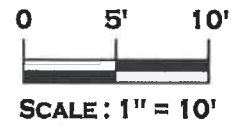
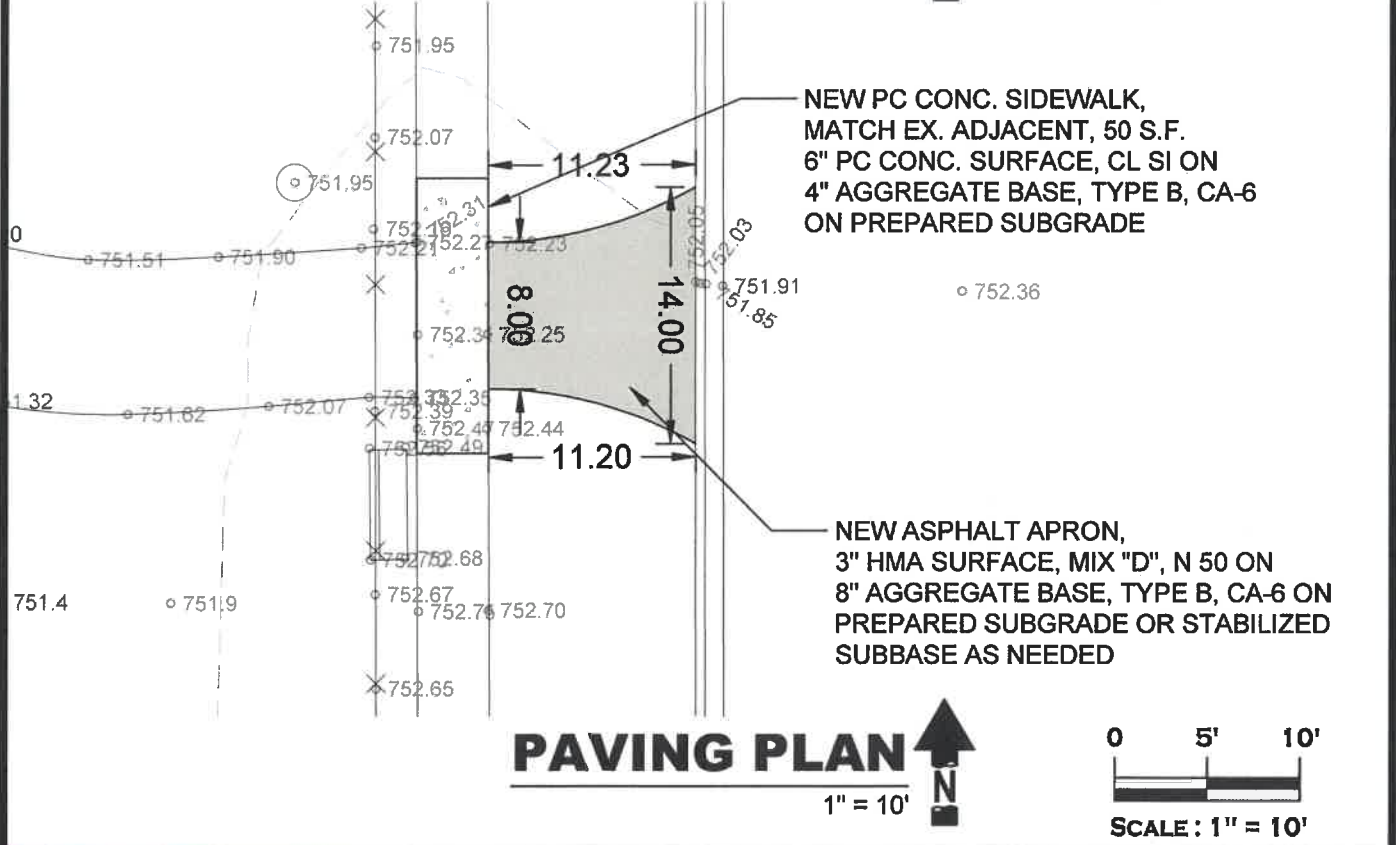
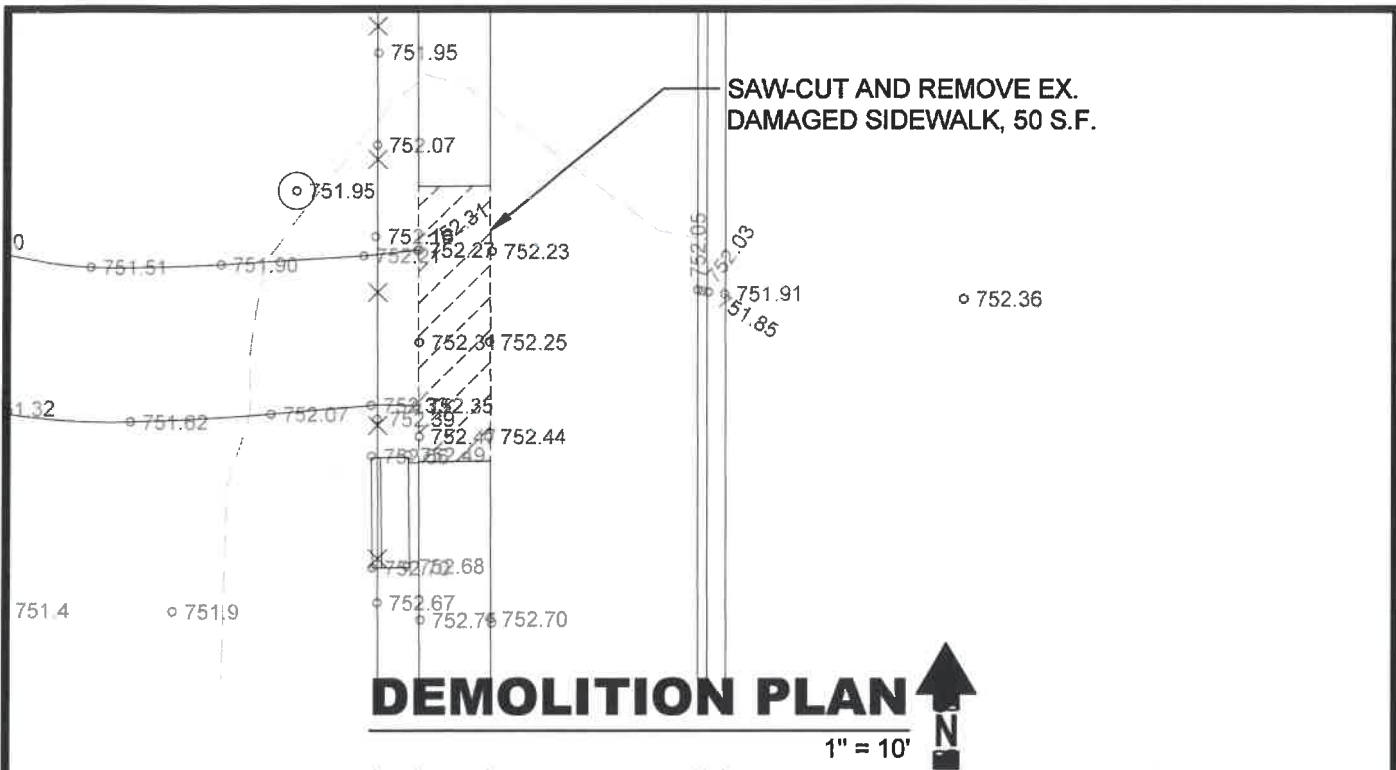
3/29/2017 ISSUED FOR PERMITS

**PLAN - PAVING AND GRADING**

**FIELD VERIFY ALL UTILITIES**  
 THE LOCATION OF ALL UTILITIES INDICATED ON THIS PLAN IS BASED ON RECORD DRAWINGS AND FIELD SURVEY DATA. THE LOCATION AND ELEVATION OF ALL PUBLIC UTILITIES MUST BE DETERMINED BY THE CONTRACTOR PRIOR TO CONSTRUCTION. THE CONTRACTOR SHALL BE RESPONSIBLE FOR VERIFYING THE LOCATION AND ELEVATION OF ALL UTILITIES. THE CONTRACTOR SHALL BE RESPONSIBLE FOR OBTAINING ALL NECESSARY PERMITS FROM THE APPROPRIATE AGENCIES. THE CONTRACTOR SHALL BE RESPONSIBLE FOR PROTECTING ALL UTILITIES FROM DAMAGE DURING CONSTRUCTION. THE CONTRACTOR SHALL BE RESPONSIBLE FOR RESTORING ALL UTILITIES TO ORIGINAL OR BETTER CONDITION AFTER CONSTRUCTION IS COMPLETE.







**NORMAN J. TOBERMAN & ASSOCIATES, LLC**

**SIDEWALK REPLACEMENT AND ASPHALT APRON**

Sheet No. **SK-1**

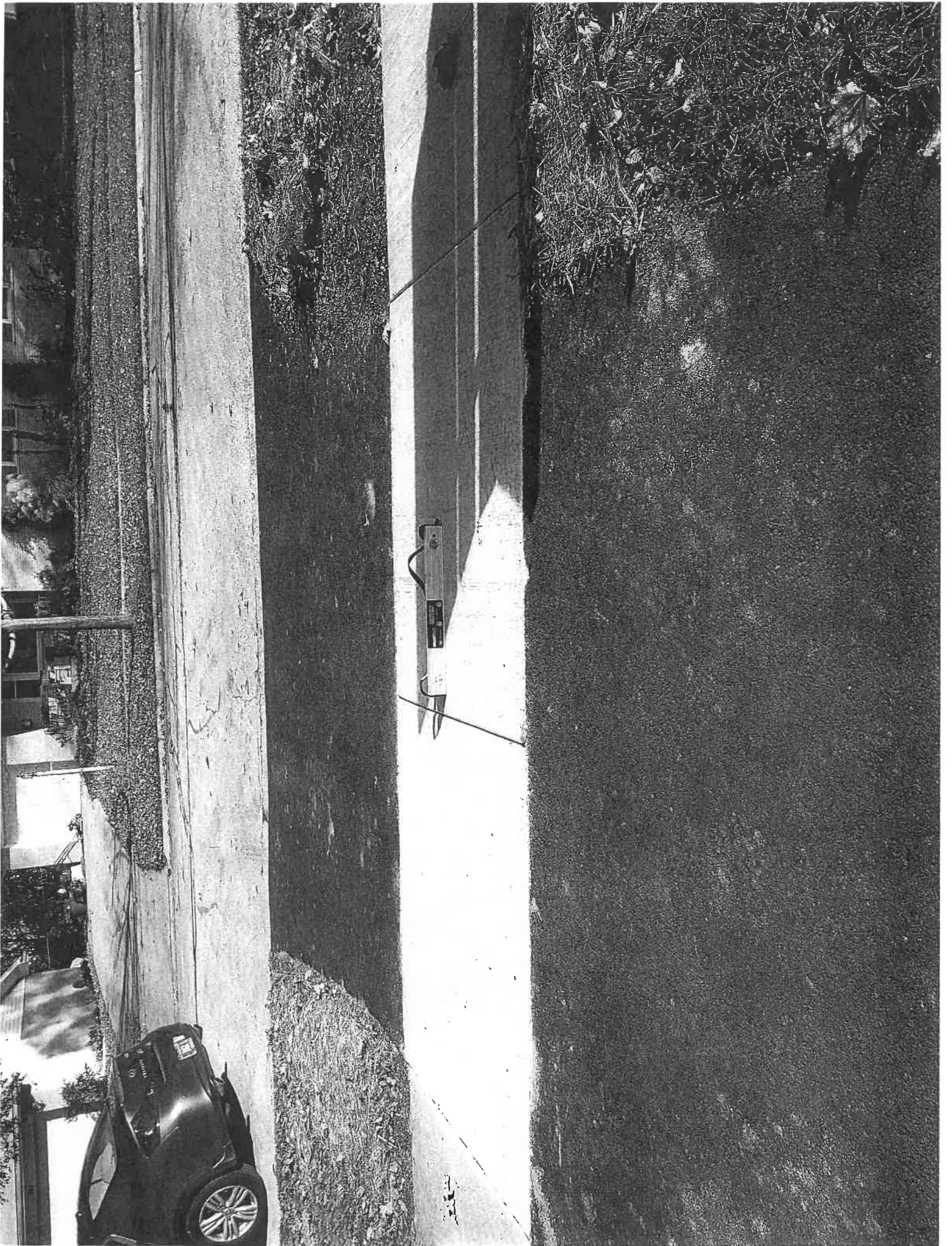
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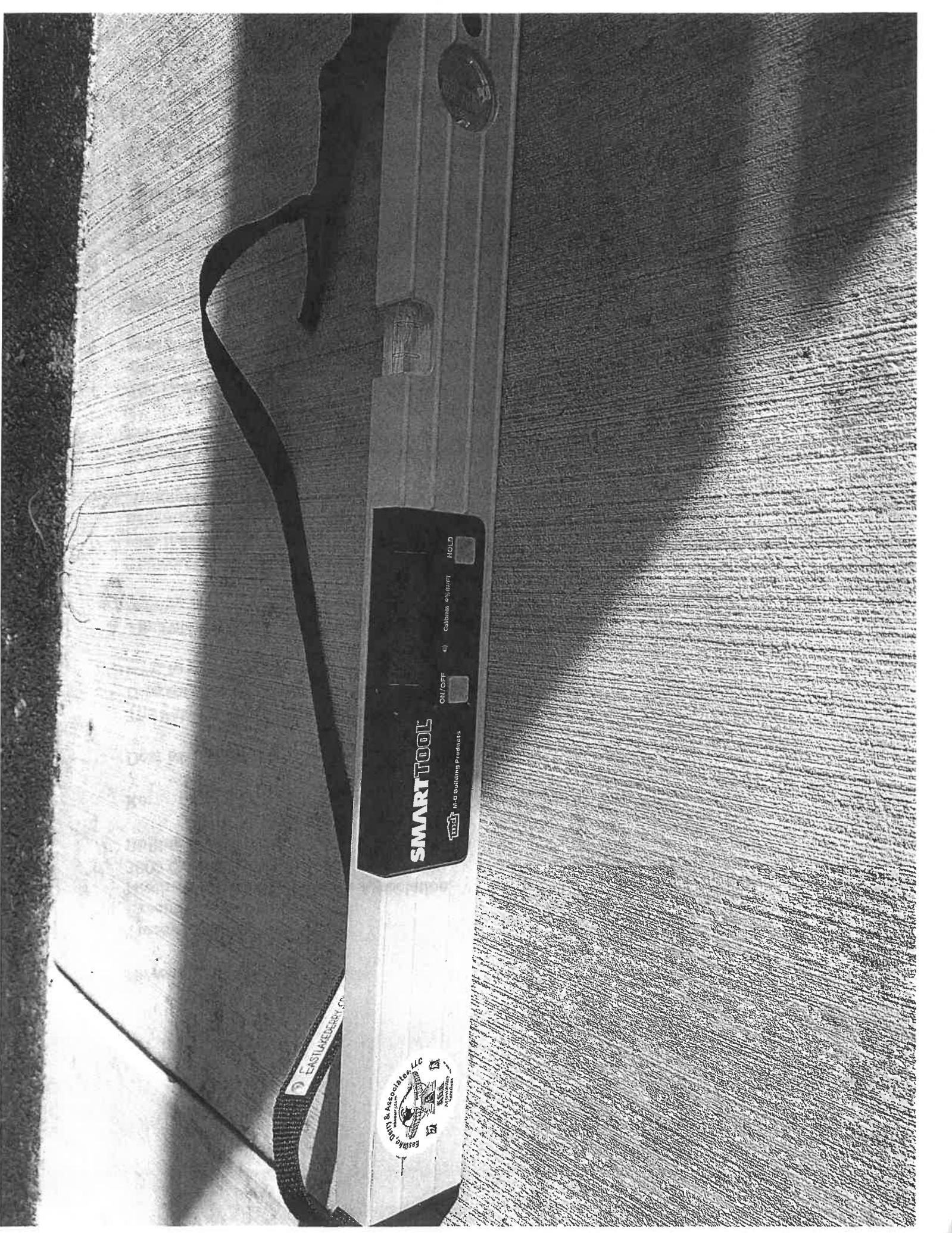
**CIVIL ENGINEERS & SURVEYORS**  
 116 S. Wilke Road, Suite 301  
 Arlington Heights, IL 60005  
 P. (847) 439-8226 F. (847) 749-4104  
 mail@toberman.us  
 IL Design Firm: 184.008910 Expires: 4-30-2019

**PALATINE PARK DISTRICT 2017 IMPROVEMENTS**  
**ASHWOOD PARK SURFACE IMPROVEMENTS**  
**710 WREN AVENUE, PALATINE, ILLINOIS**

DATE: 9/26/2017  
 DRAWN BY: MLC  
 DESIGN BY: MLC  
 APPROVED BY: CJT







**SMARTTOOL™**

**TITUS** P.C. Quilting Products

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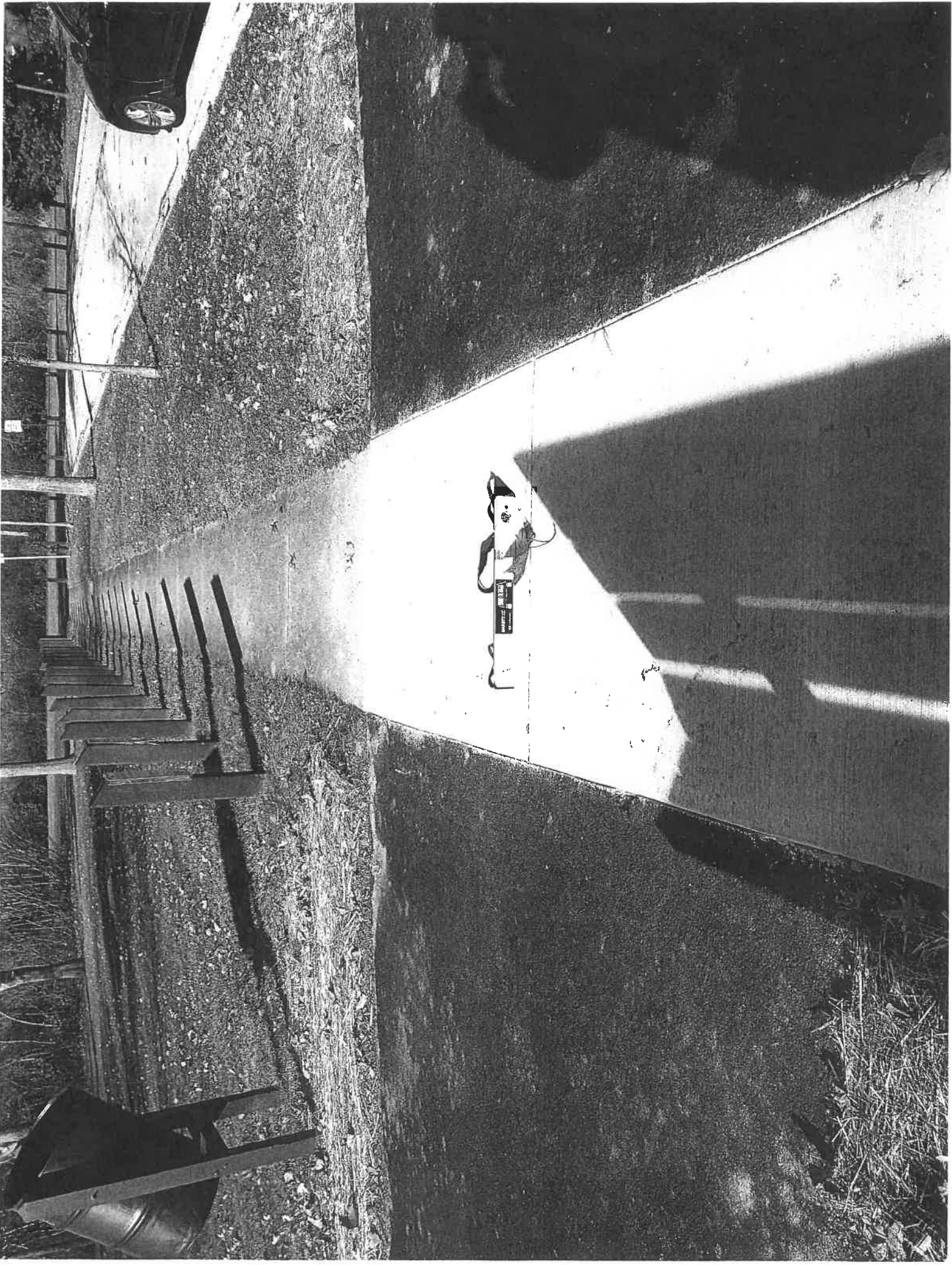
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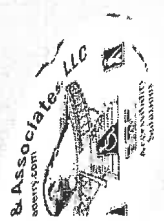
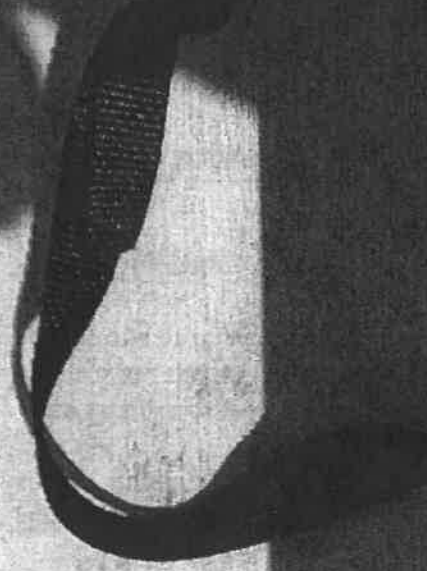
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EASTLAKE MERRY CO.





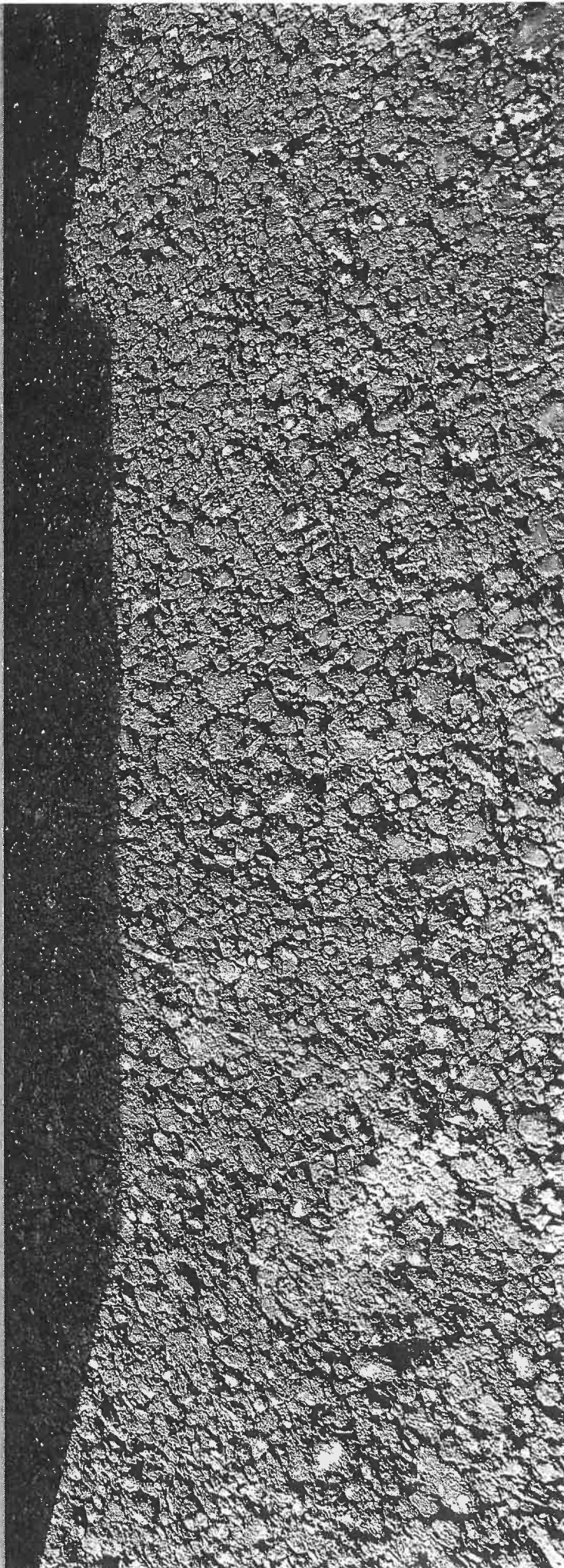
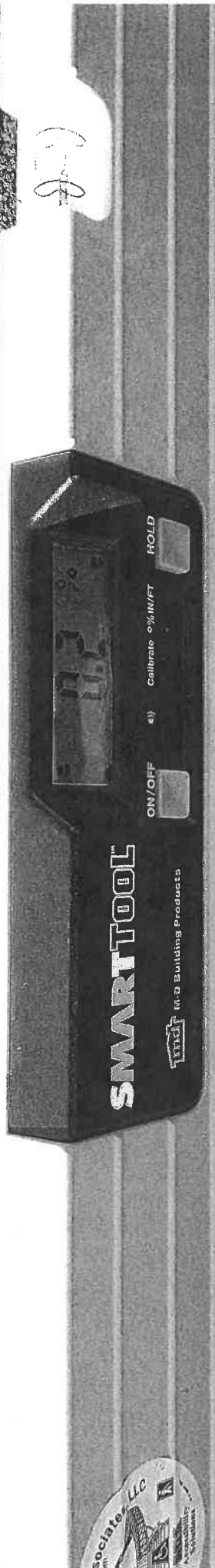








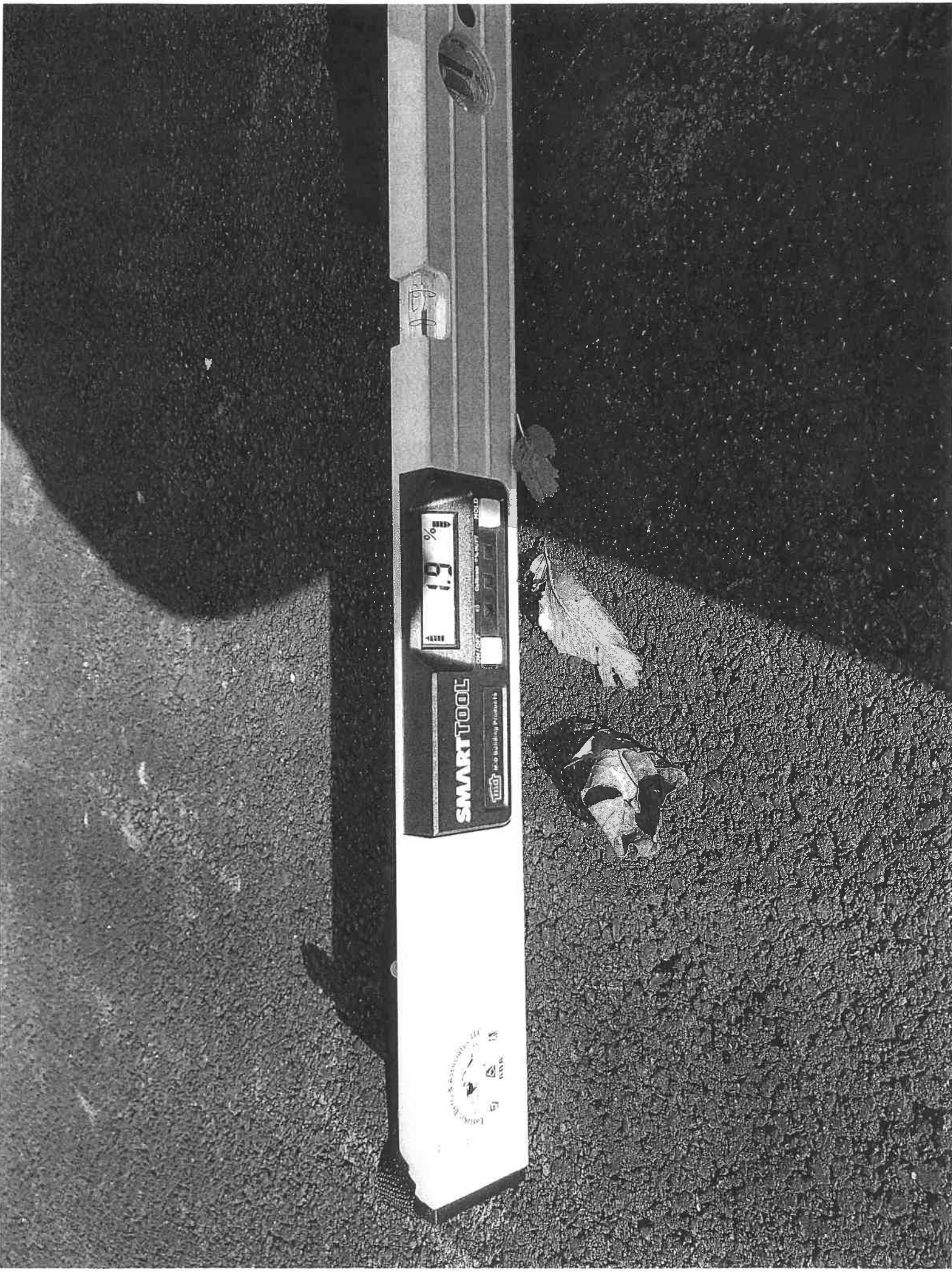




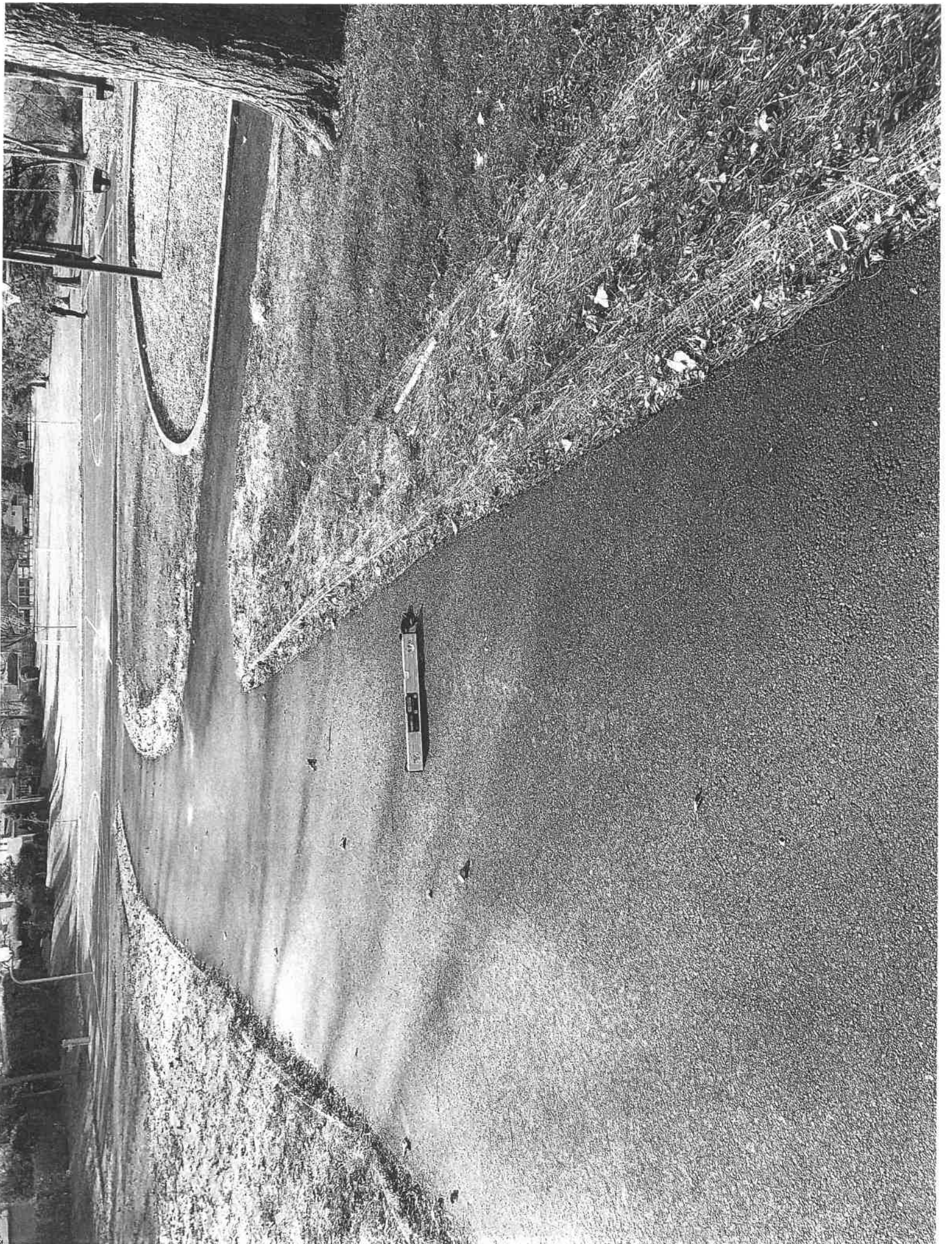
















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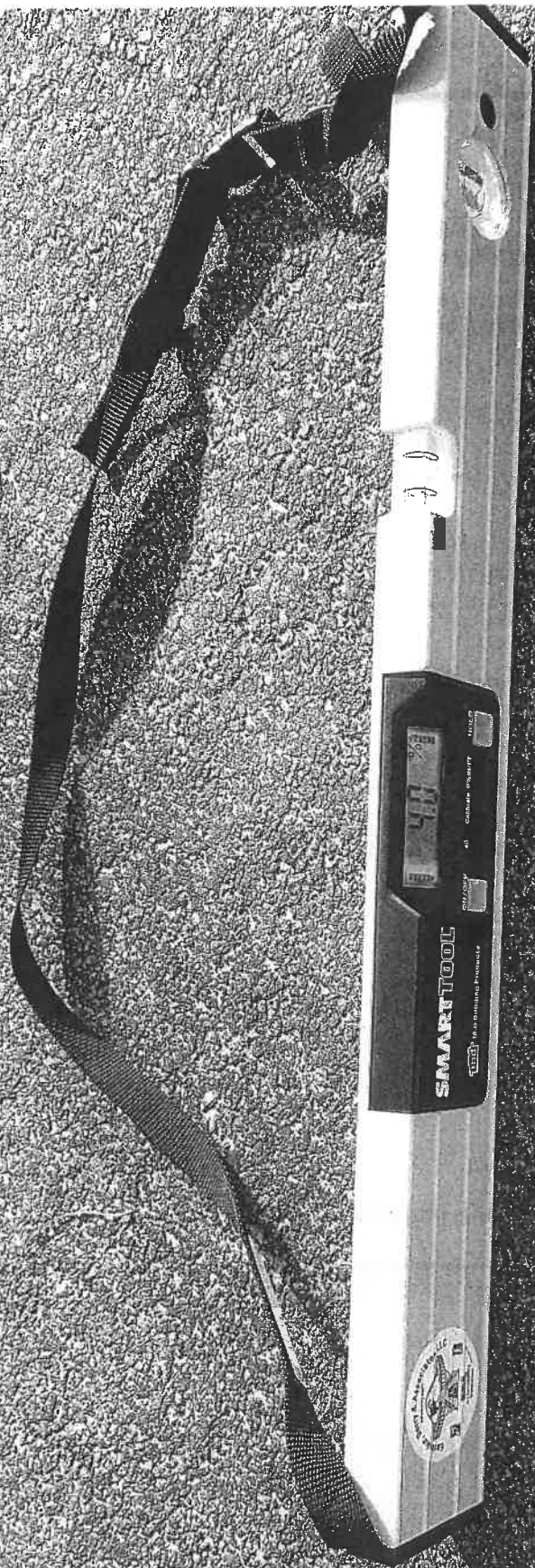


EASTLAKE & ASSOCIATES, LLC

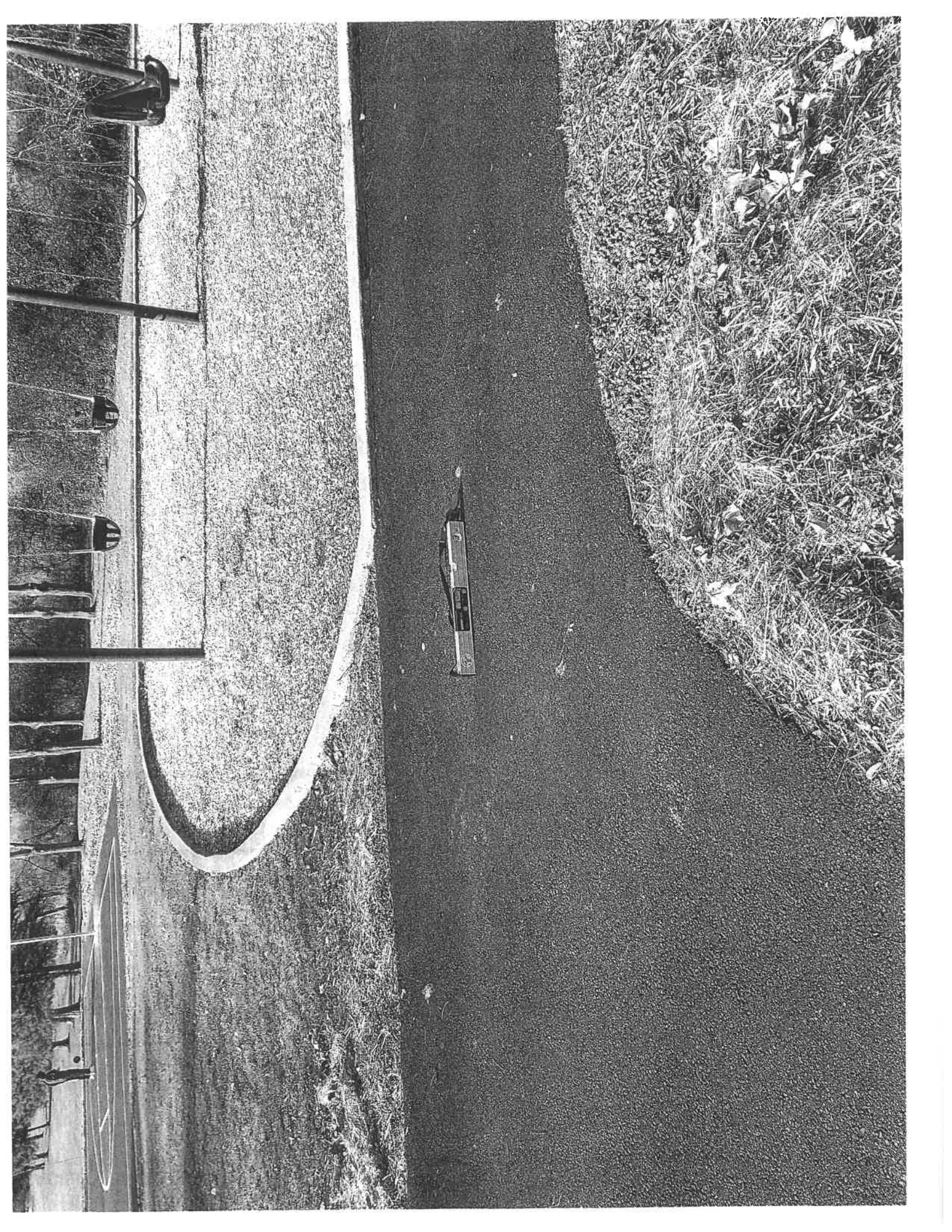




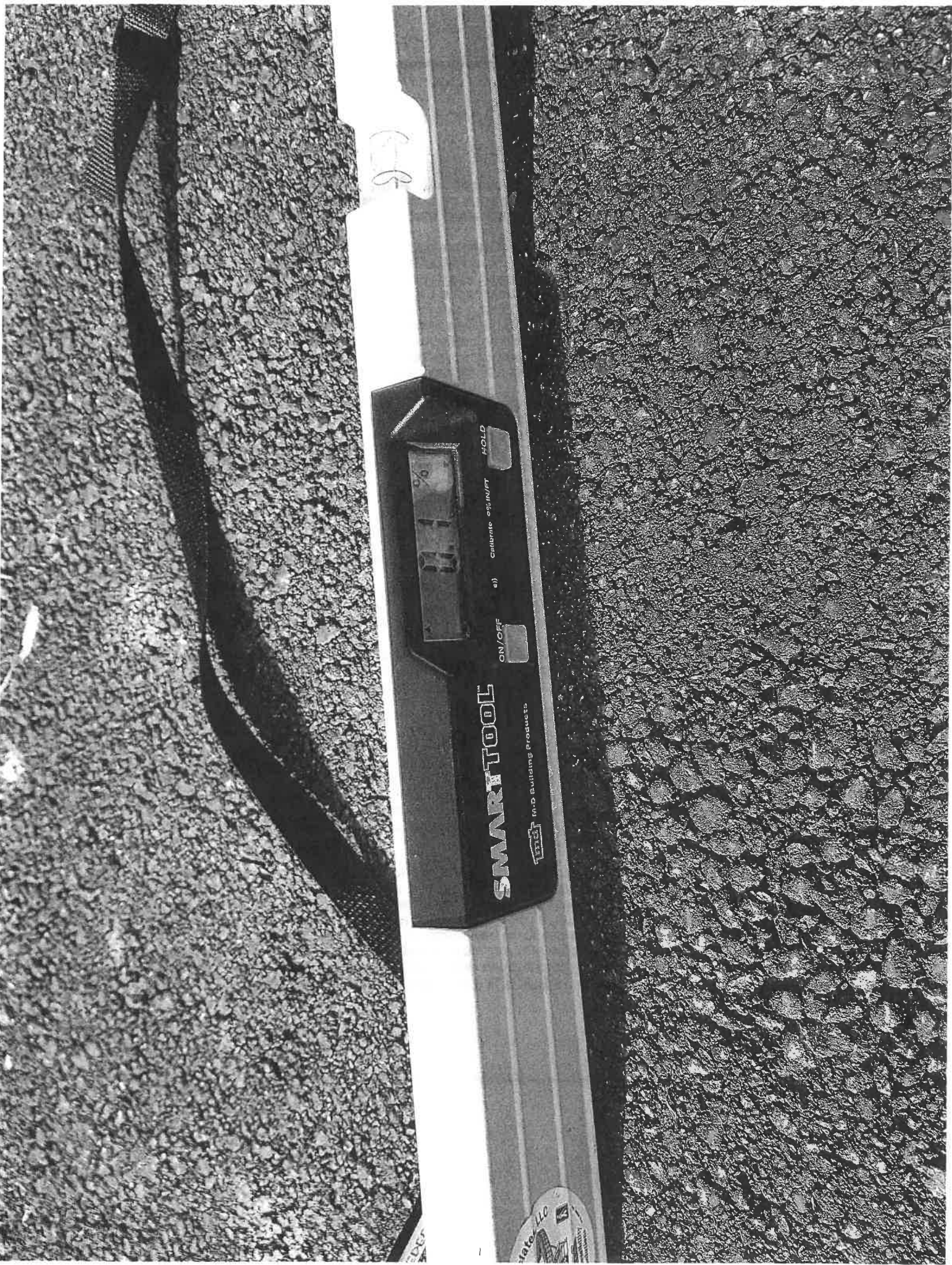












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M-D Building Products

1810, LLC

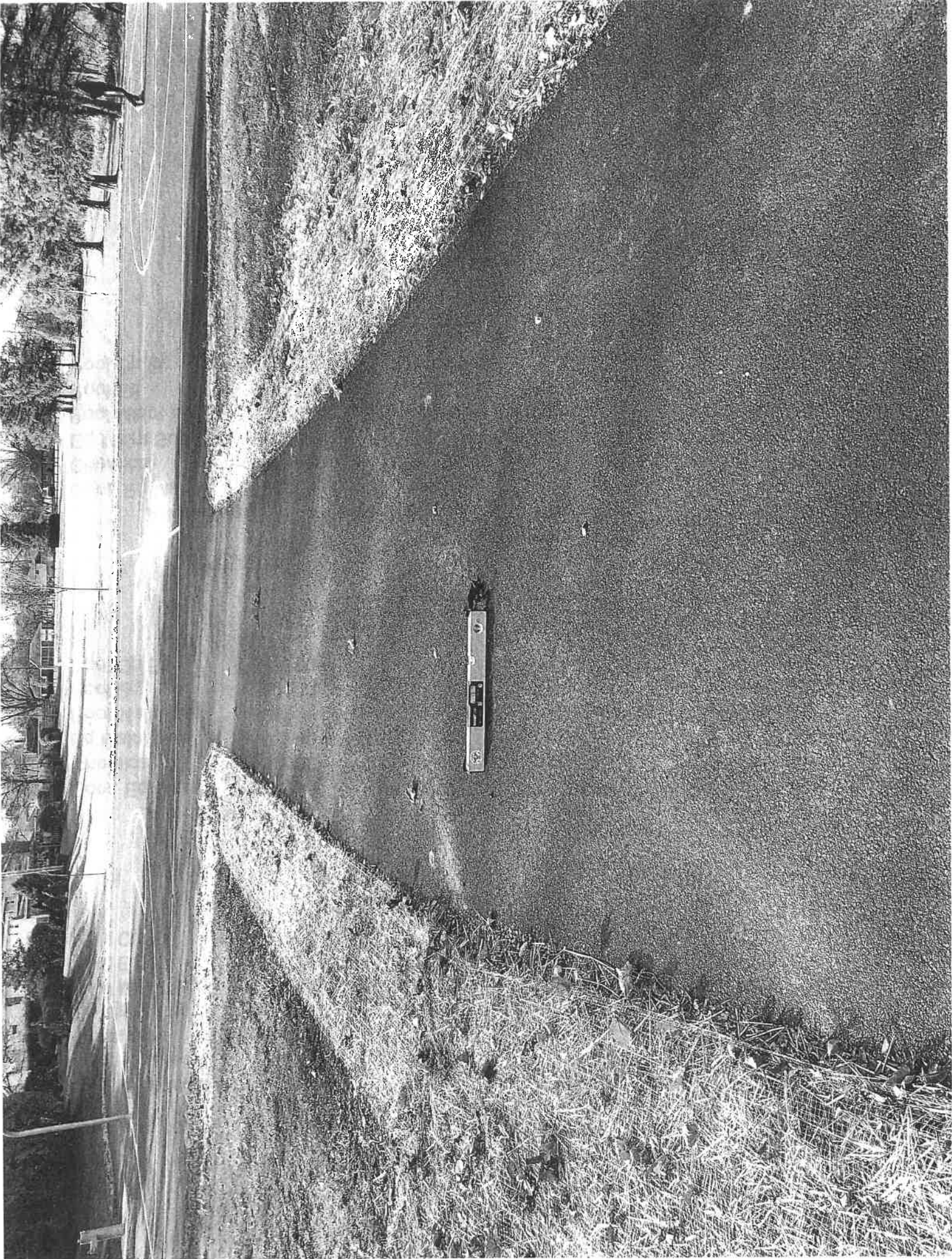


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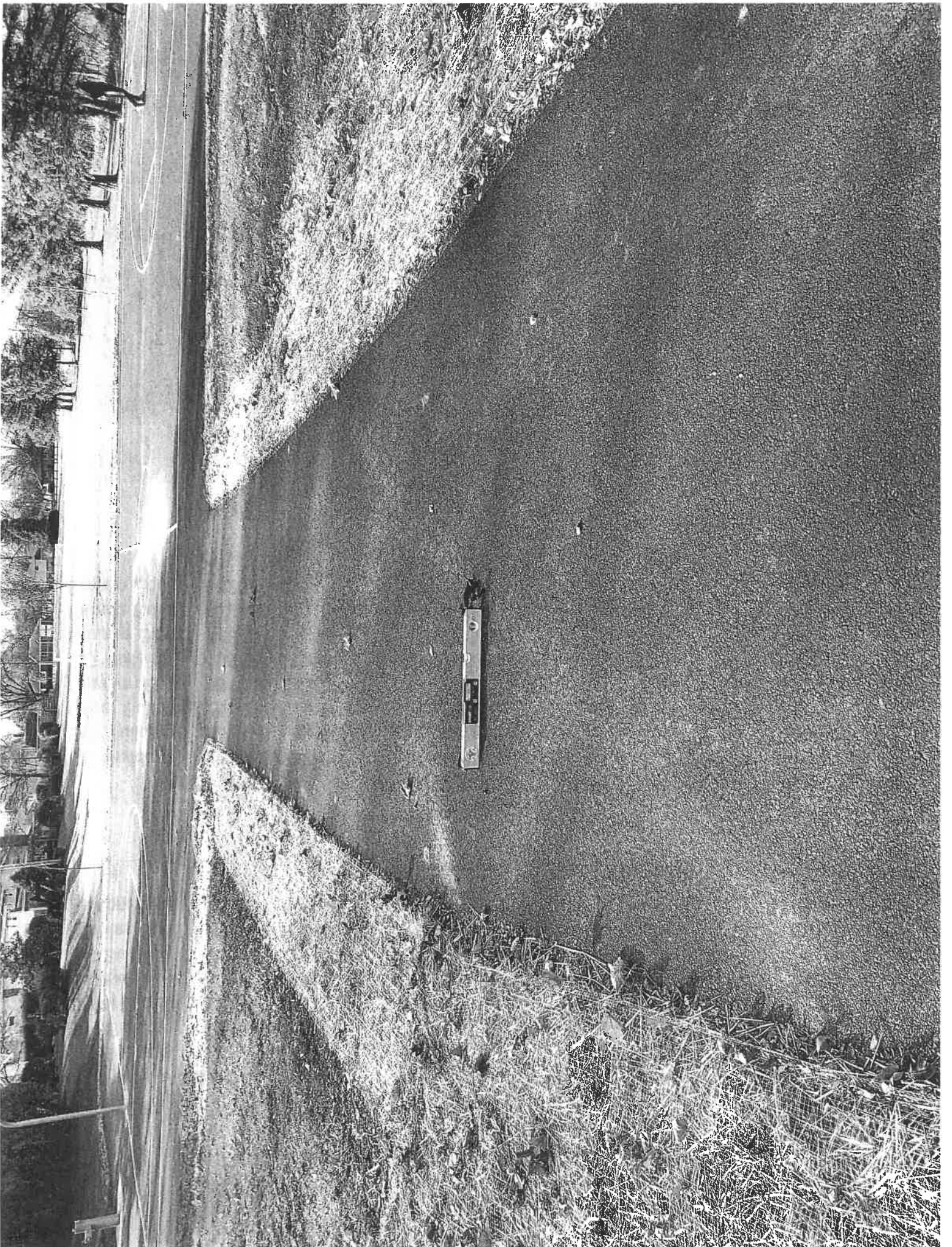
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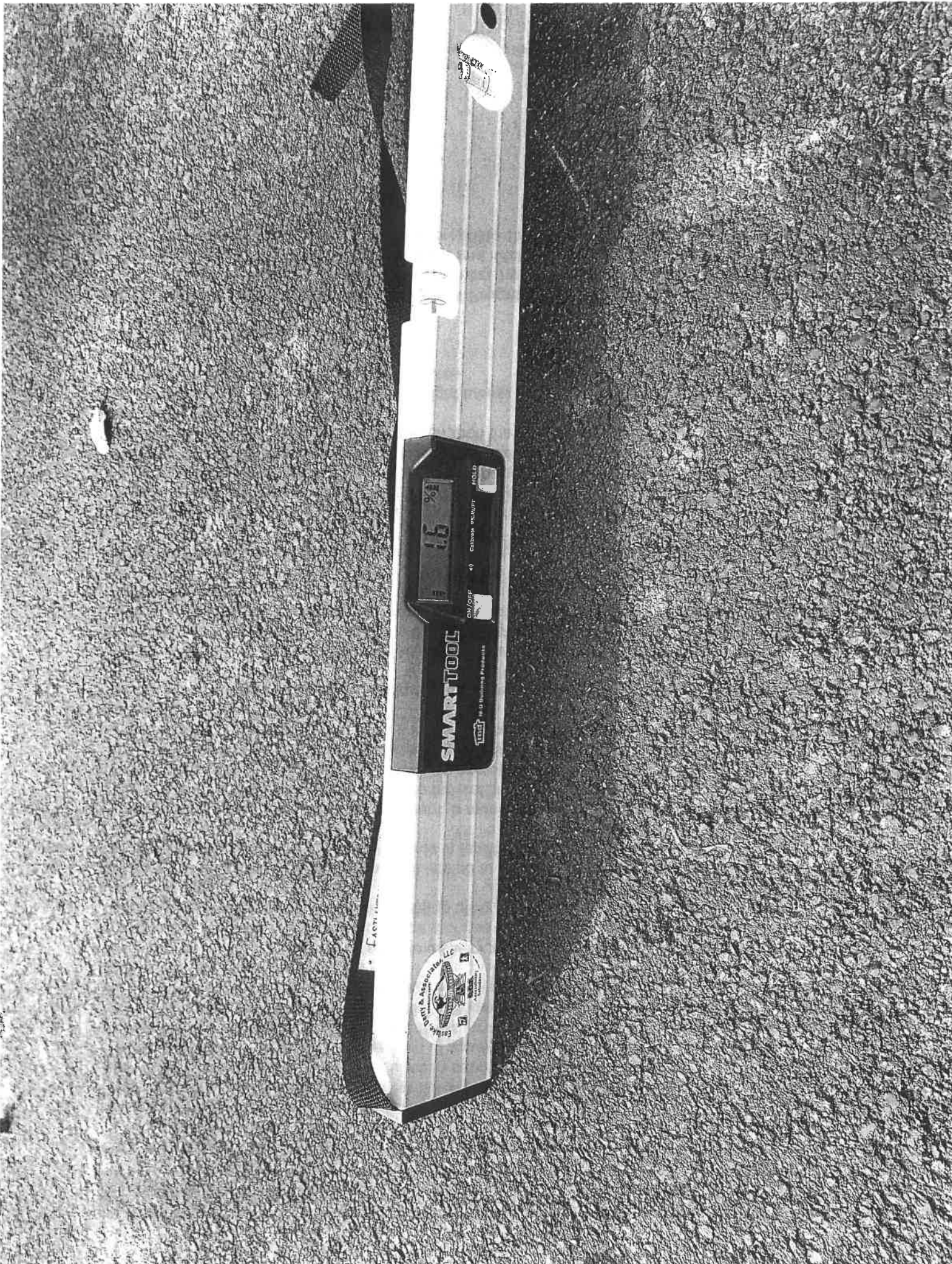












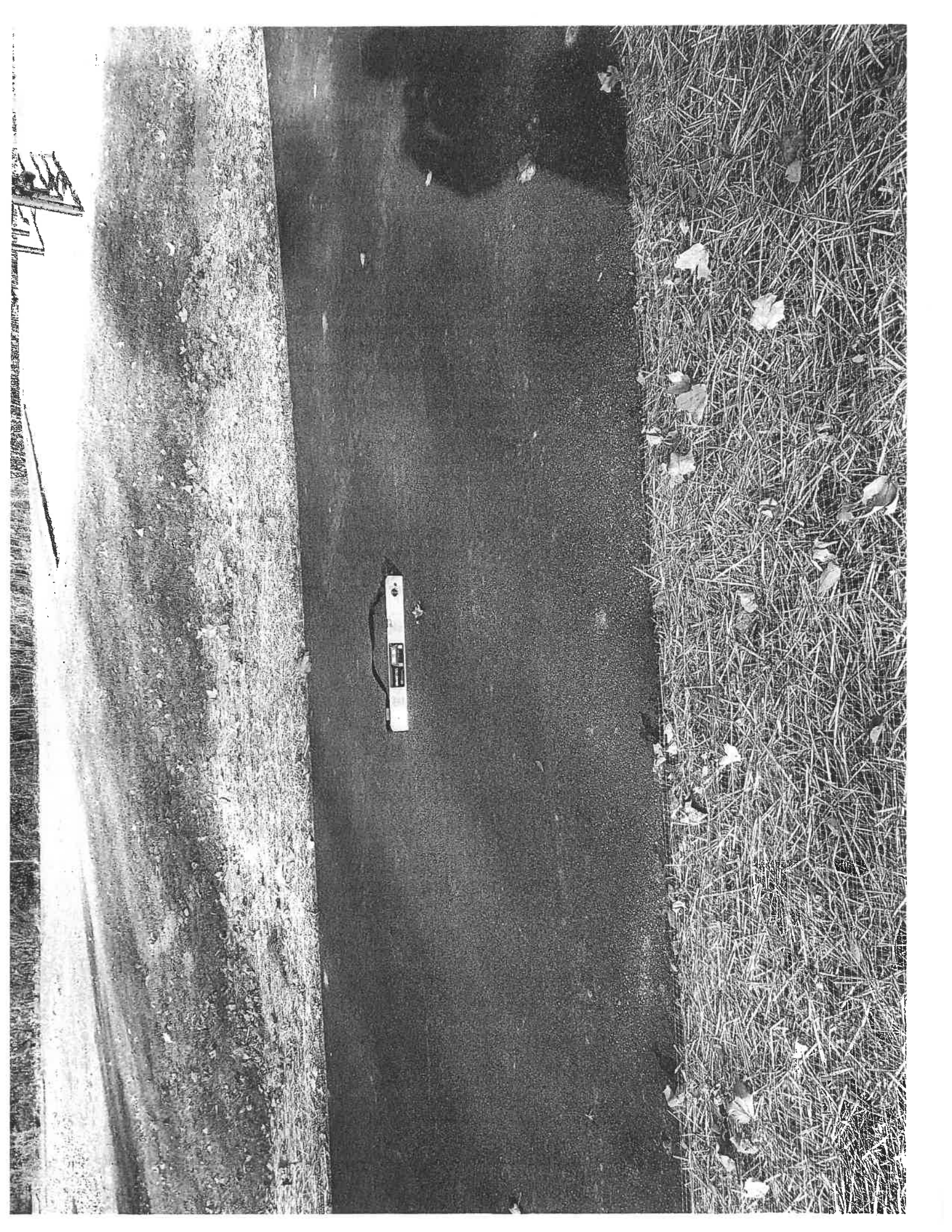
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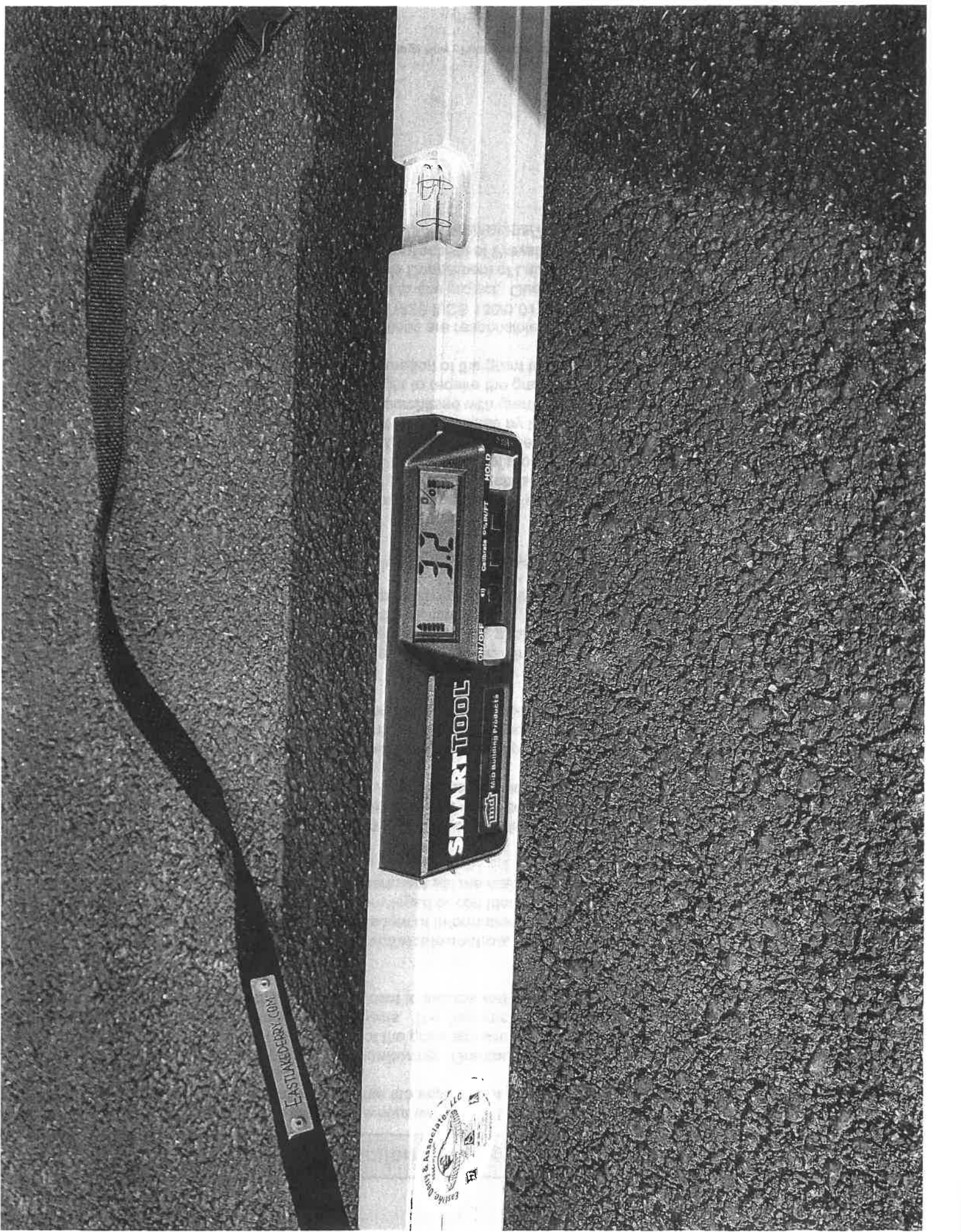
ESTABLISHED & ASSOCIATES, LLC  
INDEPENDENT BUILDING PRODUCTS

ESTABLISHED & ASSOCIATES, LLC  
INDEPENDENT BUILDING PRODUCTS









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HOLD

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LIND  
into building products

EASTWEDDERRY.COM

