

Title **Apple Orchard Community Park**

12/30/2024

by Kelly OBrien in Member District ADA Project Request

id. 49192881

696 W Stearns Road Bartlett, Illinois 60103 **United States** 630-540-4800

kobrien@bartlettparks.org

Original Submission

12/30/2024

Score	n/a
Name	Kelly O'Brien
Job Title	Superintendent of Parks & Planning
E-mail Address	kobrien@bartlettparks.org
Phone Number	630-540-4805
Park District	Bartlett
Project Location	Apple Orchard Community Park
Project Status	Alteration
Project Type	Recreation Facilities and Amenities Routes and Surfaces
	Benches- Picnic Tables Playgrounds- Play Components
Routes and Surfaces- select a Project Category below:	Accessible Routes- Means of Egress Play Surfaces Walking Surfaces
Benefits of the Project	Apple Orchard Community Park received an OSLAD Grant to complete renovations. The project components included accessible path renovation, playground replacement with ADA swings, Skate Park renovation, Nature Activity Walk, camping ADA improvements and the softball field #2 accessibility improvements.

Items that will become ADA Compliant	Accessible play equipment, ADA swing, asphalt trail improvements, picnic tables, accessibility to softball field, ADA improvements to camping area				
The project is designed or constructed, or applies human resources, to comply with:	The 2010 Standards for Accessible Design Agency's ADA Transition Plan				
Upload Project Relate	ed Files, Photos, Videos or Audio				
	Upland_Design_Proposal.pdf				
Concept_Plan_1.pdf					
Plans.pdf					
Playground_EquipmentPurchase_Oreder.pdf					
Sandplay_Equipmer	Sandplay_EquipmentPurchase_Order.pdf				
playground.jpg					
Cost_Summary.xlsx					
Total_CostReimbursement.pdf					
Budget Table for ADA	Related Expenses				
Budget Table viev					

Budget Table.xlsx

ADA Dollars Requested	174861.24
Notes related to requested amount	Apple Orchard Community Park received an OSLAD grant to complete renovations throughout the park. Several components were made ADA compliant which also coincides with our ADA Transition Plan.

Camping Accessibility Improvements





Prairie Nature Learning Pod

- Educational Sign
- Engineered Wood Fiber Safety Surfacing
- Bench Seating

Skate Park Renovations

- New Skate Equipment
- Repair Stair Nosings - Remove Turnstyle Gate
- Selective Replacement of Concrete Paving





- Softball Field #2 Improvements
 ADA Accessible Connection to Path
- Concrete Bleacher Pad and Accessible Connection
- Dugout Paving and Accessible Connection







- Educational Sign
- Play Climber
- Engineered Wood Fiber Safety SurfacingBench Seating



Wetland Nature Learning Pod

- Educational Sign
- Engineered Wood Fiber Safety SurfacingBench Seating

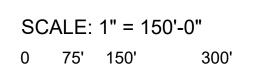
- Playground Renovation
 New Playground Equipment
- Engineered Wood Fiber Safety Surfacing
- 2 New Benches
- Remove Sand Play Area
- Remove Sloped Path to Existing Playground
- New Concrete Path for Accessible
- Connection

















LOCATION MAP



1250 W. 18th St, Chicago, Illinois 60608 24042 Lockport St, Plainfield, Illinois 60544 815-254-0091 www.uplandDesign.com

IL License 060-007797

SURVEYOR: JLH Land Surveying Inc. 910 Geneva St. Shorewood, Illinois 60404 Phone: 815-729-4000

CIVIL ENGINEER: Engineering Resource Associates 3S701 West Ave. Suite 150 Warrenville, IL 60555



Apple Orchard Community Park Renovations

692 W Stearns Road, Bartlett, Illinois 60103 **Bartlett Park District**



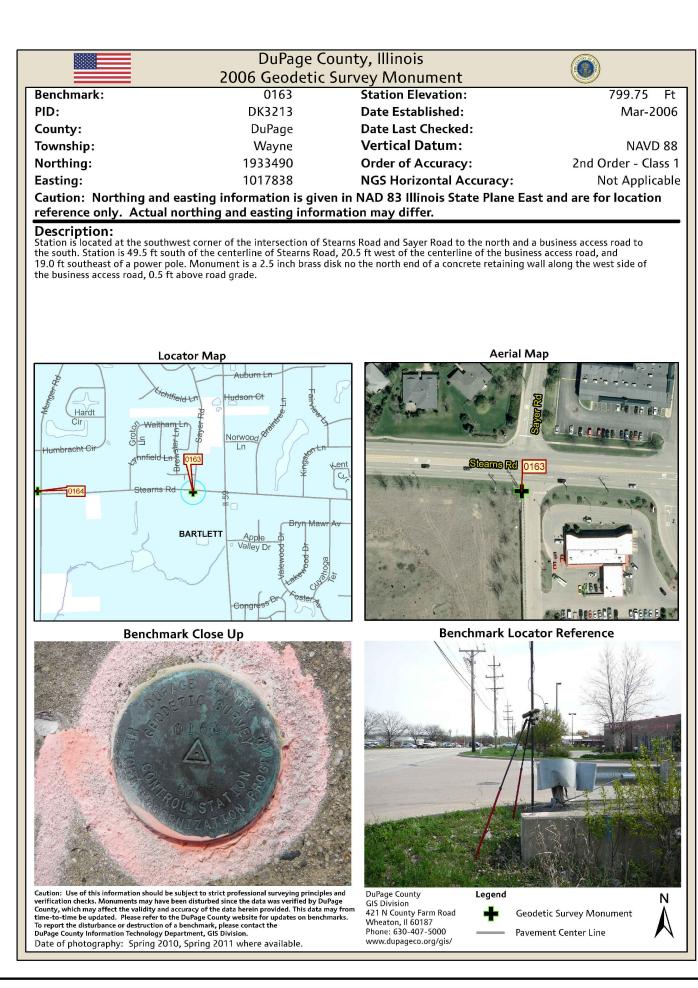
696 W Stearns Road

Bartlett, IL 60103

Partially Funded by Illinois Department of Natural Resources OSLAD Grant No. OS-22-2162

SHEET INDEX

- Title Sheet
- Stormwater Pollution Prevention Plan South
- Stormwater Pollution Prevention Plan North
- **Stormwater Pollution Prevention Notes**
- Overall Existing Conditions & Removals Plan South
- Overall Existing Conditions & Removals Plan North
- Existing Conditions & Removals Plan Playground Enlargement
- Existing Conditions & Removals Plan Enlargements
- Existing Conditions & Removals Plan Enlargements
- Overall Layout Plan South
- Overall Layout Plan North
- Layout Plan Playground Enlargement
- Layout Plan Enlargements
- Layout Plan Enlargements
- Overall Dimension Plan South
- Overall Dimension Plan North
- Dimension Plan Playground Enlargement Dimension Plan - Enlargements
- Dimension Plan Enlargements
- Overall Grading & Restoration Plan South
- Overall Grading & Restoration Plan North Grading & Restoration Plan - Playground Enlargement
- Grading & Restoration Plan Enlargements
- Grading & Restoration Plan Enlargements
- **Construction Details**
- **Construction Details**
- SK1.03D Perspective
- SK2.0 Precast Layout Plan
- SK3.0 Information Plan
- SK4.0 Layout Plan
- SK5.0 Grading & Drainage Plan
- SK6.0 Steel Plan
- SK7.0 Sections
- SK8.0 Construction Details
- SK8.1 Construction Details





692 Stearns Road Bartlett, Illinois 60103 Phone: 630-540-4800

Apple Orchard Community Park Renovations

692 Stearns Road Bartlett Illinois 60103

REVISIONS MB/SF Issue for Bid 27APR2023 ORIGINAL ISSUE DATE 27APR2023 **ISSUE FOR BID**

1115

PROJECT NUMBER

PROJECT NAME

Apple Orchard Community Park Renovations

SHEET TITLE

Title Sheet

SHEET NUMBER





PROJECT

Apple Orchard Community Park Renovations

692 W Stearns Road Bartlett, Illinois, 60103

PROJECT TEAM



Landscape Architecture & Park Planning 1224 N North Branch St, Ste. 220A Chicago, Illinois 60642 24042 Lockport St, Plainfield, Illinois 60544 815-254-0091 www.uplandDesign.com

SURVEYOR JLH Land Surveying Inc. 910 Geneva Street Shorewood, Illinois 60404 Phone: 815-729-4000

CIVIL ENGINEERING:

Engineering Resource Associates 3S701 West Avenue, Suite 150 Warrenville, IL 60555

REVISIONS					
MB/SF	Issue for Bid	27APR2023			
ODIGINAL ISSUE DATE					

27APR2023

ORIGINAL ISSUE DATE **ISSUE FOR BID**

PROJECT NUMBER

1115

SHEET TITLE

Stormwater Pollution Prevention Plan - South

SHEET NUMBER

2.0





PROJECT

Apple Orchard Community Park Renovations

692 W Stearns Road Bartlett, Illinois, 60103

PROJECT TEAM



uplandDesign Itd

Landscape Architecture & Park Planning 1224 N North Branch St, Ste. 220A Chicago, Illinois 60642 24042 Lockport St, Plainfield, Illinois 60544 815-254-0091 www.uplandDesign.com

SURVEYOR

JLH Land Surveying Inc.

910 Geneva Street

Shorewood, Illinois 60404

CIVIL ENGINEERING:

Phone: 815-729-4000

Engineering Resource Associates 3S701 West Avenue, Suite 150 Warrenville, IL 60555

REVISIONS				
MB/SF	Issue for Bid	27APR2023		
	AL ISSUE DATE FOR BID	27APR2023		

PROJECT NUMBER

1115

SHEET TITLE

Stormwater Pollution Prevention Plan - North

SHEET NUMBER

2.1

STORM WATER POLLUTION PREVENTION PLAN

THE FOLLOWING PLAN IS ESTABLISHED AND INCORPORATED IN THE PROJECT TO DIRECT THE CONTRACTOR IN THE PLACEMENT OF TEMPORARY EROSION AND SEDIMENT CONTROL SYSTEMS AND TO PROVIDE A STORM WATER POLLUTION PREVENTION PLAN FOR COMPLIANCE UNDER NPDES.

THE PURPOSE OF THIS PLAN IS TO MINIMIZE EROSION WITHIN THE CONSTRUCTION SITE AND TO LIMIT SEDIMENT FROM LEAVING THE CONSTRUCTION SITE BY UTILIZING PROPER TEMPORARY EROSION AND SEDIMENT CONTROL SYSTEMS AND PROVIDING GROUND COVER WITHIN A REASONABLE

CERTAIN SEDIMENT CONTROL FACILITIES SHALL BE INSTALLED BY THE CONTRACTOR AT THE BEGINNING OF CONSTRUCTION. OTHER ITEMS SHALL BE INSTALLED BY THE CONTRACTOR AS DIRECTED BY THE ENGINEER ON A CASE BY CASE SITUATION DEPENDING ON THE CONTRACTOR'S SEQUENCE OF ACTIVITIES, TIME OF YEAR, AND EXPECTED WEATHER CONDITIONS.

THE CONTRACTOR SHALL INSTALL PERMANENT EROSION CONTROL SYSTEMS AND SEEDING WITHIN A TIME FRAME SPECIFIED HEREIN AND AS DIRECTED BY THE ENGINEER. THEREFORE MINIMIZING THE AMOUNT OF AREA SUSCEPTIBLE TO EROSION AND REDUCING THE AMOUNT OF TEMPORARY SEEDING. THE ENGINEER WILL DETERMINE IF ANY TEMPORARY EROSION CONTROL SYSTEMS SHOWN IN THE PLAN CAN BE DELETED AND IF ANY ADDITIONAL TEMPORARY EROSION CONTROL SYSTEMS, WHICH ARE NOT INCLUDED IN THIS PLAN, SHALL BE ADDED. THE CONTRACTOR SHALL PERFORM ALL WORK AS DIRECTED BY THE ENGINEER AND AS SHOWN IN IDOT STANDARD 280001.

SECTION 280. TEMPORARY EROSION CONTROL, OF THE STANDARD SPECIFICATIONS ADDITIONALLY SUPPLEMENTS THIS PLAN.

ITE DESCRIPTION. ESCRIPTION OF CONSTRUCTION ACTIVITY

1. THE PROJECT IS LOCATED NORTHWEST OF THE INTERSECTION OF STEARNS ROAD AND ROSEWOOD COURT IN DUPAGE COUNTY, IL.

- 2. THE APPLE ORCHARD COMMUNITY PARK RENOVATIONS PROJECT SHALL GENERALLY CONSIST OF THE FOLLOWING:
- 1.) TOPSOIL STRIPPING, EARTH EXCAVATION, AND STRUCTURAL FILL PLACEMENT; INSTALLATION OF UNDERDRAIN AND STORM SEWER;
- INSTALLATION OF SIDEWALK, WALKING PATHS, CONCRETE PADS, AND PLAYING SURFACES;
- INSTALLATION OF A VARIETY OF PARK FEATURES, NATURE PODS, SKATE PARK RENOVATIONS, AND LIMESTONE TRAIL;
- ALL OTHER COLLATERAL WORK SUCH AS RESTORATION.

NDED SEQUENCE FOR MAJOR CONSTRUCTION ACTIVITIES WHICH WILL DISTURB SOILS FOR MAJOR PORTION OF THE

- SEDIMENT CONTROL SILT FENCING SHALL BE IN PLACE PRIOR TO EARTHWORK ACTIVITIES.
- SITE SHALL BE MASS-GRADED. WITH ALL PROPOSED PAVEMENTS GRADED TO ROUGHLY 1-FOOT (VARIES) BELOW FINAL ELEVATION ON PLANS. 3. UTILITIES SHALL BE CONSTRUCTED. AFTER COMPLETION OF STORM SEWER CONSTRUCTION, SEDIMENT CONTROL FILTER BARRIER AND SEDIMENT CONTROL FLOW-THROUGH (DROP-IN) FILTERS SHALL BE PLACED AT EACH OPEN-GRATE STRUCTURE.
- CONCRETE CURB & GUTTER, BITUMINOUS AND CONCRETE PAVEMENT, AND BITUMINOUS TRAILS SHALL BE CONSTRUCTED
- SITE SHALL BE TEMPORARILY STABILIZED IMMEDIATELY FOLLOWING MASS GRADING COMPLETION. FINE GRADING SHALL BE PERFORMED.
- 7. THE SITE SHALL BE SEEDED AND STABILIZED WITH BIODEGRADABLE EROSION CONTROL MAT (WHERE NOTED) UPON COMPLETION OF THE
- 8. TEMPORARY EROSION CONTROL MEASURES WILL BE REMOVED FOLLOWING FINAL STABILIZATION

AREA OF CONSTRUCTION SITE:

ENGINEER: ANDREW R. KUSTUSCH, P.E.

0-MIL POLYETHYLENE -

Letters 6" Min. Height —

CONCRE

WASHOUT AREA

SIGN DETAIL

<u>Plan view</u>

THE TOTAL AREA OF THE CONSTRUCTION SITE IS ESTIMATED TO BE .07 ACRES BY WHICH .07 ACRES WILL BE DISTURBED BY EXCAVATION, GRADING, AND OTHER ACTIVITIES.

<u>AND PLANS, WHICH AID IN THE DEVELOPMENT OF THE STORM WATER POLLUTION PREVENTION PLAN AS REFERENCED</u>

- INFORMATION OF THE SOILS AND TERRAIN WITHIN THE SITE WAS OBTAINED FROM TOPOGRAPHIC SURVEYS AND WERE USED FOR THE
- DEVELOPMENT OF THE PROPOSED TEMPORARY EROSION AND SEDIMENT CONTROL SYSTEMS. PROJECT PLAN DOCUMENTS, SPECIFICATIONS AND SPECIAL PROVISIONS, AND PLAN DRAWINGS INDICATING DRAINAGE PATTERNS AND APPROXIMATE SLOPES ANTICIPATED AFTER GRADING ACTIVITIES WERE UTILIZED FOR THE PROPOSED PLACEMENT OF THE TEMPORARY EROSION

DRAINAGE TRIBUTARIES AND SENSITIVE AREAS RECEIVING RUNOFF FROM THIS CONSTRUCTION SITE:

THE SOUTHWEST SIDE OF THE EXISTING SITE DRAINS GENERAL FROM EAST TO WEST TO AN EXISTING LOW AREA AND STORM SEWER ON THE WEST PROPERTY LINE. THE SOUTHEAST SIDE OF THE SITE DRAINS NORTHWEST TO SOUTHEAST TO AN EXISTING STORM SEWER SYSTEM. THE CENTRAL AREA OF THE SITE DRAINS TO A SMALL WETLAND AREA AND TO A DETENTION AREA IN THE BASEBALL FIELD OUTFIELD. THE NORTH AREA OF THE SITE DRAINS INTERNALLY TO A WETLAND COMPLEX.

THIS PLAN HAS BEEN PREPARED TO COMPLY WITH THE PROVISIONS OF THE NPDES PERMIT NUMBER ILR10 ISSUED BY THE ILLINOIS ENVIRONMENTAL PROTECTION AGENCY FOR STORM WATER DISCHARGES FROM CONSTRUCTION SITE ACTIVITIES.

I CERTIFY UNDER PENALTY OF LAW THAT THIS DOCUMENT AND ALL ATTACHMENTS WERE PREPARED UNDER MY DIRECTION OR SUPERVISION IN ACCORDANCE WITH A SYSTEM DESIGNED TO ASSURE THAT QUALIFIED PERSONNEL PROPERLY GATHERED AND EVALUATED THE INFORMATION GATHERING THE INFORMATION. THE INFORMATION SUBMITTED IS TO THE BEST OF MY KNOWLEDGE AND BELIEF, TRUE, ACCURATE AND COMPLETE. I AM AWARE THAT THERE ARE SIGNIFICANT PENALTIES FOR SUBMITTING FALSE INFORMATION, INCLUDING THE POSSIBILITY OF FINE AND IMPRISONMENT FOR KNOWING VIOLATIONS.

6" WIRE STAPLE OR SANDBAG

Plywood or Aluminum

4"x4"x6' Wood Post o 6' Steel Post Min.

1. Maintaining temporary concrete washout facilities shall include

2. Facility shall be cleaned or reconstructed in a new area once

3. Each straw bale is to be staked in place using (2) 2"x2"x4'

returning the faciliities to a functional condition.

removing and disposing of hardend concrete and/or slurry and

SEDIMENT EROSION CONTROL AND POLLUTION PREVENTION NOTES

- 1. DURING CONSTRUCTION, AREAS OUTSIDE THE CONSTRUCTION LIMITS SHALL BE PROTECTED. THE CONTRACTOR SHALL NOT USE THIS AREA FOR STAGING, PARKING OF VEHICLES OF CONSTRUCTION
- EQUIPMENT, STORAGE OF MATERIALS OR OTHER CONSTRUCTION RELATED ACTIVITIES. 2. CONSTRUCTION EQUIPMENT SHALL BE STORED AND FUELED ONLY AT DESIGNATED LOCATIONS. ALL NECESSARY MEASURES SHALL BE TAKEN TO CONTAIN ANY FUEL OR OTHER POLLUTANT IN ACCORDANCE WITH EPA WATER QUALITY REGULATIONS. LEAKING EQUIPMENT OR SUPPLIES SHALL
- BE IMMEDIATELY REPAIRED OR REMOVED FROM THE SITE. TEMPORARY SEDIMENT CONTROL SYSTEMS SHALL BE LEFT IN PLACE WITH PROPER MAINTENANCE UNTIL PERMANENT EROSION CONTROL IS IN
- PLACE AND WORKING PROPERLY AND ALL PERMANENT VEGETATION IS GROWING AND THRIVING. 4 FROSION CONTROL MEASURES SHALL BE INSTALLED PRIOR TO START OF CONSTRUCTION.
- 5. ALL EROSION CONTROL MEASURES MUST BE INSPECTED WEEKLY AND AFTER EACH $1\!\!/\!z$ " RAIN EVENT
- 3. THE EROSION CONTROL BLANKET AND/OR STRAW MULCH WITH NETTING (DEPENDING ON SLOPE, SLOPE LENGTH AND FLOW RATES) SHALL BE INSTALLED ON ALL SLOPES STEEPER THAN 5H:1V AND IN CRITICAL AREAS IMMEDIATELY UPON FINAL GRADING 7. IN AREAS WHERE WORK IS COMPLETE, PERMANENT STABILIZATION SHALL OCCUR WITHIN 7 DAYS OF COMPLETION, AND IN AREAS WHERE WORK
- HAS TEMPORARILY CEASED FOR 14 DAYS OR MORE, TEMPORARY STABILIZATION SHALL OCCUR BY THE 7TH DAY AFTER WORK HAS CEASED. 8. WINTER SHUTDOWN SHALL BE ADDRESSED EARLY IN THE FALL GROWING SEASON SO THAT SLOPES AND OTHER BARE EARTH AREAS MAY BE
- STABILIZED WITH TEMPORARY AND/OR PERMANENT VEGETATIVE COVER FOR PROPER EROSION AND SEDIMENT CONTROL. 9. ALL ADJACENT STREETS MUST BE KEPT CLEAR OF DEBRIS. STREETS SHALL BE INSPECTED DAILY AND CLEANED WHEN NECESSARY AND AS
- 10. UNLESS OTHERWISE INDICATED, ALL VEGETATIVE AND STRUCTURAL EROSION AND SEDIMENT CONTROL PRACTICES WILL BE CONSTRUCTED ACCORDING TO MINIMUM STANDARDS AND SPECIFICATIONS IN THE MOST RECENT EDITION OF THE ILLINOIS URBAN MANUAL AND IN THE DUPAGE COUNTY CODE OF ORDINANCES.
- 11. A COPY OF THE APPROVED EROSION AND SEDIMENT CONTROL PLAN SHALL BE MAINTAINED ON THE SITE AT ALL TIMES.
- 12. PRIOR TO COMMENCING LAND-DISTURBING ACTIVITIES IN AREAS OTHER THAN INDICATED ON THESE PLANS (INCLUDING BUT NOT LIMITED TO, ADDITIONAL PHASES OF DEVELOPMENT AND OFF-SITE BORROW OR WASTE AREAS) A SUPPLEMENTARY EROSION CONTROL PLAN SHALL BE SUBMITTED TO THE OWNER FOR REVIEW BY THE ENGINEER. 13. THE CONTRACTOR IS RESPONSIBLE FOR INSTALLATION OF ANY ADDITIONAL EROSION CONTROL MEASURES NECESSARY TO PREVENT EROSION
- AND SEDIMENTATION AS DETERMINED BY THE ENGINEER. 14. DURING DEWATERING OPERATIONS (IF NECESSARY), SEDIMENT-LADEN WATER SHALL BE PUMPED INTO SEDIMENT BASINS OR SILT TRAPS. DEWATERING SEDIMENT-LADEN WATER DIRECTLY INTO STREAMS, WETLANDS, FIELD TILES, OR STORMWATER STRUCTURES IS PROHIBITED. 15. WHERE THERE IS LOW, INTERMITTENT AMOUNTS OF DEWATERING, PUMPS WITH FILTRATION BAGS SHALL BE USED. FILTRATION BAGS SHALL BE
- ATTACHED TO PUMP DISCHARGES AND SURROUNDED WITH A SECONDARY CONTAINMENT OR ON A STABILIZED AREA. FILTER BAGS SHALL NOT BE PLACED, WHOLE OR PARTIALLY, WITHIN AQUATIC AREAS (WETLANDS, PONDS, ETC.) THE MATERIAL FOR THE FILTRATION BAG SHALL MEET THE REQUIREMENTS OF MATERIAL SPECIFICATION 592 GEOTEXTILE OF THE ILLINOIS URBAN MANUAL, TABLE 2, CLASS I WITH A MINIMUM TENSILE STRENGTH OF 200 LBS. THE FILTRATION BAG SHALL BE SIZED PER MANUFACTURER RECOMMENDATIONS AND BASED ON THE SIZE OF THE PUMP. 16. EXCAVATED AREAS SHALL BE PERMANENTLY SEEDED IMMEDIATELY AFTER FINAL GRADING. IF NOT, THEY SHALL BE TEMPORARILY SEEDED IF NO
- CONSTRUCTION ACTIVITY IN THE AREA IS PLANNED FOR SEVEN (7) DAYS. 17. TEMPORARY EROSION CONTROL SEEDING SHALL BE APPLIED AT A RATE OF 100 LBS/ACRES.
- 18. STOCKPILES THAT ARE TO REMAIN IN PLACE MORE THAN THREE DAYS SHALL BE PROVIDED WITH SOIL EROSION AND SEDIMENT CONTROL MEASURES
- 19. SEDIMENT COLLECTED DURING CONSTRUCTION BY THE VARIOUS TEMPORARY SEDIMENT CONTROL SYSTEMS SHALL BE DISPOSED OF ON THE SITE ON A REGULAR BASIS, AS DIRECTED BY THE ENGINEER. 20. ALL DROP INLETS ON AND ADJACENT TO THE SITE MUST HAVE A SEDIMENT TRAPPING OR CONTAINMENT DEVICE INSTALLED DURING
- CONSTRUCTION ACTIVITIES. FILTER FABRIC ON ITS OWN IS NOT AN APPROVED METHOD. A MANUFACTURE'S SPEC SHOULD BE USED FOR PREFABRICATED DROP INLET PROTECTION AND SHOULD BE AS THE ILLINOIS URBAN MANUAL STANDARD 561D FOR INLET PROTECTION. 21. ALL TEMPORARY EROSION AND SEDIMENT CONTROL MEASURES SHALL BE REMOVED WITHIN 30 DAYS AFTER FINAL STABILIZATION IS ACHIEVED. TRAPPED SEDIMENT AND OTHER DISTURBED SOILS RESULTING FROM TEMPORARY MEASURES SHALL BE PROPERLY DISPOSED OF PRIOR TO
- PERMANENT STABILIZATION. 22. ALL EROSION AND SEDIMENT CONTROL PRODUCTS FURNISHED SHALL BE SPECIFICALLY RECOMMENDED BY THE MANUFACTURER FOR THE USE SPECIFIED IN THE EROSION AND SEDIMENT CONTROL PLAN. PRIOR TO THE APPROVAL AND USE OF THE PROJECT, THE CONTRACTOR SHALL SUBMIT TO THE ENGINEER A NOTARIZED CERTIFICATION BY THE PRODUCER STATING THE INTENDED USE OF THE PRODUCT AND THAT THE PHYSICAL PROPERTIES REQUIRED FOR THIS APPLICATION ARE MET OR EXCEEDED. THE CONTRACTOR SHALL PROVIDE MANUFACTURER
- INSTALLATION PROCEDURES TO FACILITATE THE ENGINEER IN CONSTRUCTION INSPECTION. 23. THE DRAWINGS, SPECIFICATIONS AND SPECIAL PROVISIONS WILL ENSURE THAT EXISTING VEGETATION IS PRESERVED WHERE ATTAINABLE AND DISTURBED PORTIONS OF THE SITE WILL BE STABILIZED. STABILIZATION PRACTICES INCLUDE TEMPORARY SEEDING, PERMANENT SEEDING, MULCHING, PROTECTION OF TREES, PRESERVATION OF NATURAL VEGETATION, AND OTHER APPROPRIATE MEASURES AS DIRECTED BY THE ENGINEER, STABILIZATION MEASURES SHALL BE INITIATED AS SOON AS PRACTICABLE IN PORTIONS OF THE SITE WHERE CONSTRUCTION
- ACTIVITIES HAVE TEMPORARILY OR PERMANENTLY CEASED, BUT IN NO CASE MORE THAN 7 DAYS AFTER THE CONSTRUCTION ACTIVITY IN THAT PORTION OF THE SITE HAS TEMPORARILY OR PERMANENTLY CEASED. a. AREAS OF EXISTING VEGETATION, WOOD AND GRASSLANDS, OUTSIDE THE PROPOSED CONSTRUCTION LIMITS SHALL BE SHALL BE PROTECTED
- b. BARE AND SPARSELY VEGETATED GROUND IN HIGH ERODIBLE AREAS AS DETERMINED BY THE ENGINEER SHALL BE TEMPORARILY SEEDED AT THE
- BEGINNING OF CONSTRUCTION WHERE NO CONSTRUCTION ACTIVITIES ARE EXPECTED WITHIN SEVEN (7) DAYS. 24. THE SITE SHOULD BE PHASED IN A WAY THAT REDUCES THE AMOUNT OF STRIPPED, UNSTABILIZED AREAS WITHIN THE SITE AT ANY ONE TIME.
- MASS GRADING THE ENTIRE SITE SHOULD BE AVOIDED AS TO PREVENT EROSION ON SITE AND SEDIMENTATION ISSUES DOWNSTREAM.
- 25. CONSTRUCTION IS COMPLETE AFTER ACCEPTANCE BY THE OWNER. MAINTENANCE UP TO THIS DATE WILL BE BY THE CONTRACTOR. 26. IT IS THE RESPONSIBILITY OF THE GENERAL CONTRACTOR TO INFORM ANY SUB-CONTRACTOR(S) WHO MAY PERFORM WORK ON THIS PROJECT, OF THE REQUIREMENTS IN IMPLEMENTING AND MAINTAINING THESE EROSION CONTROL PLANS AND ASSURE COMPLIANCE WITH ALL APPLICABLE LOCAL, STATE AND FEDERAL REGULATIONS
- 27. BARRIER PROTECTION SHALL BE PLACED AT THE LIMITS OF SOIL DISTURBANCE FOR ALL UNDISTURBED WETLAND, FLOODPLAIN, WATERS AND BUFFER AREAS, AND SHALL BE:
- DUAL ROW OF SILT FENCE, AND A ROW OF ORANGE CONSTRUCTION FENCE; OR
- DUAL SILT FENCE BARRIER WITH ONE OF THE FENCES BEING OF HIGH VISIBILITY MATERIAL.
- ALTERNATE PRACTICES OFFERING COMPARABLE PROTECTION TO WETLAND, FLOODPLAIN, WATER, AND BUFFER MAY BE USED TO PREVENT IMPACT WHERE APPLICABLE.
- ADDITIONAL SOIL EROSION AND SEDIMENT CONTROLS MAY BE REQUIRED TO ADEQUATELY PROTECT THESE SITES.

Fastener - Min. No. 10 Gage Wire

4 Per Post Required. (Typ.)

"I CERTIFY UNDER PENALTY OF LAW THAT I UNDERSTAND THE TERMS AND CONDITIONS OF THE GENERAL NATIONAL POLLUTANT DISCHARGE ELIMINATION SYSTEM (NPDES) PERMIT (ILR10) THAT AUTHORIZES THE STORM WATER DISCHARGES ASSOCIATED WITH INDUSTRIAL ACTIVITY FROM THE CONSTRUCTION SITE IDENTIFIED AS PART OF THIS CERTIFICATION."

CONTRACTOR SIGNATURE

SILT FENCE PLAN

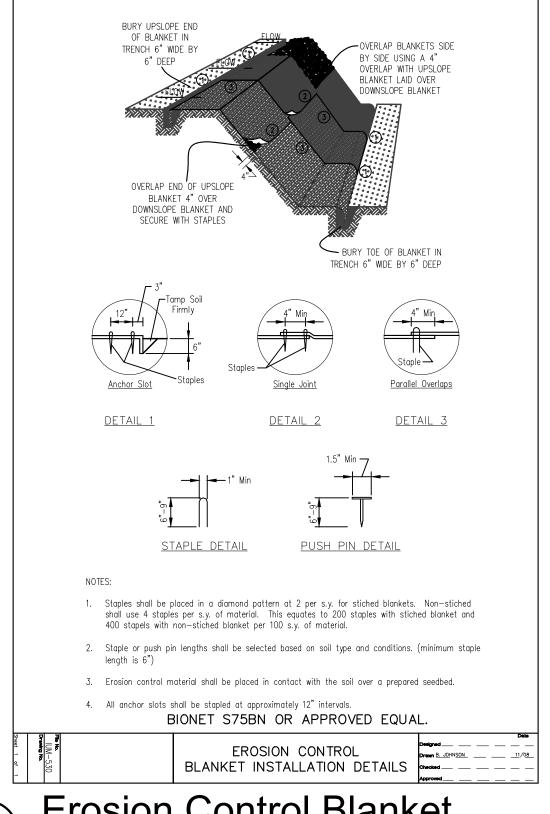
(Typ)

CONTRACTOR'S CERTIFICATION "I CERTIFY UNDER PENALTY OF LAW THAT I UNDERSTAND THE TERMS AND CONDITIONS OF THE GENERAL NATIONAL POLLUTANT DISCHARGE ELIMINATION SYSTEM (NPDES) PERMIT (ILR 10) THAT AUTHORIZES THE STORMWATER DISCHARGES ASSOCIATED WITH ACTIVITY FROM THE CONSTRUCTION SITE IDENTIFIED AS PART OF THIS CERTIFICATION. GENERAL CONTRACTOR SIGNATURE

OWNER'S CERTIFICATION

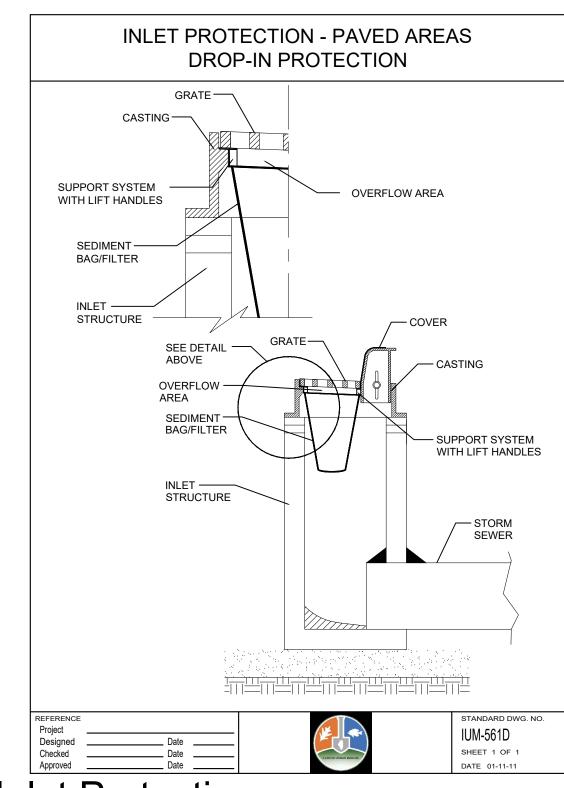
"I CERTIFY UNDER PENALTY OF LAW THAT THIS DOCUMENT AND ALL ATTACHMENTS WERE PREPARED UNDER MY DIRECTION OR SUPERVISION IN ACCORDANCE WITH A SYSTEM DESIGNED TO ASSURE THAT QUALIFIED PERSONNEL PROPERLY GATHERED AND EVALUATED THE INFORMATION SUBMITTED. BASED ON MY INQUIRY OF THE PERSON OR PERSONS WHO MANAGE THE SYSTEM, OR THOSE PERSONS DIRECTLY RESPONSIBLE FOR GATHERING THE INFORMATION, THE INFORMATION SUBMITTED IS, TO THE BEST OF MY KNOWLEDGE AND BELIEF, TRUE, ACCURATE AND COMPLETE. I AM AWARE THERE ARE SIGNIFICANT PENALTIES FOR SUBMITTING FALSE INFORMATION. INCLUDING THE POSSIBILITY OF FINE AND IMPRISONMENT FOR KNOWING VIOLATIONS."

<u>OWNER</u> COMPANY



Erosion Control Blanket

d-IUM-530-erosion control blanket 12



696 W Stearns Road Phone: 630-540-4800

Community Park

Bartlett, Illinois, 60103

PROJECT TEAM



Landscape Architecture & Park Planning 1224 N North Branch St, Ste. 220A Chicago, Illinois 60642 24042 Lockport St, Plainfield, Illinois 60544

815-254-0091 www.uplandDesign.com SURVEYOR

JLH Land Surveying Inc. 910 Geneva Stree Shorewood, Illinois 6040 Phone: 815-729-4000

Warrenville, IL 60555

CIVIL ENGINEERING: Engineering Resource Associates 3S701 West Avenue, Suite 150

REVISIONS MB/SF Issue for Bid 27APR2023

ORIGINAL ISSUE DATE **ISSUE FOR BID**

PROJECT NUMBER

1115

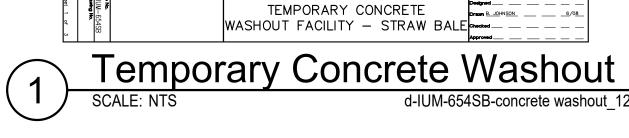
SHEET TITLE

Stormwater **Pollution Prevention** Notes

SHEET NUMBER

27APR2023

© Copyright 2023 Upland Design Ltd.



6" Wire Staple or Sandbag — Liner Anchor STRAW BALE ANCHOR SECTIONS

ELEVATION FABRIC ANCHOR DETAIL . Temporary sediment fence shall be installed prior to any grading work in the area to be protected. They shall be maintained throughout the construction period and removed in conjunction with the final grading and site stabilization 2. Filter fabric shall meet the requirements of material specification 592 Geotextile Table 1 or 2, Class with equivalent bpening size of at least 30 for nonwoven and 40 for woven. 3. Fence posts shall be either standard steel post or wood post with a minimum cross-sectional area of 3.0 sq. in.

Filter Fabric Step 3 ATTACHING TWO SILT FENCES Place the end post of the second fence inside the end post of the first fence otate both posts at least 180 degrees in a clockwise direction to create a tight seal with the fabric material Cut the fabric near the bottom of the stakes to accommodate the 6" flap. rive both posts a minimum of 18 inches into the ground and bury the flap. ompact backfill (particularly at splices) completely to prevent stormwater piping IUM-620B(W) Designed Checked

SHEET 1 OF 1

DATE 2-06-2012

SILT FENCE - SPLICING TWO FENCES

Silt Fence

Filter Fabric

d-IUM 620B-silt fence 12

IUM-620A

SHEET 1 OF 2





PROJECT

Apple Orchard Community Park Renovations

692 W Stearns Road Bartlett, Illinois, 60103

PROJECT TEAM



uplandDesign Itd Landscape Architecture & Park Planning

1224 N North Branch St, Ste. 220A Chicago, Illinois 60642 24042 Lockport St, Plainfield, Illinois 60544 815-254-0091 www.uplandDesign.com

SURVEYOR
JLH Land Surveying Inc.
910 Geneva Street
Shorewood, Illinois 60404
Phone: 815-729-4000

CIVIL ENGINEERING:

Engineering Resource Associates 3S701 West Avenue, Suite 150 Warrenville, IL 60555

REVISIONS					
MB/SF	27APR2023				
ODICINAL ISSUE DATE					

27APR2023

ORIGINAL ISSUE DATE
ISSUE FOR BID

PROJECT NUMBER

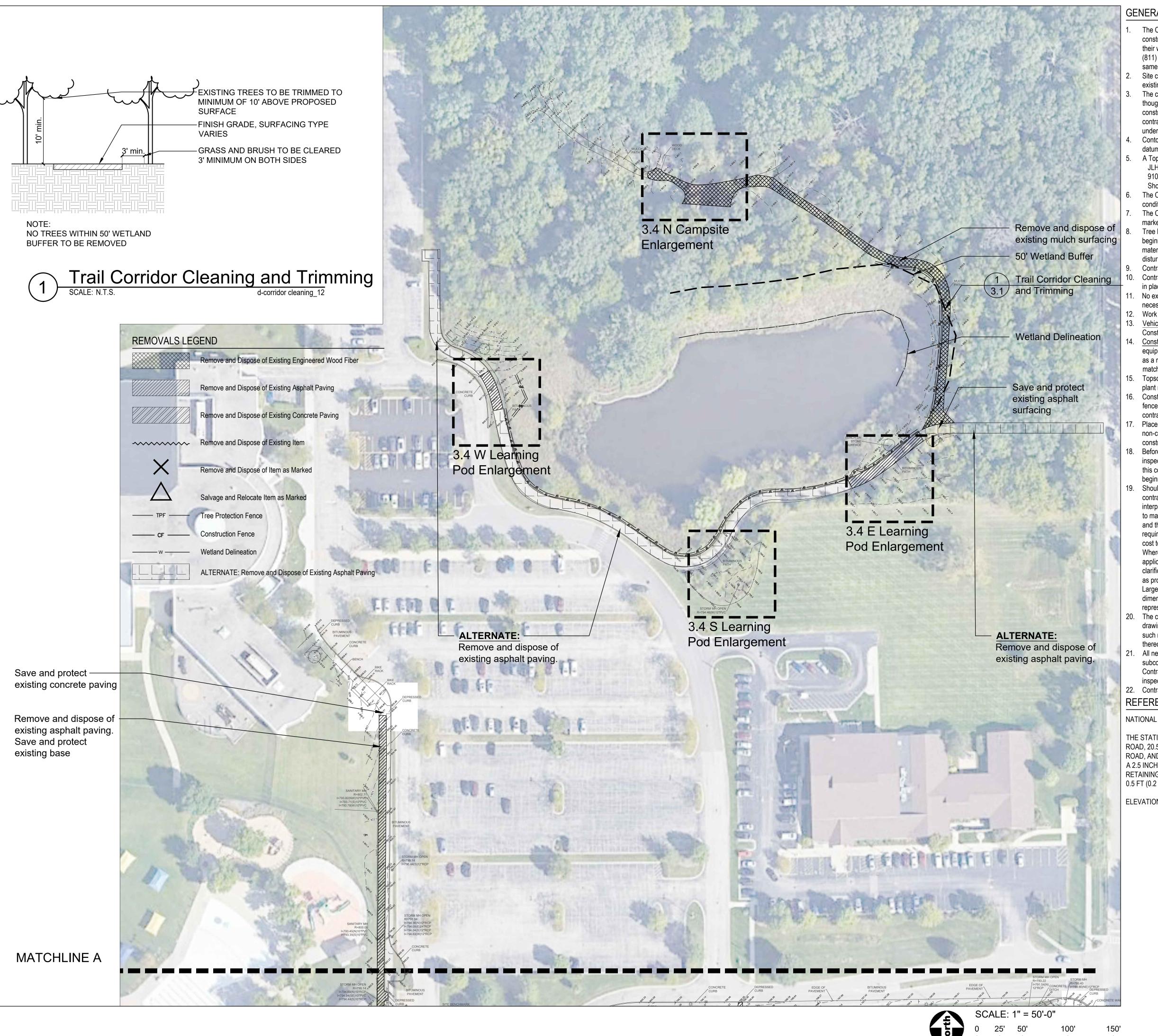
1115

SHEET TITLE

Overall Existing
Conditions &
Removals Plan South

SHEET NUMBER

3.0



GENERAL NOTES: EXISTING CONDITIONS & REMOVALS

- The Contractor is to locate all utilities, public and private, prior to beginning construction. Contractor will be responsible for any damages to utilities caused by their work. Contact J.U.L.I.E. 72 hours prior to construction at 1-800-982-0123 or (811) for location of utilities and contractor shall be responsible for protection of the same.
- Site conditions are shown based upon available information, contractor to verify all existing conditions prior to bidding.
- 3. The contractor shall be responsible for the protection of all private utilities even though they may not be shown on the plans. Any utility damaged during the construction shall be repaired or replaced to the satisfaction of the Owner at the contractor's expense. No tree shall be planted within 10 lateral feet of any underground waterline, sewer line, transmission line or other utility.
- Contours and elevations shown hereon are referenced to the North American vertical
- datum of 1988 (navd88)

 A Topographic Survey was completed for the Owner by:
- JLH Land Surveying Inc.
 910 Geneva St
- Shorewood, Illinois 60404 Phone: 815-729-4000
- The Contractor shall walk the site prior to submitting a bid to be fully familiar with site
- The Contractor shall protect and preserve all section, property or survey reference
- Tree Protection Fence to be installed as shown on plans and details prior to beginning construction. (incidental to cost). Do not drive, store equipment or materials within dripline of existing trees that are to be saved. Hold necessary disturbance to a minimum.
- 9. Contractor will be held responsible for damage to items not scheduled for removal.
- Contractor shall repair or replace all damaged sidewalks, curbs or paving to remain in place that were damaged as a result of work stated in contract documents.
- 11. No excavations are to be left open to foul weather, rain, snow, etc. which would necessitate further excavation and additional sub grade materials.
- 12. Work site safety is the responsibility of the Contractor.
- 13. <u>Vehicular Construction access</u> shall be at one location to minimize damage. Construction access shall be approved by the Owner's representative.
- 4. <u>Construction Limits:</u> Construction Limits are as noted on plans. Do not store equipment or stockpile materials outside of construction limits. Any areas disturbed as a result of construction shall be restored to lawn or other surface by contractor to match pre-construction condition.
- Topsoil may be stockpiled for redistribution as needed. Excess topsoil, debris and plant material to be removed off site and disposed of legally.
- 16. Construction fence shall be installed prior to beginning construction. Construction fence to be 6' freestanding free standing chainlink fence per plans. (incidental to contract).
- Place erosion control measures as required to eliminate sedimentation into non-construction areas and as shown on plans and details prior to beginning construction.
- 18. Before beginning work at the site and throughout the course of the work contractor to inspect and verify the location and condition of every item affected by the work under this contract and report discrepancies to the Owner's Representative before beginning work.
- 19. Should discrepancies appear among the contract documents or between the contract documents and existing conditions, the contractor shall request an interpretation from the Owner's Representative before bidding. If the contractor fails to make such requests, it is presumed that both provisions were included in the bid, and the Owner's Representative shall determine which of the conflicting requirements shall govern. The contractor shall perform the work at no additional cost to the Owner in accordance with the Owner's Representative determination. Where conflicts exists between or within the contract documents between and applicable standards, codes, ordinances or manufacturers recommendations, and clarification has not been requested from the Owner's Representative prior to bidding as provided for above, the more stringent or higher quality standard shall prevail. Large scale drawings shall take precedence over small scale drawings, figured dimensions on the drawings over scaled dimensions and noted material over graphic representations.
- 20. The contractor shall provide all work and materials which any section or part of the drawings, specifications or conditions require them to provide, regardless of whether such requirement is or is not faithfully repeated in other parts of the documents thereof to which the provisions might be appropriate.
- 21. All necessary site work permits will be obtained by Owner. Contractor and all subcontractors shall register and pay associated fees to the Building Department. Contractor is responsible for following permit requirements including coordination of inspections and/or reinspections and associated fees.
- 22. Contractor shall follow all permit requirements as part of the project.

REFERENCE BENCHMARK

NATIONAL GEODETIC SURVEY BENCHMARK DK3213

THE STATION IS 49.5 FT (15.1 M) SOUTH OF THE CENTERLINE OF STEARS ROAD, 20.5 FT (6.2 M) WEST OF THE CENTERLINE OF THE BUSINESS ACCESS ROAD, AND 19.0 FT (5.8 M) SOUTHEAST OF A POWER POLE. THE MONUMENT IS A 2.5 INCH (6CM) BRASS DISK ON THE NORTH END OF A CONCRETE RETAINING WALL ALONG THE WEST SIDE OF THE BUSINESS ACCESS ROAD, 0.5 FT (0.2 M) ABOVE ROAD GRADE.

ELEVATION=799.75 (NAVD88)



696 W Stearns Road Bartlett, IL, 60103 Phone: 630-540-4800

PROJECT

Apple Orchard Community Park Renovations

692 W Stearns Road Bartlett, Illinois, 60103

PROJECT TEAM



uplandDesign Itd Landscape Architecture & Park Planning

1224 N North Branch St, Ste. 220A Chicago, Illinois 60642 24042 Lockport St, Plainfield, Illinois 60544 815-254-0091 www.uplandDesign.com

SURVEYOR

JLH Land Surveying Inc. 910 Geneva Street Shorewood, Illinois 60404 Phone: 815-729-4000

CIVIL ENGINEERING:

Engineering Resource Associates 3S701 West Avenue, Suite 150 Warrenville, IL 60555

REVISIONS			
MB/SF	Issue for Bid	27APR2023	

ORIGINAL ISSUE DATE

ISSUE FOR BID

PROJECT NUMBER

1115

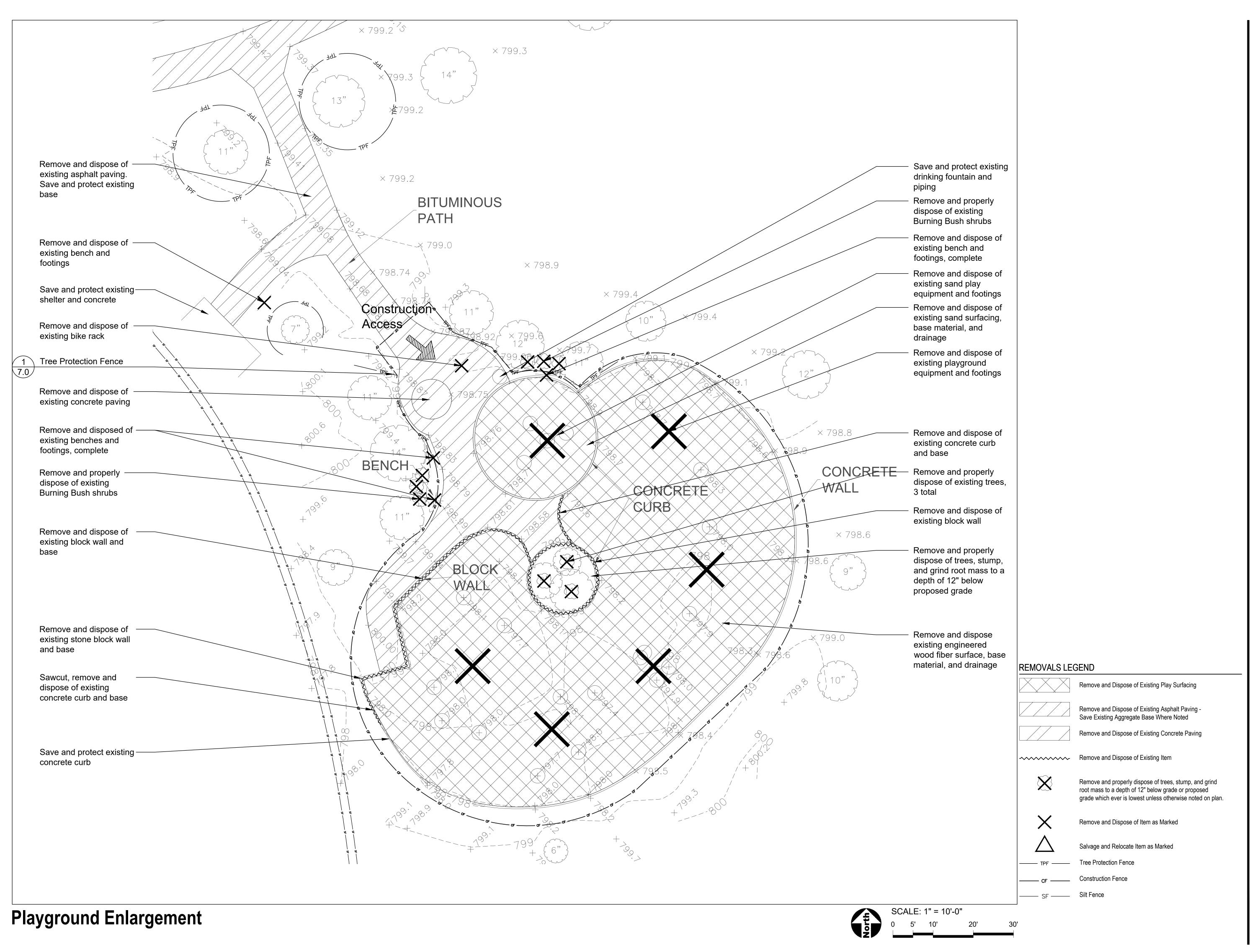
SHEET TITLE

Overall Existing
Conditions &
Removals Plan North

SHEET NUMBER

3.1

27APR2023



PARK DISTRICT

696 W Stearns Road Bartlett, IL, 60103 Phone: 630-540-4800

PROJECT

Apple Orchard Community Park Renovations

692 W Stearns Road Bartlett, Illinois, 60103

PROJECT TEAM



uplandDesign Itd

Landscape Architecture & Park Planning 1224 N North Branch St, Ste. 220A Chicago, Illinois 60642 24042 Lockport St, Plainfield, Illinois 6054

24042 Lockport St, Plainfield, Illinois 60544 815-254-0091 www.uplandDesign.com

SURVEYOR
JLH Land Surveying Inc.
910 Geneva Street
Shorewood, Illinois 60404
Phone: 815-729-4000

CIVIL ENGINEERING:

Engineering Resource Associates 3S701 West Avenue, Suite 150 Warrenville, IL 60555

REVISIONS				
MB/SF	Issue for Bid	27APR2023		
ORIGINAL ISSUE DATE				
ISSUE FOR BID		27APR2023		

PROJECT NUMBER

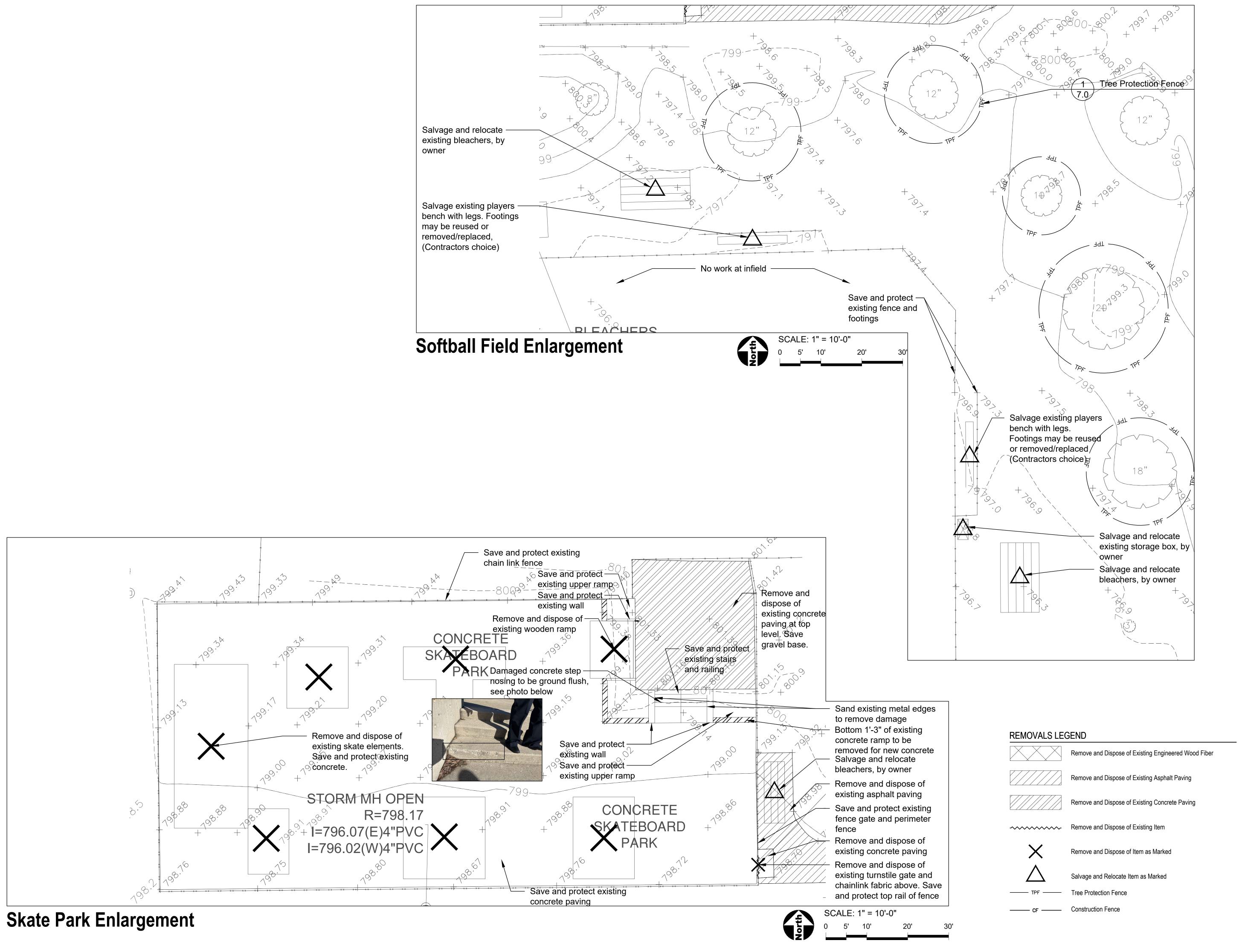
1115

SHEET TITLE

Existing Conditions & Removals Plan - Playground Enlargement

SHEET NUMBER

3.





PROJECT

Apple Orchard Community Park Renovations

692 W Stearns Road Bartlett, Illinois, 60103

PROJECT TEAM



uplandDesign Itd

Landscape Architecture & Park Planning

1224 N North Branch St, Ste. 220A
Chicago, Illinois 60642
24042 Lockport St, Plainfield, Illinois 60544
815-254-0091 www.uplandDesign.com

SURVEYOR

JLH Land Surveying Inc. 910 Geneva Street Shorewood, Illinois 60404 Phone: 815-729-4000

CIVIL ENGINEERING:

Engineering Resource Associates 3S701 West Avenue, Suite 150 Warrenville, IL 60555

REVISION	ONS		
MB/SF	Issue for Bid		27APR2023
ORIGIN	IAL ISSUE DATE		
ISSUE	FOR BID	27	APR202

PROJECT NUMBER

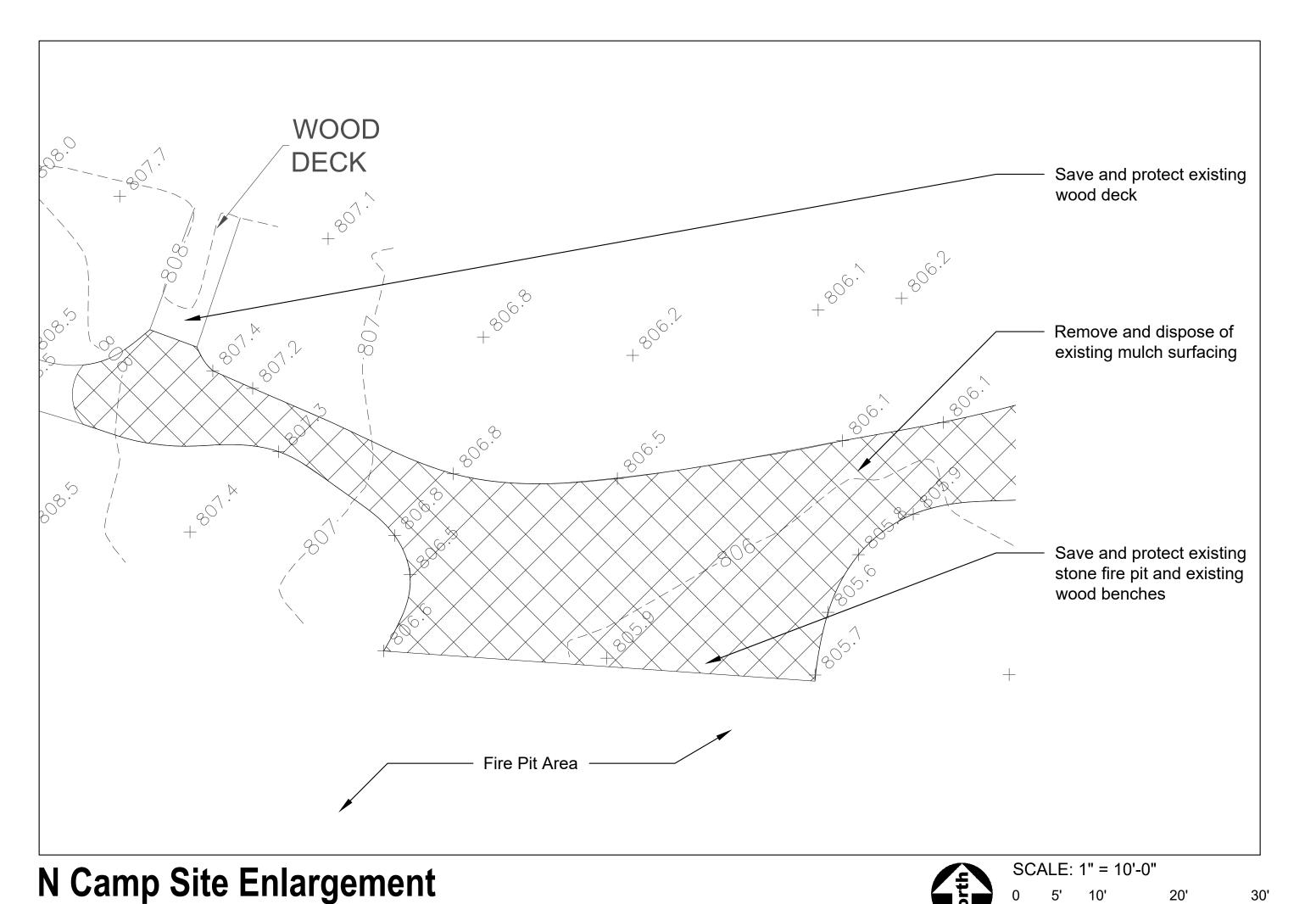
1115

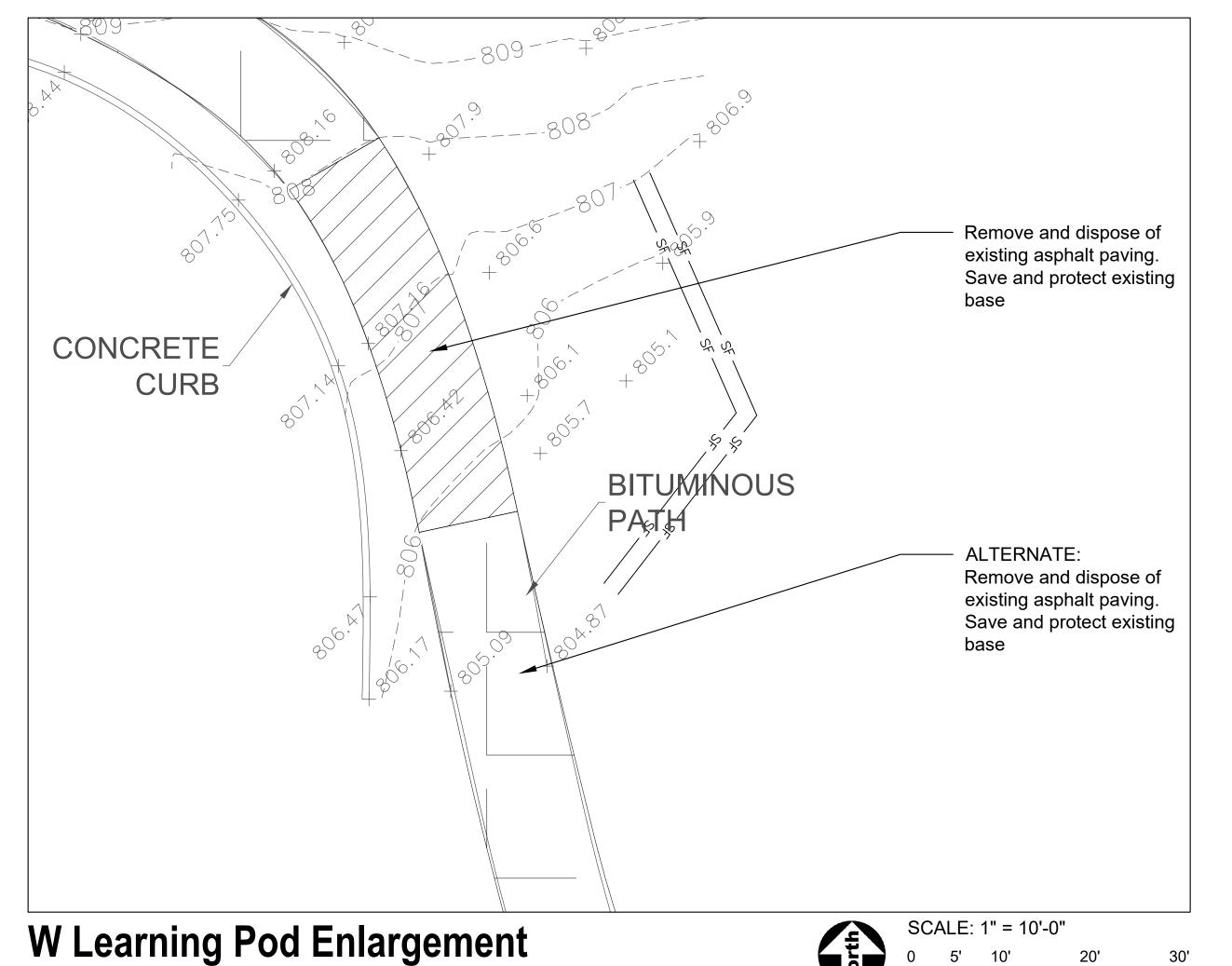
SHEET TITLE

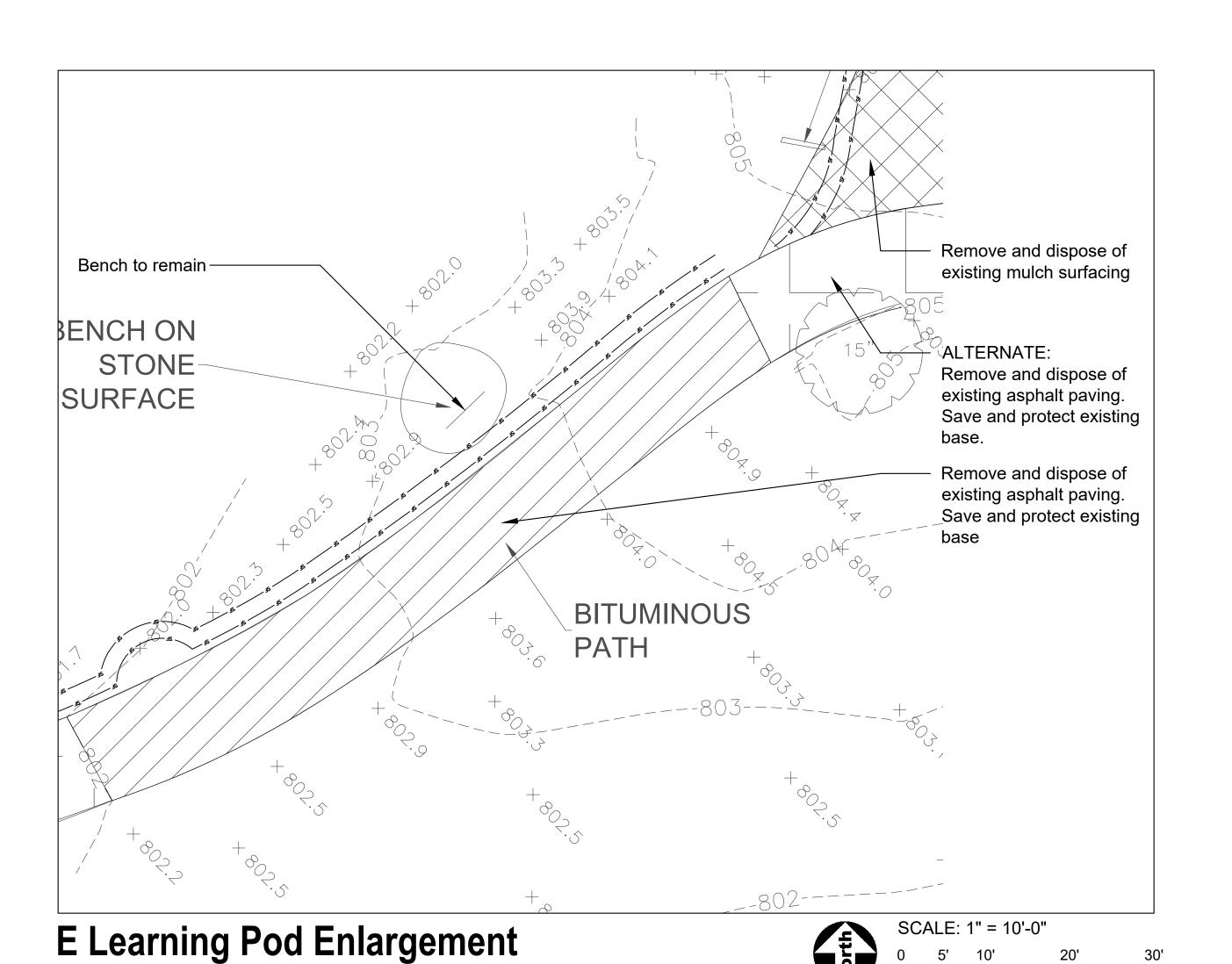
Existing Conditions & Removals Plan - Enlargements

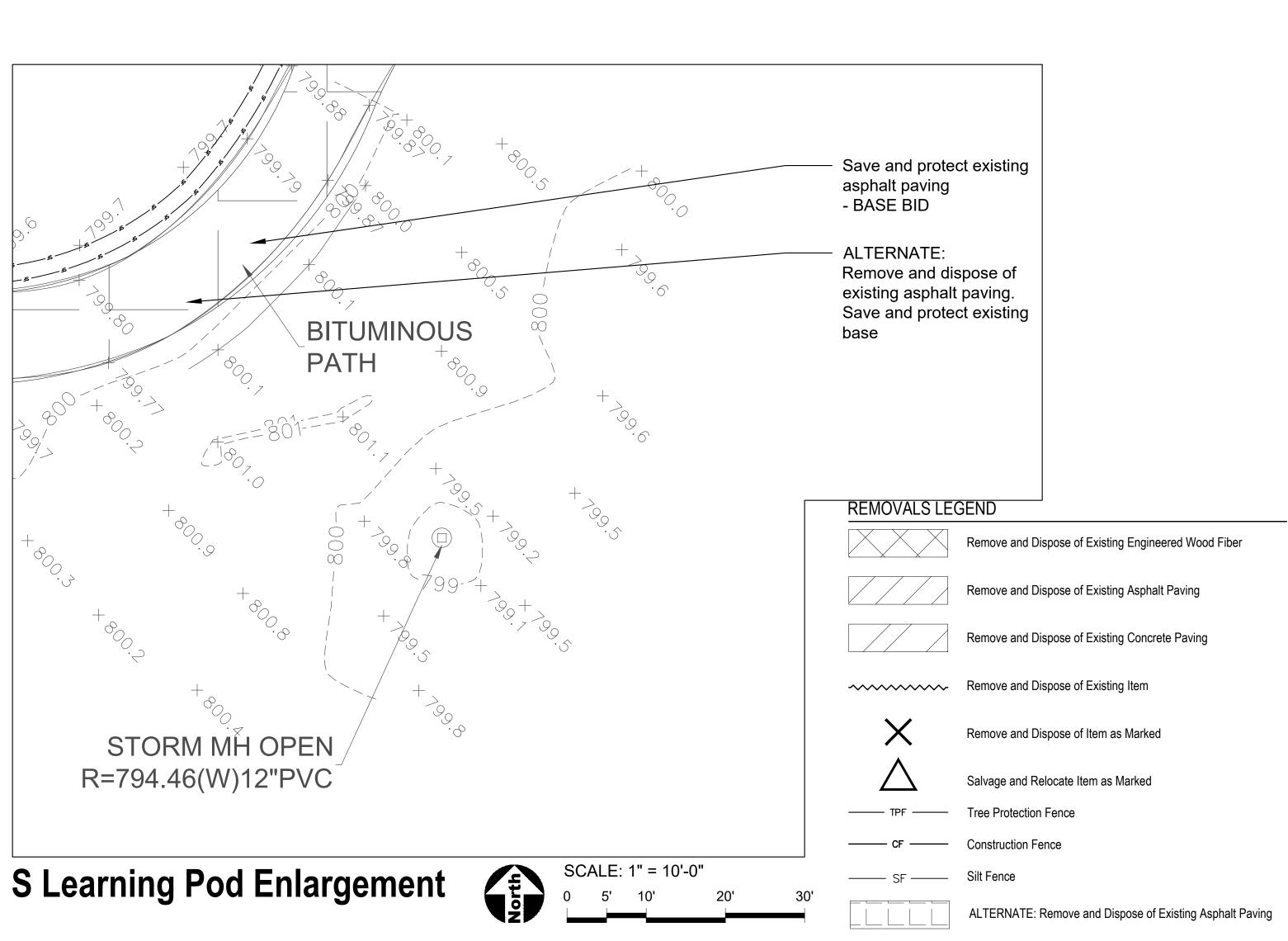
SHEET NUMBER

3.3











PROJECT

Apple Orchard Community Park Renovations

692 W Stearns Road Bartlett, Illinois, 60103

PROJECT TEAM



uplandDesign Itd

Landscape Architecture & Park Planning

1224 N North Branch St, Ste. 220A Chicago, Illinois 60642 24042 Lockport St, Plainfield, Illinois 60544 815-254-0091 www.uplandDesign.com

SURVEYOR

JLH Land Surveying Inc. 910 Geneva Street Shorewood, Illinois 60404 Phone: 815-729-4000

CIVIL ENGINEERING:

Engineering Resource Associates 3S701 West Avenue, Suite 150 Warrenville, IL 60555

REVISIONS					
MB/SF	Issue for Bid	27APR2023			
ORIGINAL ISSUE DATE					

ISSUE FOR BID

PROJECT NUMBER
1115

SHEET TITLE

Existing Conditions & Removals Plan - Enlargements

SHEET NUMBER

3.4

27APR2023





PROJECT

Apple Orchard Community Park Renovations

692 W Stearns Road Bartlett, Illinois, 60103

PROJECT TEAM



Landscape Architecture & Park Planning 1224 N North Branch St, Ste. 220A Chicago, Illinois 60642 24042 Lockport St, Plainfield, Illinois 60544 815-254-0091 www.uplandDesign.com

SURVEYOR JLH Land Surveying Inc. 910 Geneva Street

Shorewood, Illinois 60404 Phone: 815-729-4000

CIVIL ENGINEERING:

Engineering Resource Associates 3S701 West Avenue, Suite 150 Warrenville, IL 60555

REVISIONS				
MB/SF	Issue for Bid		27APR2023	
ORIGINAL ISSUE DATE ISSUE FOR BID 27APR2023				
IOOUL	טוט זוט ו	21	APRZUZJ	

PROJECT NUMBER

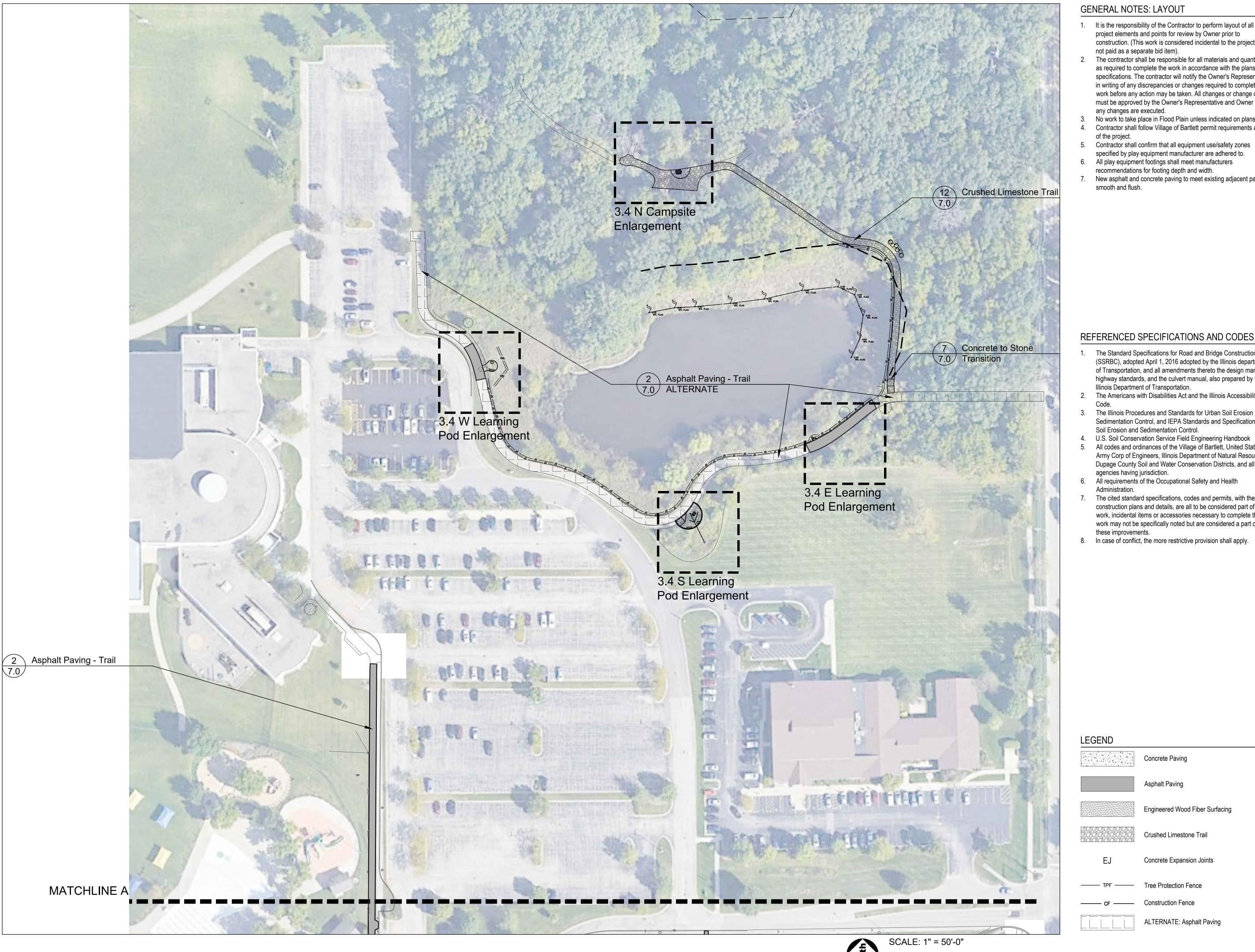
1115

SHEET TITLE

Overall Layout Plan - South

SHEET NUMBER

4.0



GENERAL NOTES: LAYOUT

- It is the responsibility of the Contractor to perform layout of all project elements and points for review by Owner prior to construction. (This work is considered incidental to the project and not paid as a separate bid item).
- The contractor shall be responsible for all materials and quantities as required to complete the work in accordance with the plans and specifications. The contractor will notify the Owner's Representative in writing of any discrepancies or changes required to complete the work before any action may be taken. All changes or change orders must be approved by the Owner's Representative and Owner before any changes are executed.
- No work to take place in Flood Plain unless indicated on plans. Contractor shall follow Village of Bartlett permit requirements as part
- Contractor shall confirm that all equipment use/safety zones
- specified by play equipment manufacturer are adhered to. 6. All play equipment footings shall meet manufacturers
- recommendations for footing depth and width. New asphalt and concrete paving to meet existing adjacent paving smooth and flush.

696 W Stearns Road Bartlett, IL, 60103 Phone: 630-540-4800

PROJECT

Apple Orchard Community Park Renovations

692 W Stearns Road Bartlett, Illinois, 60103

- The Standard Specifications for Road and Bridge Construction (SSRBC), adopted April 1, 2016 adopted by the Illinois department of Transportation, and all amendments thereto the design manual, highway standards, and the culvert manual, also prepared by the Illinois Department of Transportation.
- The Americans with Disabilities Act and the Illinois Accessibility
- The Illinois Procedures and Standards for Urban Soil Erosion and Sedimentation Control, and IEPA Standards and Specifications for Soil Erosion and Sedimentation Control.
- U.S. Soil Conservation Service Field Engineering Handbook
 All codes and ordinances of the Village of Bartlett, United States
 Army Corp of Engineers, Illinois Department of Natural Resources, Dupage County Soil and Water Conservation Districts, and all
- agencies having jurisdiction. All requirements of the Occupational Safety and Health
- The cited standard specifications, codes and permits, with these construction plans and details, are all to be considered part of the work, incidental items or accessories necessary to complete this work may not be specifically noted but are considered a part of these improvements.
- In case of conflict, the more restrictive provision shall apply.

Concrete Paving

Asphalt Paving

Engineered Wood Fiber Surfacing

Crushed Limestone Trail

Concrete Expansion Joints

ALTERNATE: Asphalt Paving

TPF Tree Protection Fence

—— cF —— Construction Fence

PROJECT TEAM



Landscape Architecture & Park Planning 1224 N North Branch St, Ste. 220A Chicago, Illinois 60642 24042 Lockport St, Plainfield, Illinois 60544

815-254-0091 www.uplandDesign.com SURVEYOR

JLH Land Surveying Inc. 910 Geneva Street Shorewood, Illinois 60404 Phone: 815-729-4000

CIVIL ENGINEERING: Engineering Resource Associates

3S701 West Avenue, Suite 150 Warrenville, IL 60555

REVISIONS			
MB/SF	Issue for Bid	27APR2023	

ORIGINAL ISSUE DATE **ISSUE FOR BID**

PROJECT NUMBER

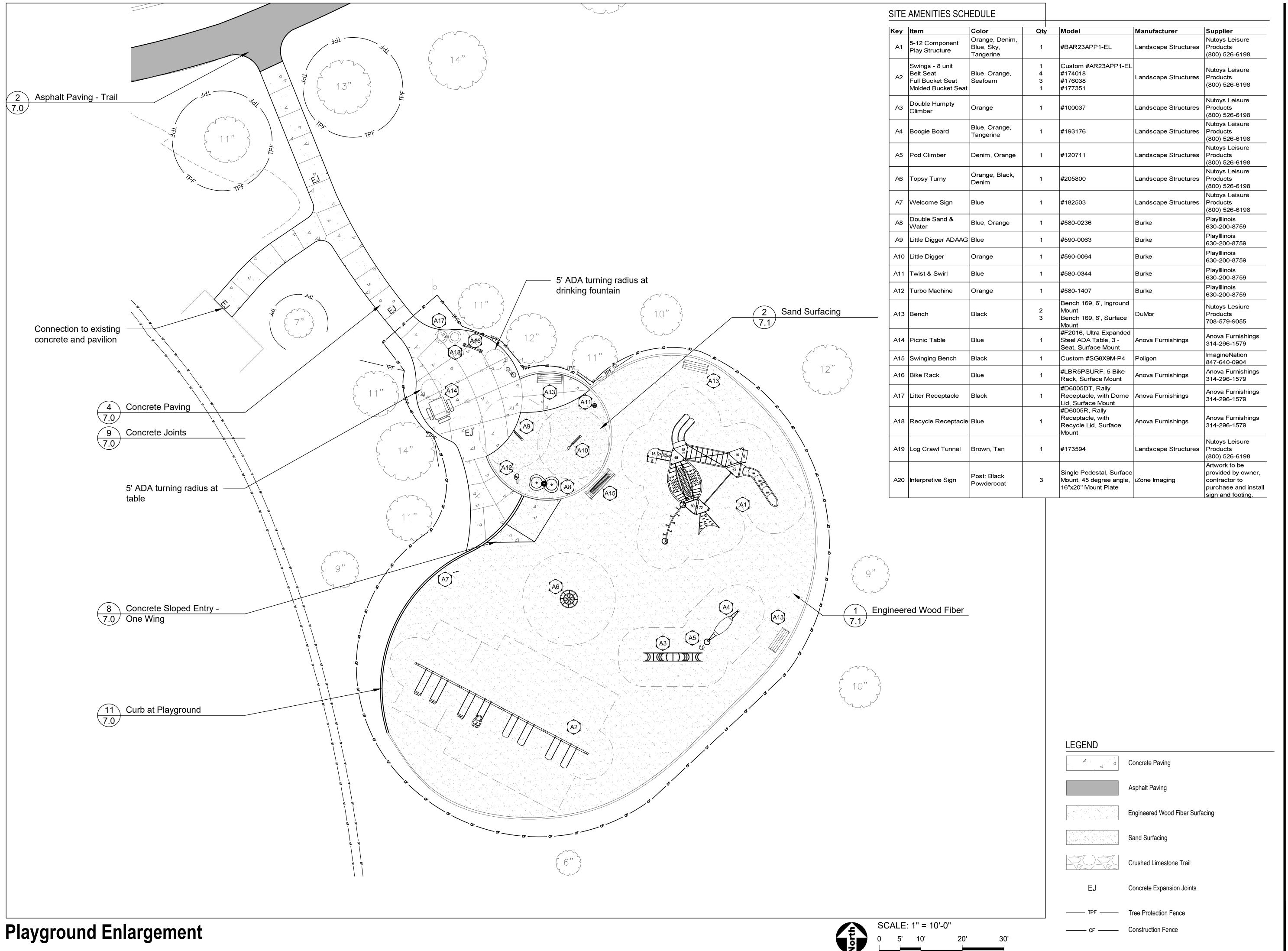
1115

SHEET TITLE

Overall Layout Plan - North

SHEET NUMBER

27APR2023





PROJECT

Apple Orchard Community Park Renovations

692 W Stearns Road Bartlett, Illinois, 60103

PROJECT TEAM



uplandDesign Itd

Landscape Architecture & Park Planning

1224 N North Branch St, Ste. 220A Chicago, Illinois 60642 24042 Lockport St, Plainfield, Illinois 60544 815-254-0091 www.uplandDesign.com

SURVEYOR JLH Land Surveying Inc. 910 Geneva Street Shorewood, Illinois 60404

Phone: 815-729-4000

CIVIL ENGINEERING: **Engineering Resource Associates** 3S701 West Avenue, Suite 150 Warrenville, IL 60555

REVISIONS						
MB/SF Issue for Bid			27APR2023			
ORIGINAL ISSUE DATE						
SSUE FOR BID			APR2023			

ISSUE FOR BID

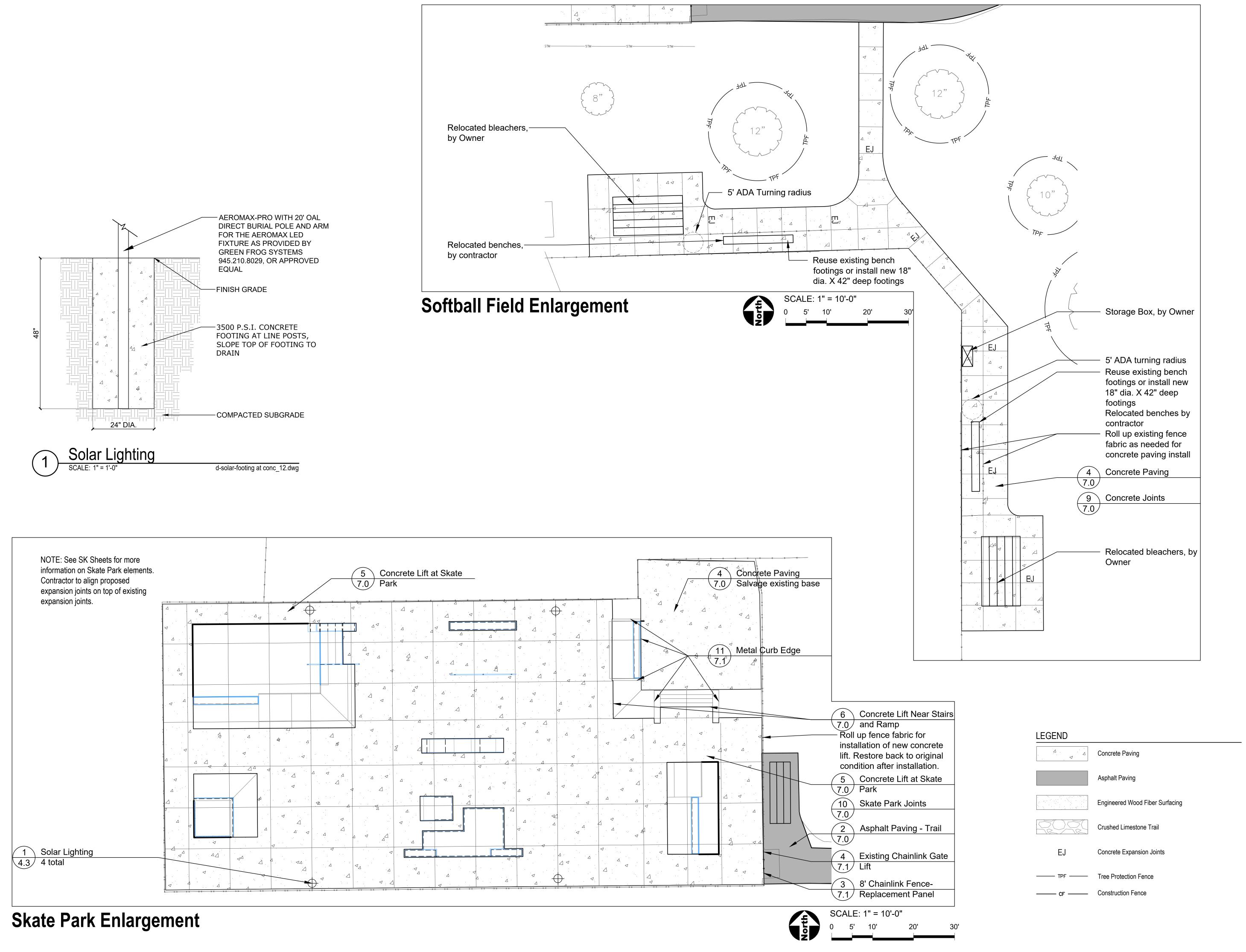
PROJECT NUMBER

1115

SHEET TITLE

Layout Plan -Playground **Enlargement**

SHEET NUMBER





PROJECT

Apple Orchard Community Park Renovations

692 W Stearns Road Bartlett, Illinois, 60103

PROJECT TEAM



uplandDesign Itd

Landscape Architecture & Park Planning

1224 N North Branch St, Ste. 220A Chicago, Illinois 60642 24042 Lockport St, Plainfield, Illinois 60544 815-254-0091 www.uplandDesign.com

SURVEYOR JLH Land Surveying Inc.

910 Geneva Street Shorewood, Illinois 60404 Phone: 815-729-4000

CIVIL ENGINEERING:

Engineering Resource Associates 3S701 West Avenue, Suite 150 Warrenville, IL 60555

REVISIONS					
MB/SF	Issue for Bid	27APR2023			
ORIGINAL ISSUE DATE ISSUE FOR BID 27APR2023					

ISSUE FOR BID

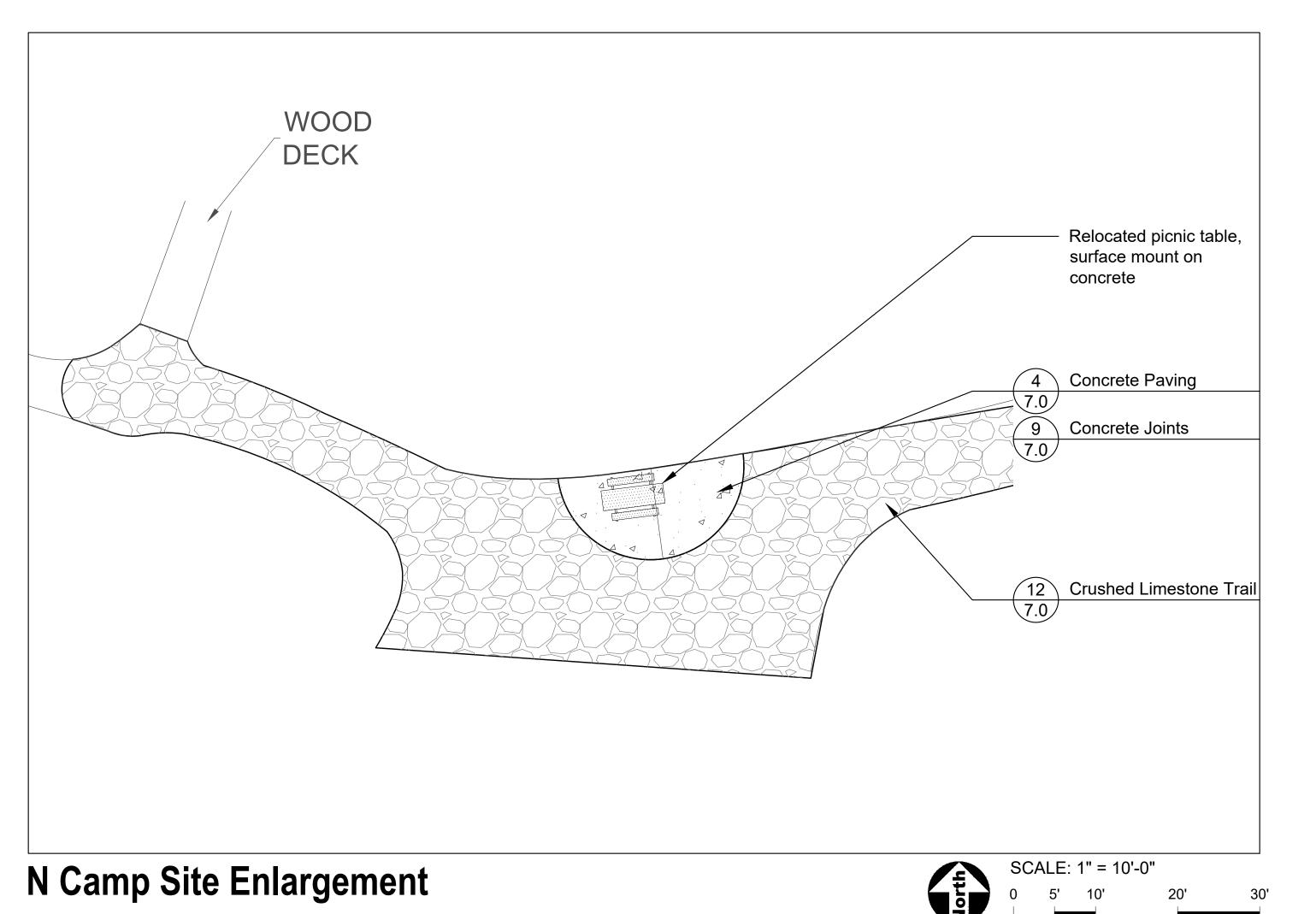
PROJECT NUMBER

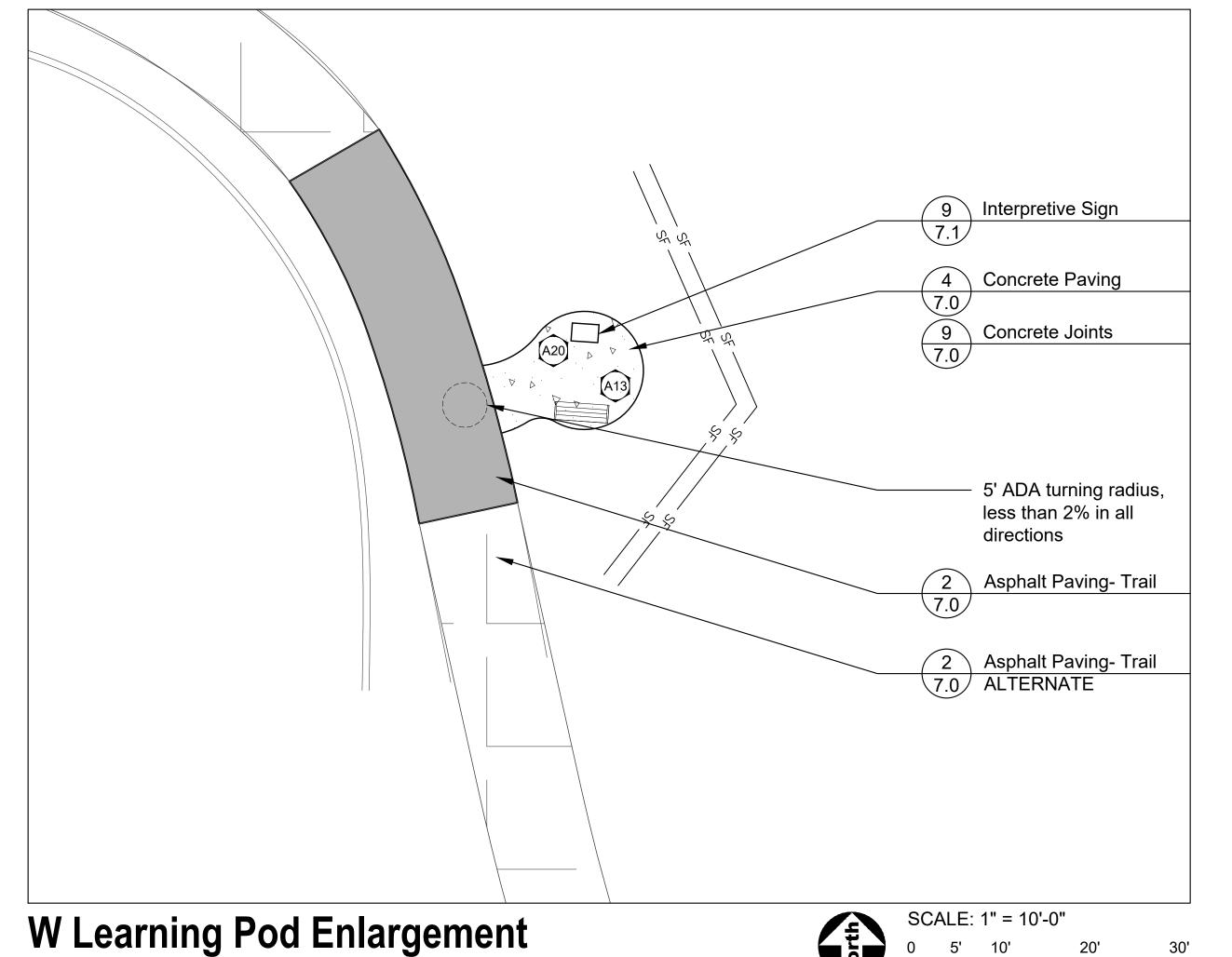
1115

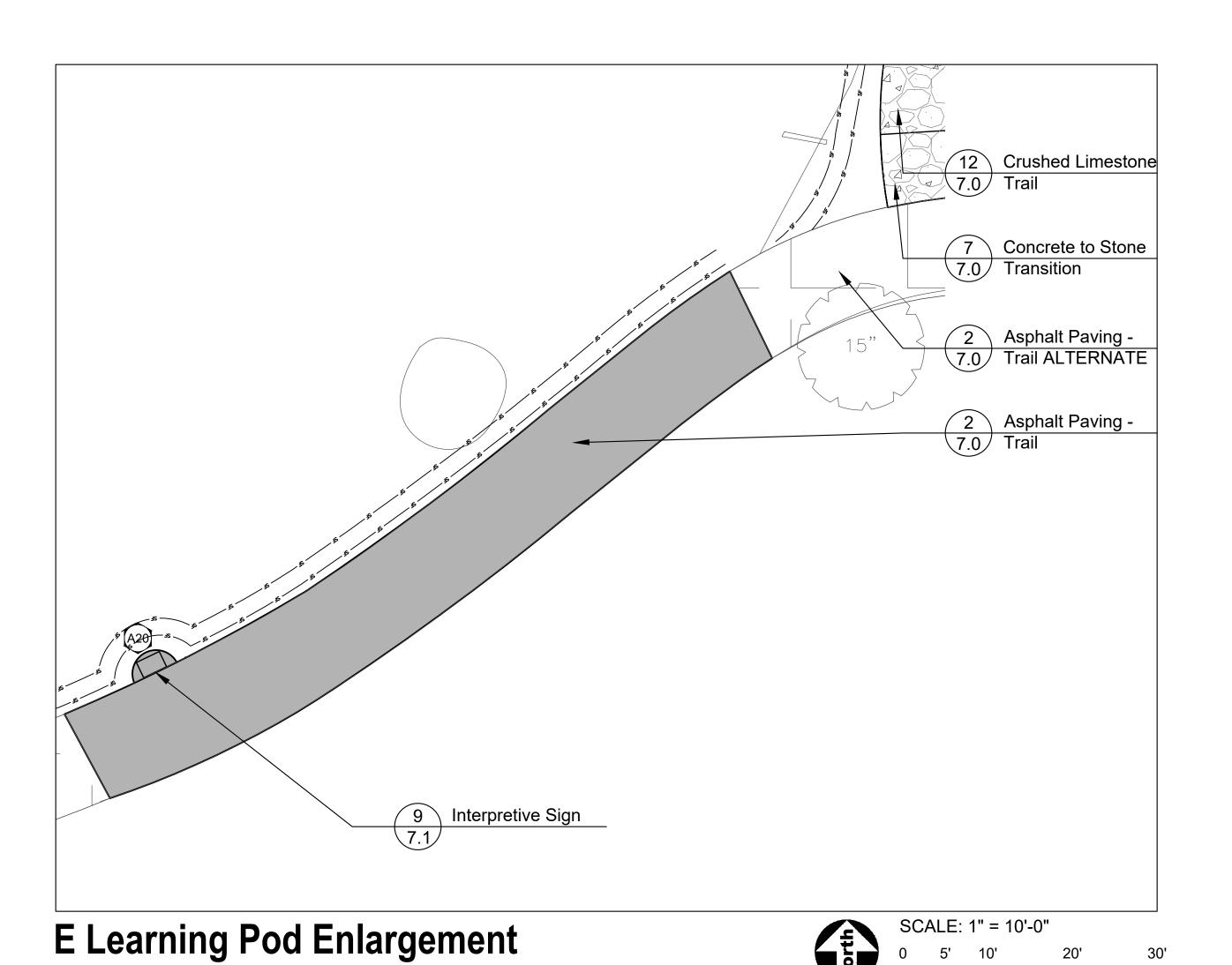
SHEET TITLE

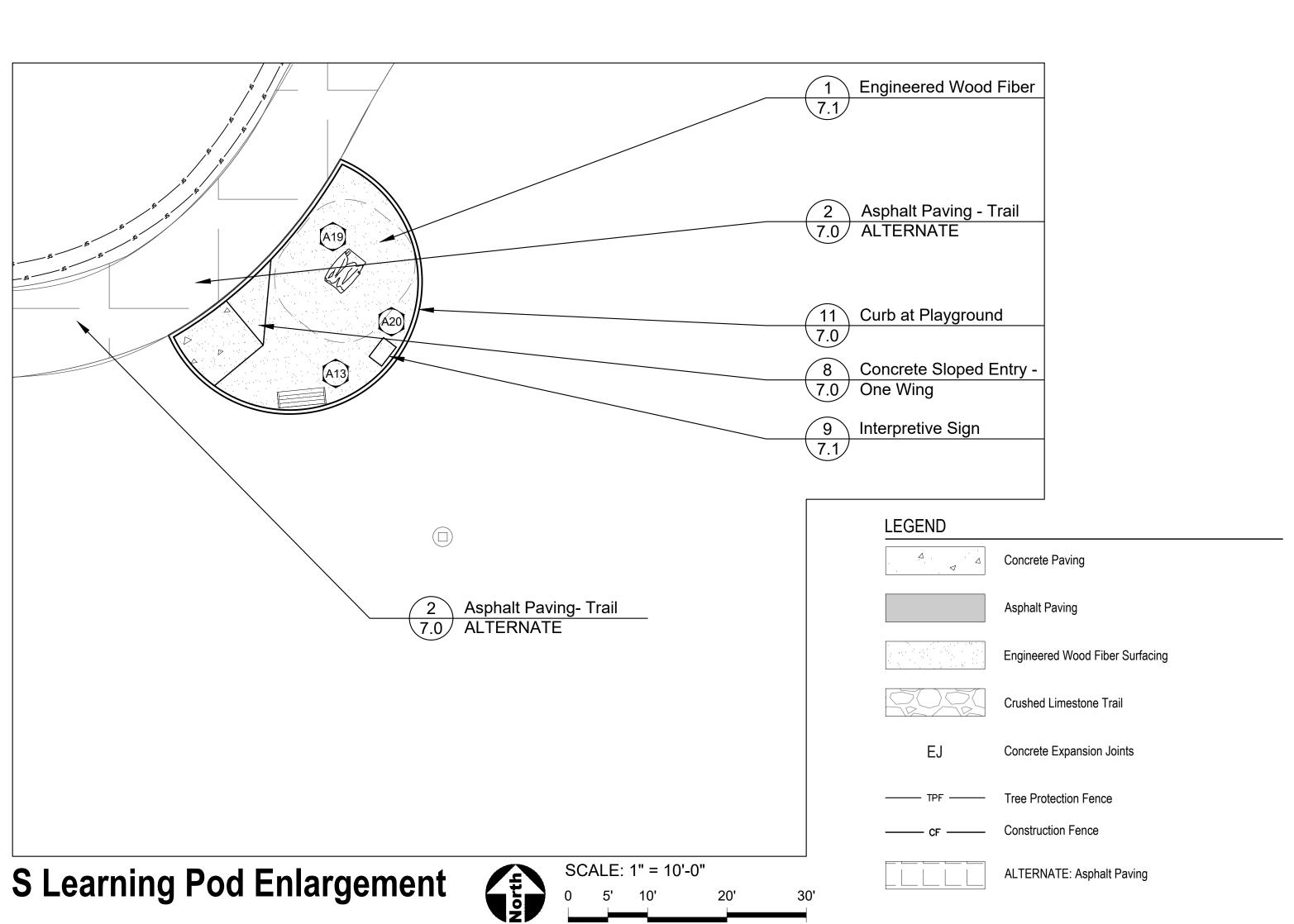
Layout Plan -**Enlargements**

SHEET NUMBER











PROJECT

Apple Orchard Community Park Renovations

692 W Stearns Road Bartlett, Illinois, 60103

PROJECT TEAM



Landscape Architecture & Park Planning 1224 N North Branch St, Ste. 220A

24042 Lockport St, Plainfield, Illinois 60544 815-254-0091 www.uplandDesign.com

SURVEYOR JLH Land Surveying Inc.

910 Geneva Street Shorewood, Illinois 60404 Phone: 815-729-4000

CIVIL ENGINEERING:

Engineering Resource Associates 3S701 West Avenue, Suite 150 Warrenville, IL 60555

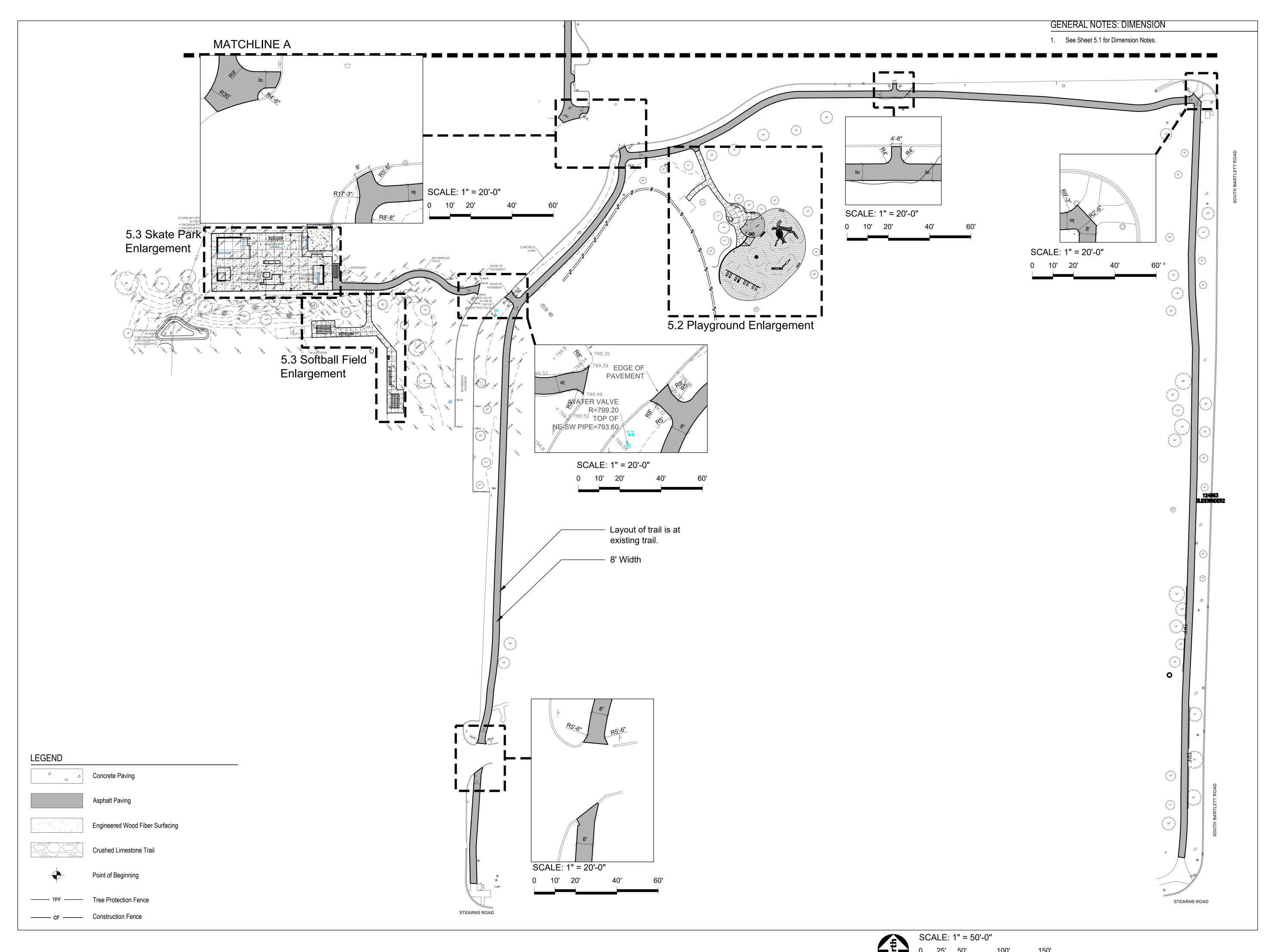
REVISIONS					
	MB/SF	Issue for Bid		27APR2023	
	ORIGIN	AL ISSUE DATE			
	ISSUE	FOR BID	27	APR2023	
	PROJE	CT NUMBER			

1115

SHEET TITLE

Layout Plan -**Enlargements**

SHEET NUMBER





PROJECT

Apple Orchard Community Park Renovations

692 W Stearns Road Bartlett, Illinois, 60103

PROJECT TEAM



uplandDesign Itd

Landscape Architecture & Park Planning 1224 N North Branch St, Ste. 220A Chicago, Illinois 60642 24042 Lockport St, Plainfield, Illinois 60544 815-254-0091 www.uplandDesign.com

SURVEYOR JLH Land Surveying Inc. 910 Geneva Street

Shorewood, Illinois 60404 Phone: 815-729-4000

CIVIL ENGINEERING:

Engineering Resource Associates 3S701 West Avenue, Suite 150 Warrenville, IL 60555

REVISIONS				
27APR2023				
ORIGINAL ISSUE DATE SSUE FOR BID 27APR2023				

ISSUE FOR BID

PROJECT NUMBER

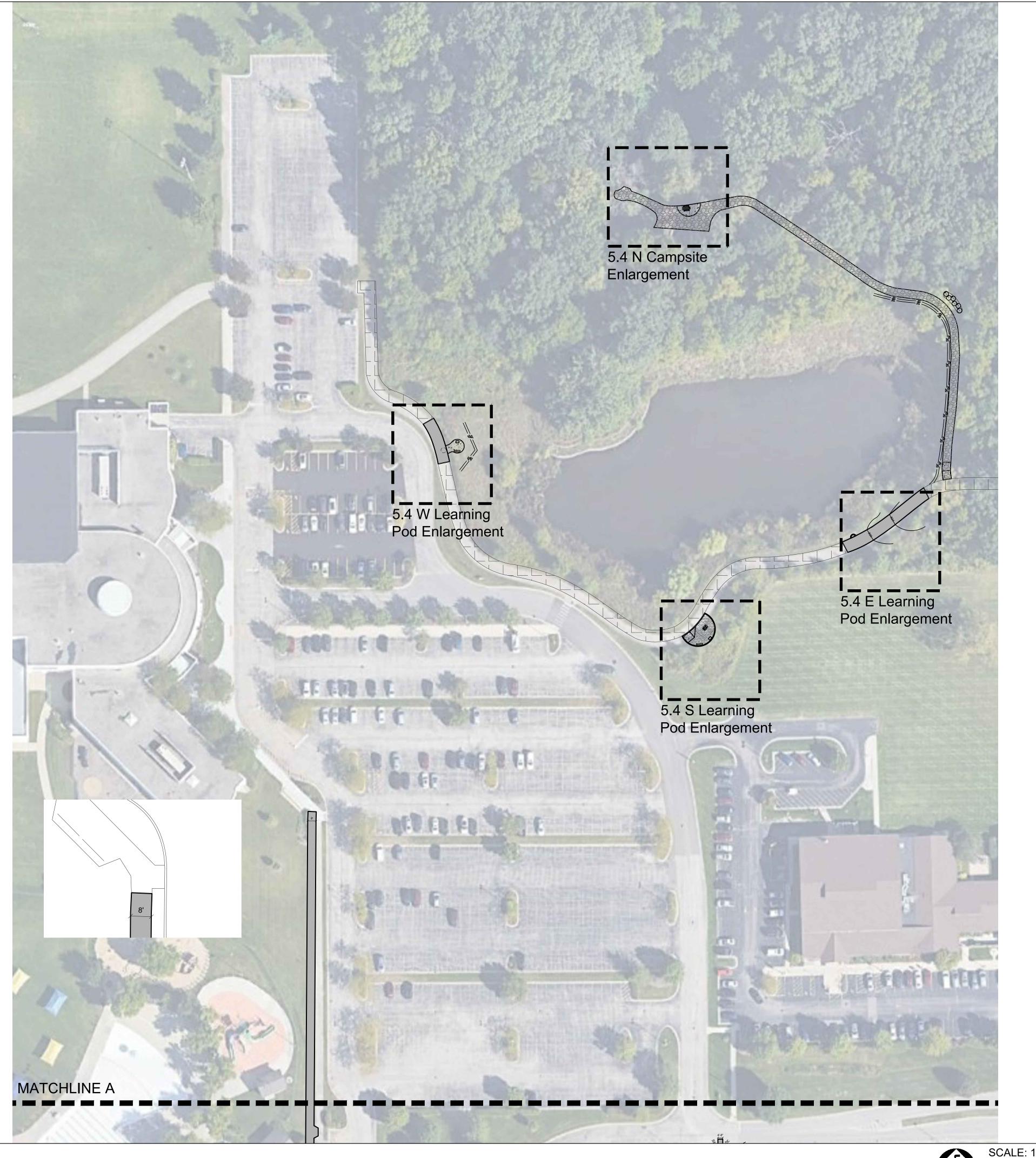
1115

SHEET TITLE

Overall Dimension Plan - South

SHEET NUMBER

5.0



GENERAL NOTES: DIMENSION

- Layout of equipment is to center of post.
- 2. Layout play equipment with safety zones to be staked by the Contractor for
- review by Owner's Representative prior to play equipment installation.

 3. Paving radii shall be formed completely and shall smoothly transition into tangents and adjoining lines. Dimensions are to face of curb and edge of pavement unless otherwise specified.
- 4. Dimensions are in feet or degrees. Dimensions are perpendicular & parallel unless otherwise noted.
- 5. See Layout Plan, Sheet 5.0 for additional general notes and referenced
- specifications and codes.

 Contractor shall perform all construction layout for the project. Contractor will be provided with an electronic file in AutoCAD format to assist with layout. Neither the Owner nor their representative shall be responsible for setting additional layout points.



696 W Stearns Road Bartlett, IL, 60103 Phone: 630-540-4800

PROJECT

Apple Orchard Community Park Renovations

692 W Stearns Road Bartlett, Illinois, 60103

PROJECT TEAM



Landscape Architecture & Park Planning 1224 N North Branch St, Ste. 220A Chicago, Illinois 60642

24042 Lockport St, Plainfield, Illinois 60544 815-254-0091 www.uplandDesign.com

SURVEYOR JLH Land Surveying Inc. 910 Geneva Street Shorewood, Illinois 60404 Phone: 815-729-4000

CIVIL ENGINEERING: Engineering Resource Associates 3S701 West Avenue, Suite 150

Warrenville, IL 60555

REVISIONS MB/SF Issue for Bid 27APR2023

27APR2023

ORIGINAL ISSUE DATE **ISSUE FOR BID**

PROJECT NUMBER

1115

SHEET TITLE

Overall Dimension Plan - North

SHEET NUMBER

5.1

SCALE: 1" = 50'-0"

LEGEND

Concrete Paving

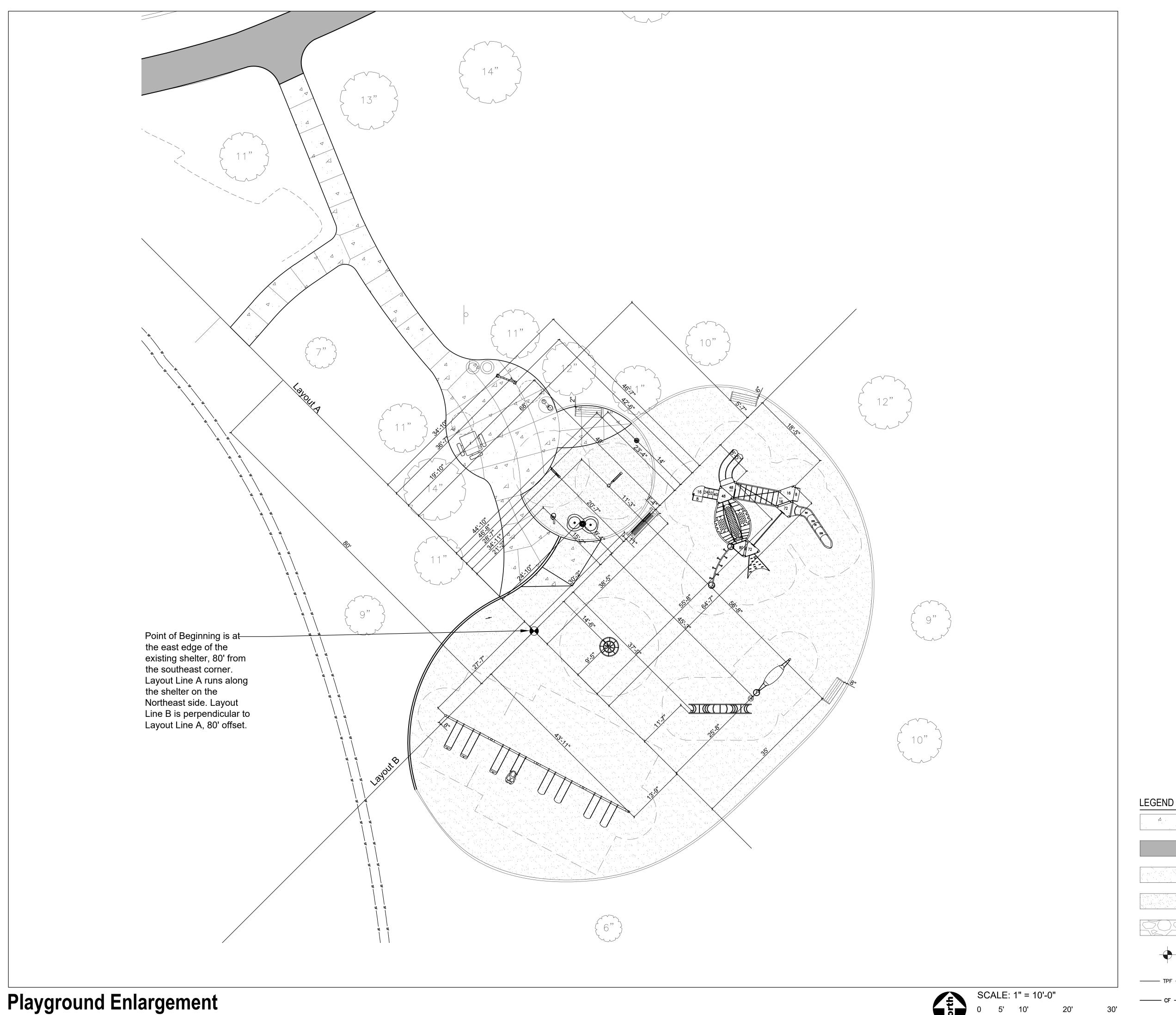
Asphalt Paving

Engineered Wood Fiber Surfacing

Crushed Limestone Trail

ALTERNATE: Asphalt Paving

Point of Beginning





PROJECT

Apple Orchard Community Park Renovations

692 W Stearns Road Bartlett, Illinois, 60103

PROJECT TEAM



uplandDesign Itd

Landscape Architecture & Park Planning 1224 N North Branch St, Ste. 220A Chicago, Illinois 60642 24042 Lockport St, Plainfield, Illinois 60544 815-254-0091 www.uplandDesign.com

SURVEYOR JLH Land Surveying Inc. 910 Geneva Street Shorewood, Illinois 60404 Phone: 815-729-4000

CIVIL ENGINEERING:

Engineering Resource Associates 3S701 West Avenue, Suite 150 Warrenville, IL 60555

REVISIONS			
MB/SF	27APR2023		
ORIGIN	NAL ISSUE DATE		

27APR2023

PROJECT NUMBER

1115

SHEET TITLE

ISSUE FOR BID

Dimension Plan -**Playground** Enlargement

SHEET NUMBER

—— cF —— Construction Fence

Tree Protection Fence

Concrete Paving

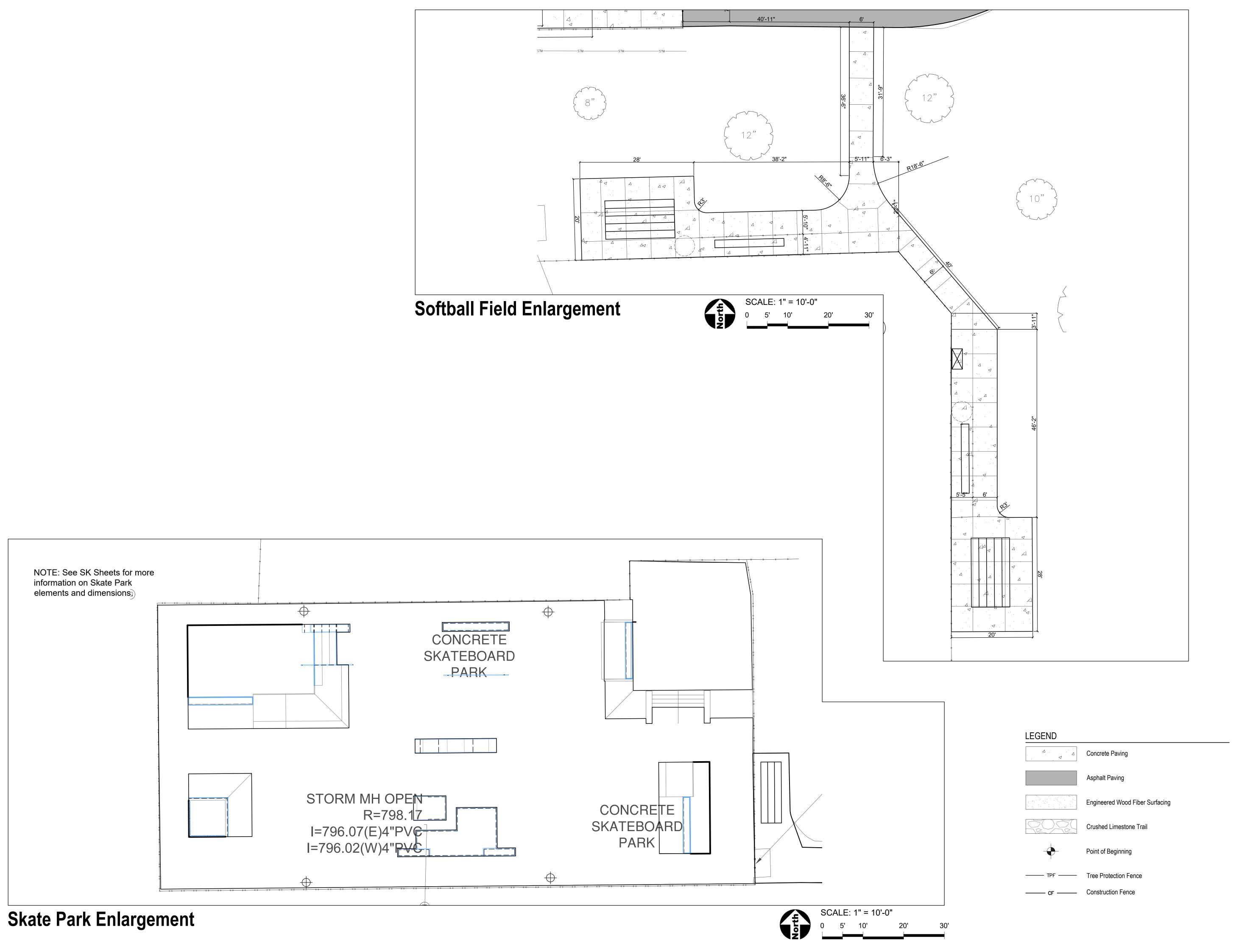
Asphalt Paving

Sand Surfacing

Crushed Limestone Trail

Point of Beginning

Engineered Wood Fiber Surfacing





PROJECT

Apple Orchard Community Park Renovations

692 W Stearns Road Bartlett, Illinois, 60103

PROJECT TEAM



uplandDesign Itd

Landscape Architecture & Park Planning

1224 N North Branch St, Ste. 220A Chicago, Illinois 60642 24042 Lockport St, Plainfield, Illinois 60544 815-254-0091 www.uplandDesign.com

SURVEYOR
JLH Land Surveying Inc.
910 Geneva Street
Shorewood, Illinois 60404

Phone: 815-729-4000

CIVIL ENGINEERING: Engineering Resource Associates 3S701 West Avenue, Suite 150 Warrenville, IL 60555

REVISIONS

MB/SF | Issue for Bid | 27APR2023

27APR2023

ISSUE FOR BID

PROJECT NUMBER

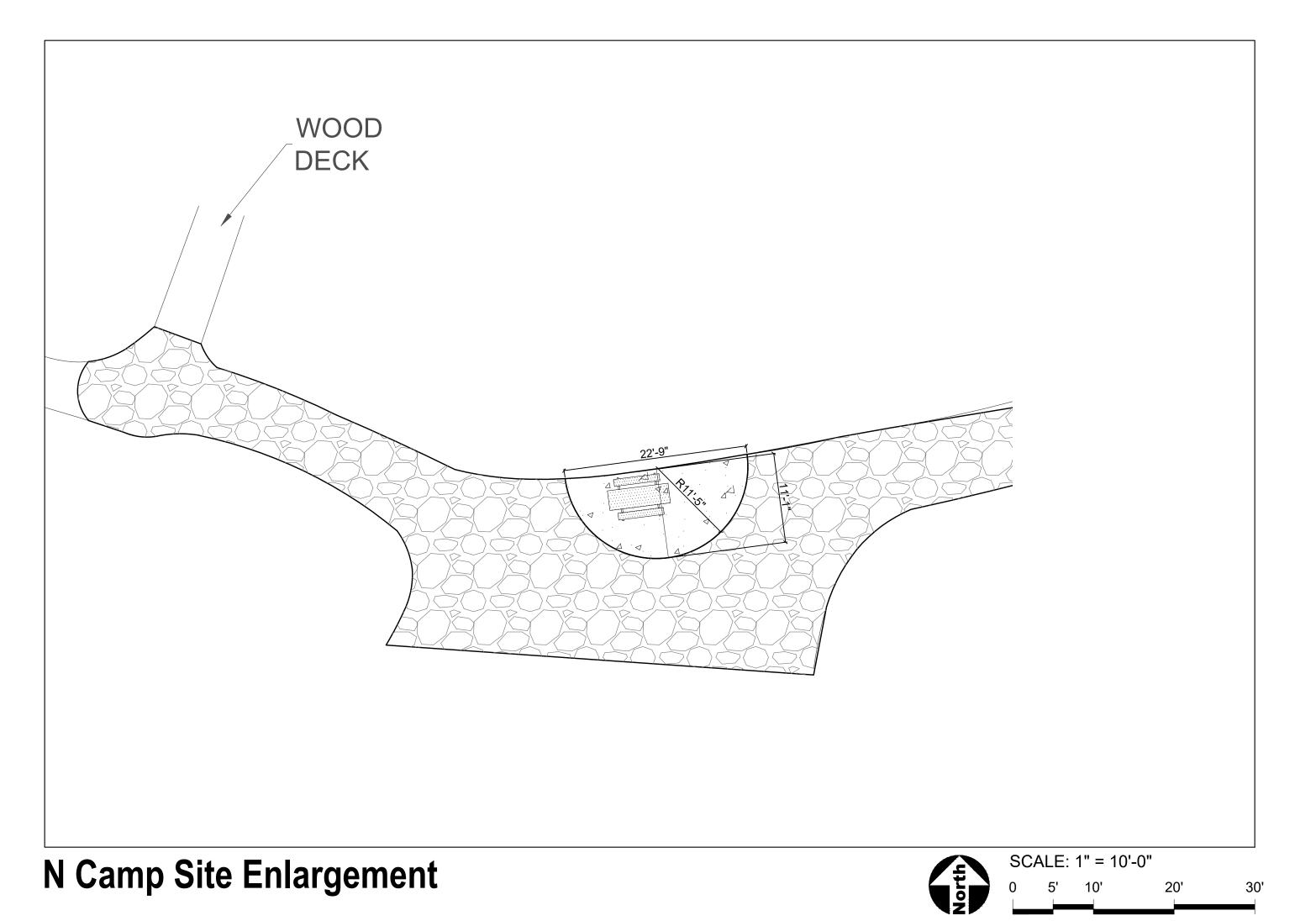
1115

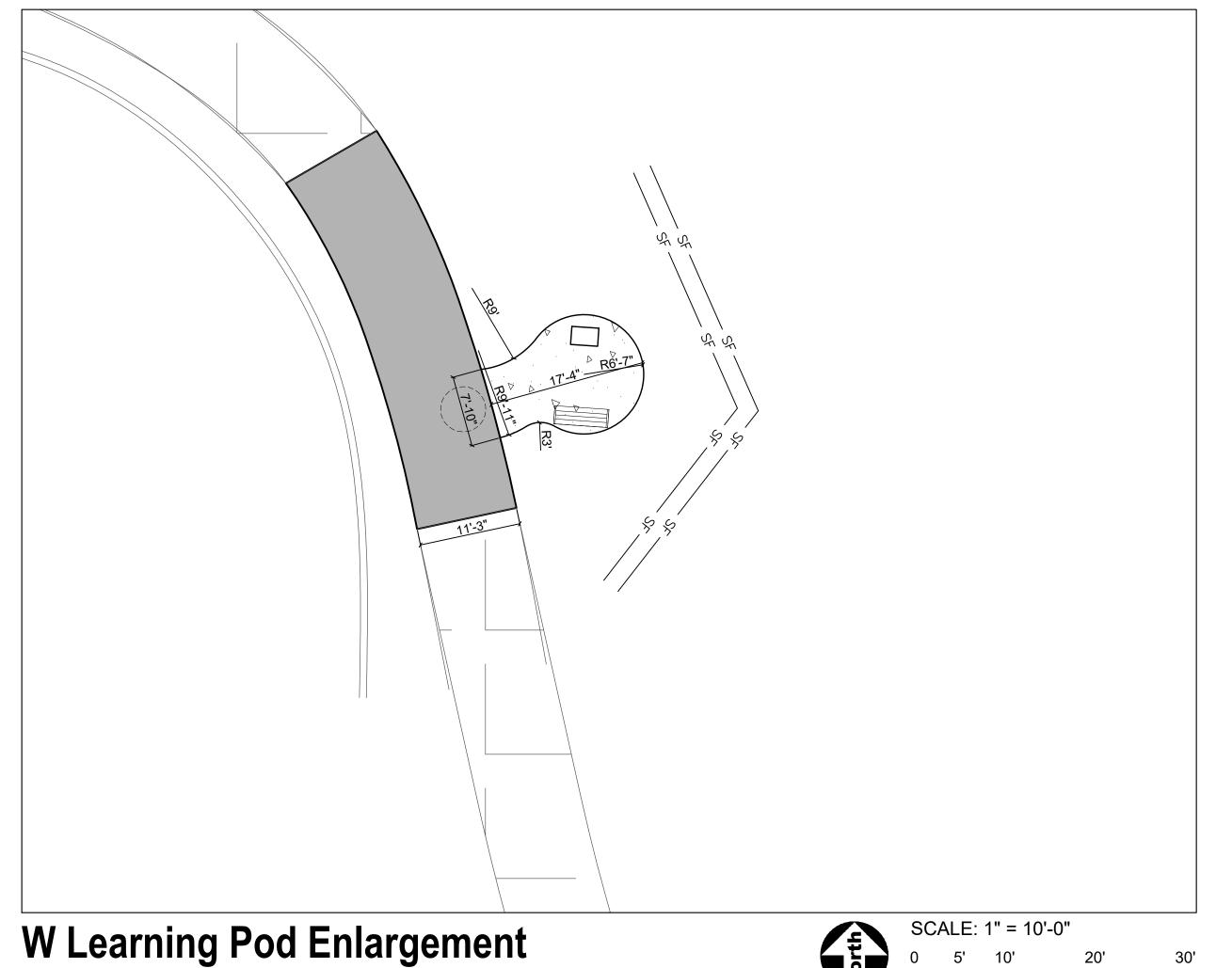
SHEET TITLE

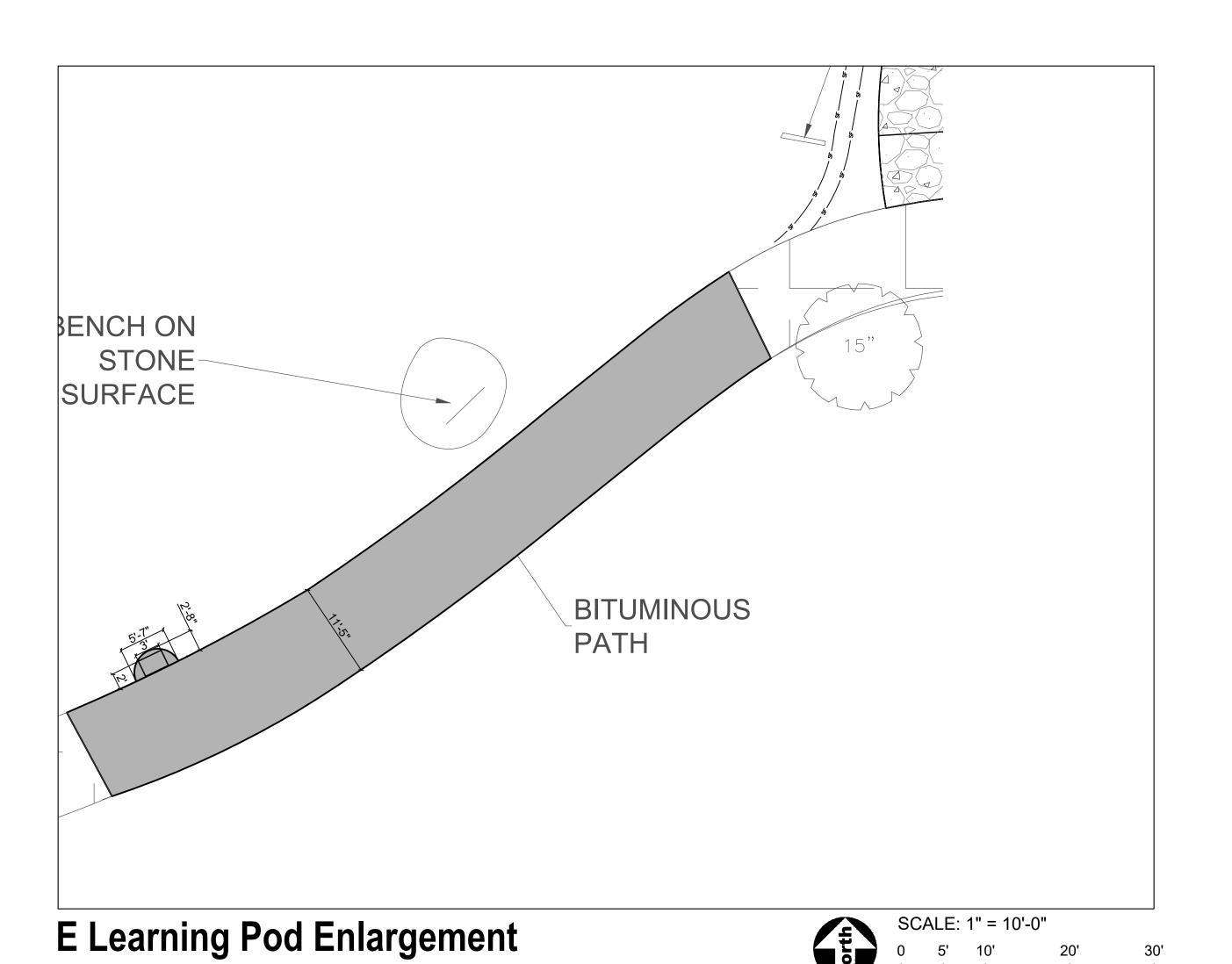
Dimension Plan -Enlargements

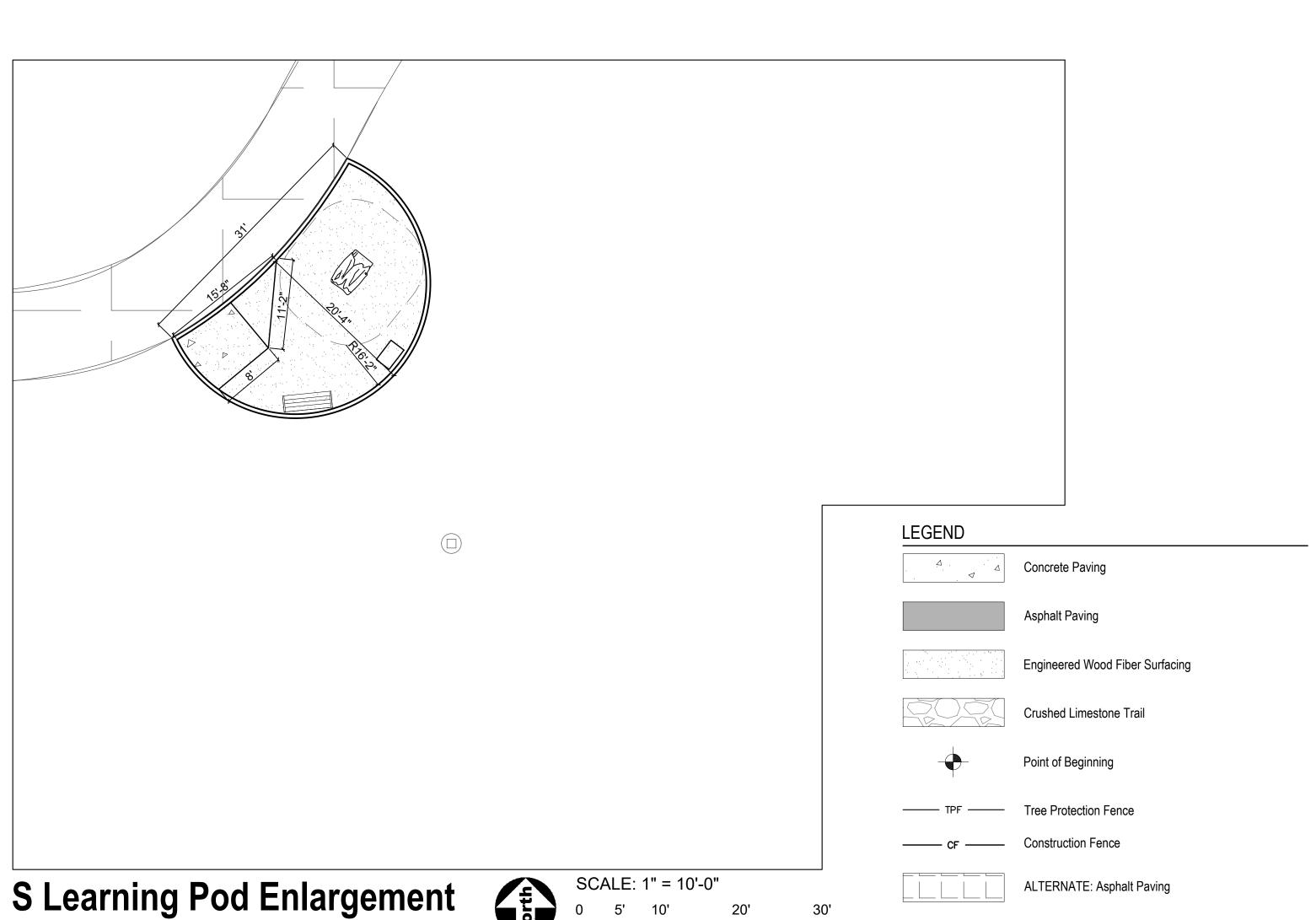
SHEET NUMBER

5.3











PROJECT

Apple Orchard Community Park Renovations

692 W Stearns Road Bartlett, Illinois, 60103

PROJECT TEAM



uplandDesign Itd

Landscape Architecture & Park Planning

1224 N North Branch St, Ste. 220A Chicago, Illinois 60642 24042 Lockport St, Plainfield, Illinois 60544 815-254-0091 www.uplandDesign.com

SURVEYOR

JLH Land Surveying Inc. 910 Geneva Street Shorewood, Illinois 60404 Phone: 815-729-4000

CIVIL ENGINEERING:

Engineering Resource Associates 3S701 West Avenue, Suite 150 Warrenville, IL 60555

REVISIONS				
MB/SF	27APR2023			
	1			
ORIGINAL ISSUE DATE				
ISSUE	FOR BID	27	APR2023	

PROJECT NUMBER

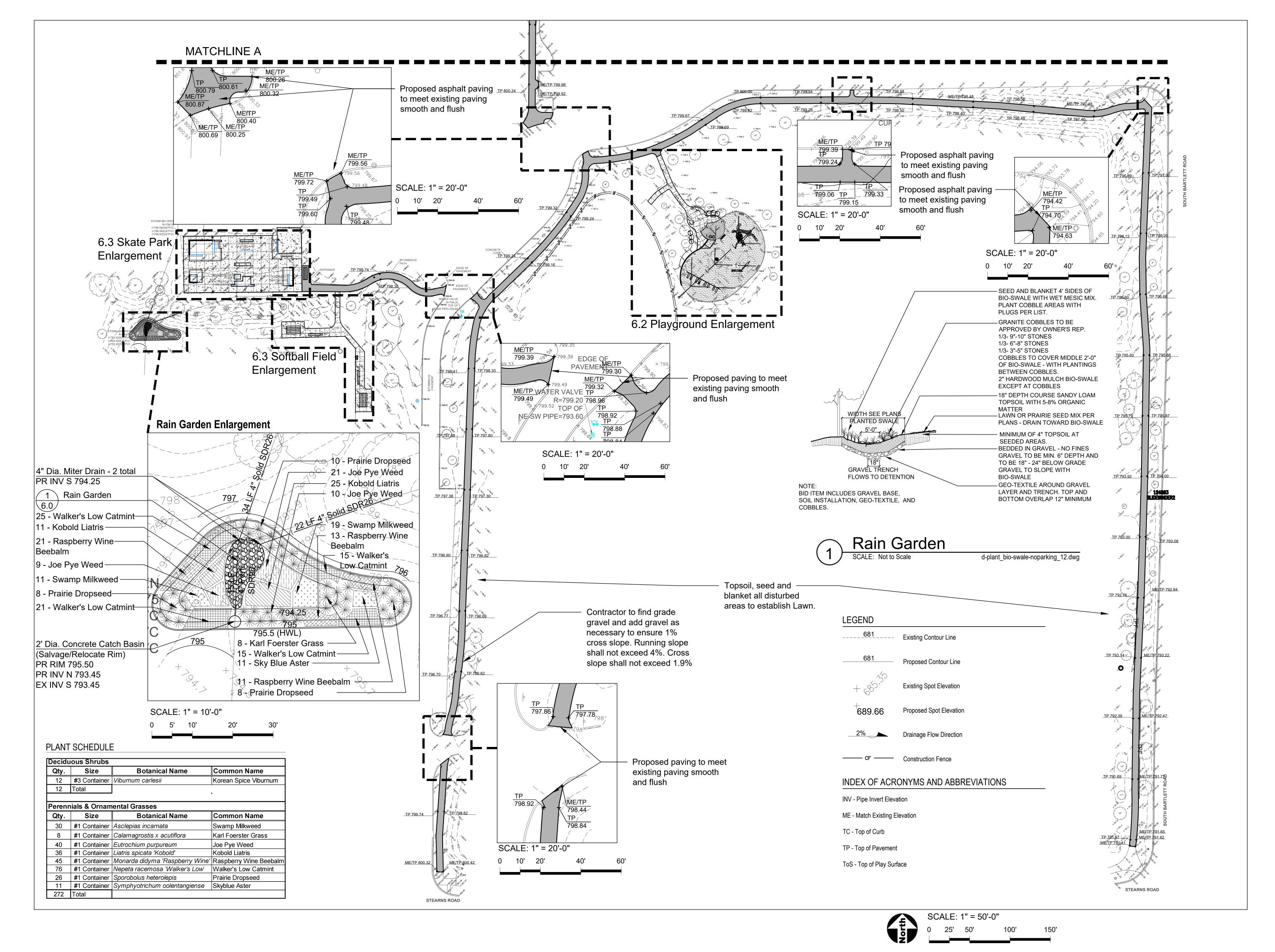
1115

SHEET TITLE

Dimension Plan - Enlargements

SHEET NUMBER

5.4





PROJECT

Apple Orchard Community Park Renovations

692 W Stearns Road Bartlett, Illinois, 60103

PROJECT TEAM



uplandDesign Itd

Landscape Architecture & Park Planning

1224 N North Branch St, Ste. 220A Chicago, Illinois 60642 24042 Lockport St, Plainfield, Illinois 60544 815-254-0091 www.uplandDesign.com

SURVEYOR

JLH Land Surveying Inc.

910 Geneva Street

Shorewood, Illinois 60404 Phone: 815-729-4000

CIVIL ENGINEERING: Engineering Resource Associates 3S701 West Avenue, Suite 150 Warrenville, IL 60555

REVISIONS					
MB/SF	27APR2023				

ORIGINAL ISSUE DATE

ISSUE FOR BID

PROJECT NUMBER

1115

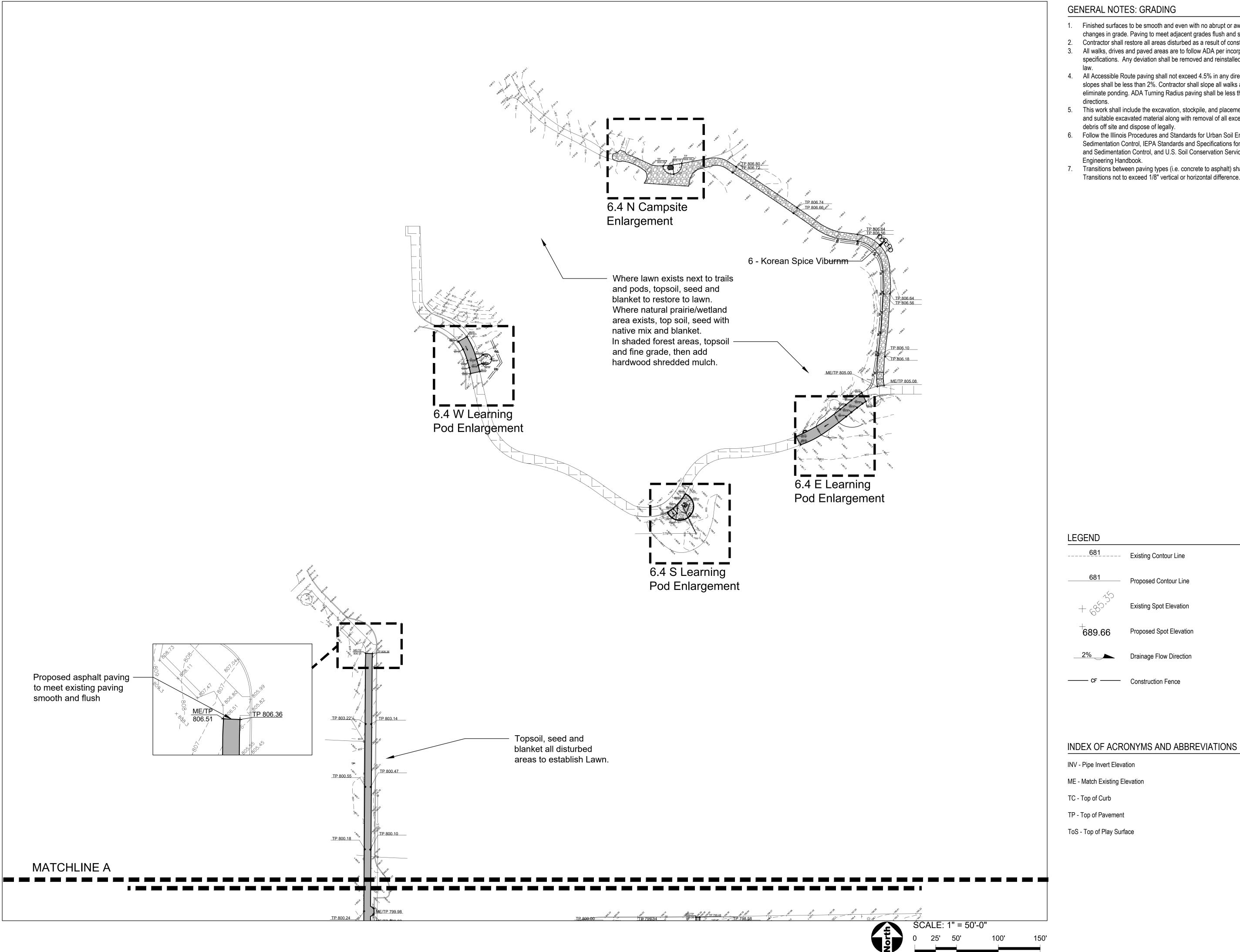
SHEET TITLE

Overall Grading & Restoration Plan - South

SHEET NUMBER

6.0

27APR2023



GENERAL NOTES: GRADING

- 1. Finished surfaces to be smooth and even with no abrupt or awkward changes in grade. Paving to meet adjacent grades flush and smooth.
- Contractor shall restore all areas disturbed as a result of construction. 3. All walks, drives and paved areas are to follow ADA per incorporated specifications. Any deviation shall be removed and reinstalled to follow this
- 4. All Accessible Route paving shall not exceed 4.5% in any direction. Cross slopes shall be less than 2%. Contractor shall slope all walks and slabs to eliminate ponding. ADA Turning Radius paving shall be less than 2% in all
- 5. This work shall include the excavation, stockpile, and placement of topsoil and suitable excavated material along with removal of all excess topsoil and debris off site and dispose of legally.
- Follow the Illinois Procedures and Standards for Urban Soil Erosion and Sedimentation Control, IEPA Standards and Specifications for Soil Erosion and Sedimentation Control, and U.S. Soil Conservation Service Field Engineering Handbook.
- Transitions between paving types (i.e. concrete to asphalt) shall be smooth. Transitions not to exceed 1/8" vertical or horizontal difference.

Existing Contour Line

Proposed Contour Line

Existing Spot Elevation

Proposed Spot Elevation

Drainage Flow Direction

— CF — Construction Fence

INV - Pipe Invert Elevation

TP - Top of Pavement

696 W Stearns Road Bartlett, IL, 60103 Phone: 630-540-4800

PROJECT

Apple Orchard Community Park Renovations

692 W Stearns Road Bartlett, Illinois, 60103

PROJECT TEAM



uplandDesign Itd

Landscape Architecture & Park Planning

1224 N North Branch St, Ste. 220A Chicago, Illinois 60642 24042 Lockport St, Plainfield, Illinois 60544 815-254-0091 www.uplandDesign.com

SURVEYOR JLH Land Surveying Inc. 910 Geneva Street

Shorewood, Illinois 60404 Phone: 815-729-4000

CIVIL ENGINEERING:

Engineering Resource Associates 3S701 West Avenue, Suite 150 Warrenville, IL 60555

REVISIONS

MB/SF Issue for Bid 27APR2023

27APR2023

ORIGINAL ISSUE DATE **ISSUE FOR BID**

PROJECT NUMBER

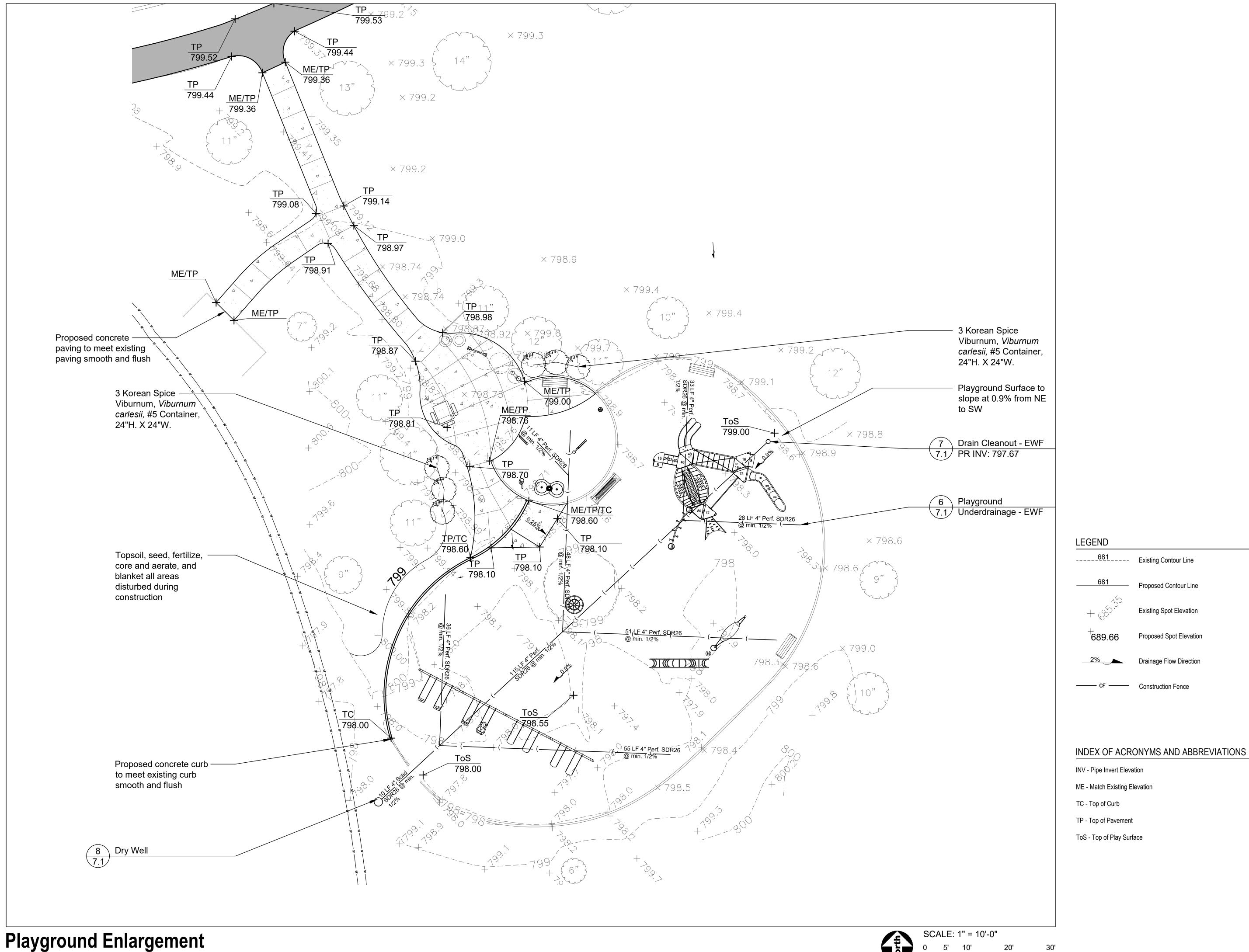
1115

SHEET TITLE

Overall Grading & **Restoration Plan -**North

SHEET NUMBER

6.1





PROJECT

Apple Orchard Community Park Renovations

692 W Stearns Road Bartlett, Illinois, 60103

PROJECT TEAM



uplandDesign Itd

1224 N North Branch St, Ste. 220A Chicago, Illinois 60642 24042 Lockport St, Plainfield, Illinois 60544 815-254-0091 www.uplandDesign.com

Landscape Architecture & Park Planning

SURVEYOR JLH Land Surveying Inc. 910 Geneva Street Shorewood, Illinois 60404 Phone: 815-729-4000

CIVIL ENGINEERING: Engineering Resource Associates

3S701 West Avenue, Suite 150 Warrenville, IL 60555

Existing Contour Line

Proposed Contour Line

Existing Spot Elevation

Proposed Spot Elevation

Drainage Flow Direction

REVISIONS MB/SF Issue for Bid 27APR2023

ORIGINAL ISSUE DATE **ISSUE FOR BID**

PROJECT NUMBER

1115

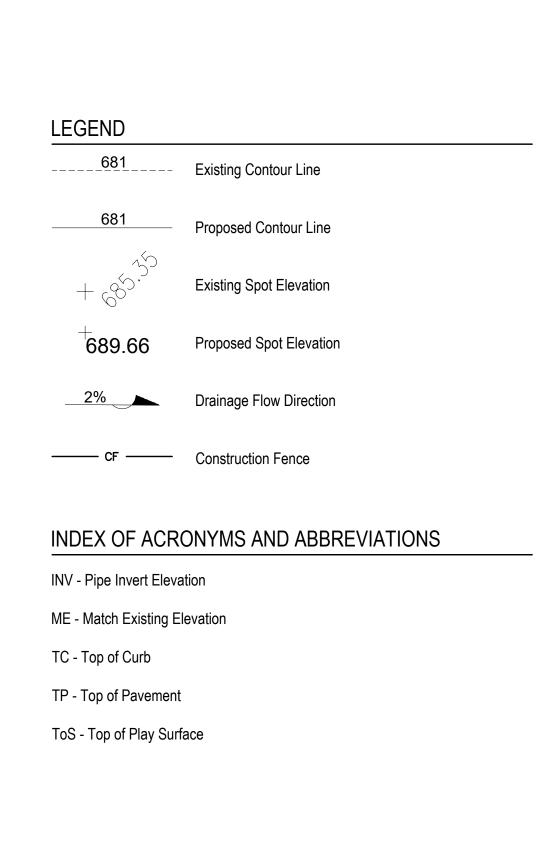
SHEET TITLE

Grading & Restoration Plan -Playground **Enlargement**

SHEET NUMBER

6.2

27APR2023



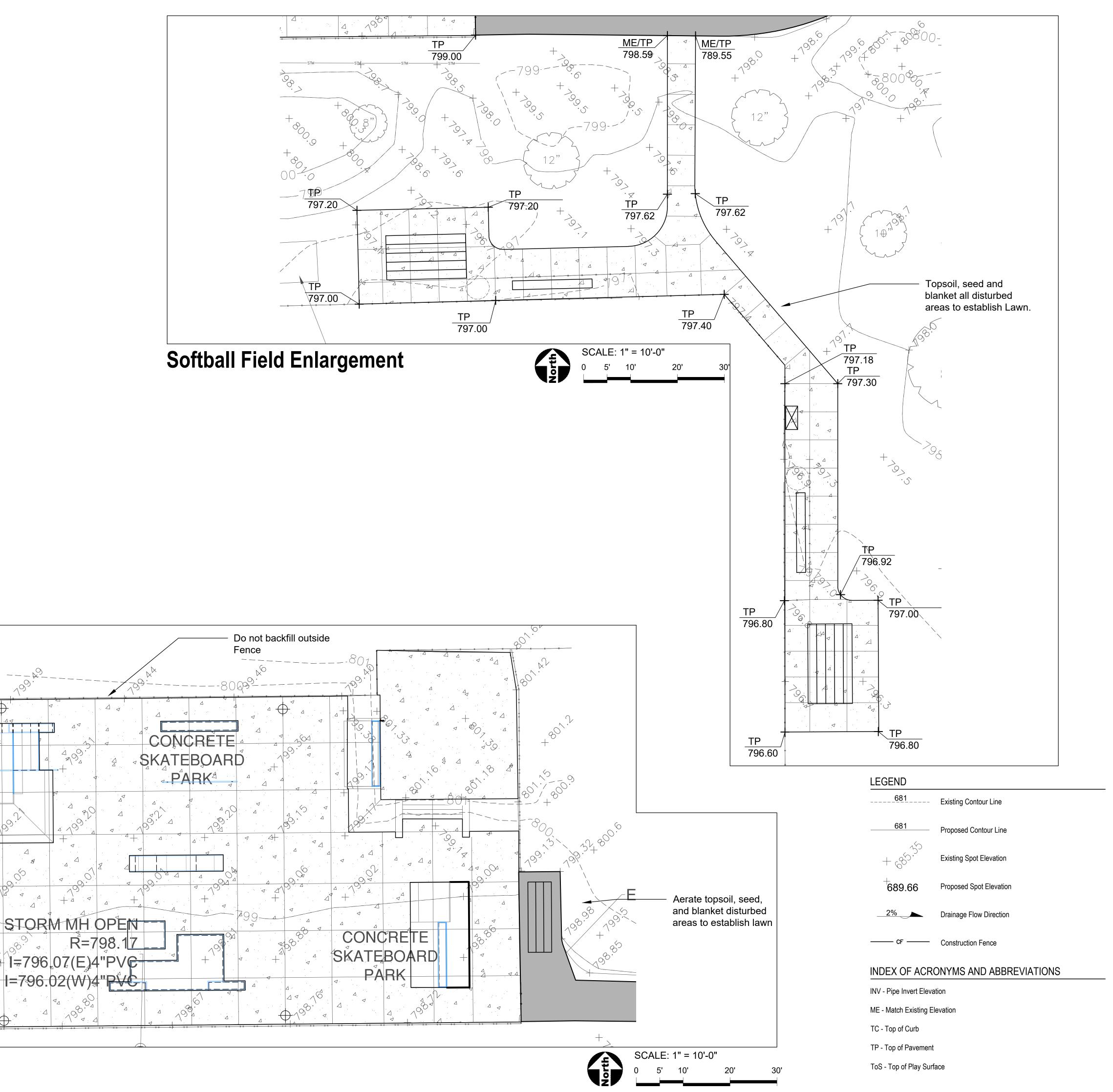
NOTE: See SK Sheets for more

R=798.17

information on Skate Park

elements and grading.

Skate Park Enlargement



696 W Stearns Road Bartlett, IL, 60103 Phone: 630-540-4800

PROJECT

Apple Orchard Community Park Renovations

692 W Stearns Road Bartlett, Illinois, 60103

PROJECT TEAM



uplandDesign Itd

1224 N North Branch St, Ste. 220A Chicago, Illinois 60642 24042 Lockport St, Plainfield, Illinois 60544 815-254-0091 www.uplandDesign.com

Landscape Architecture & Park Planning

SURVEYOR JLH Land Surveying Inc. 910 Geneva Street

Shorewood, Illinois 60404 Phone: 815-729-4000

CIVIL ENGINEERING: Engineering Resource Associates 3S701 West Avenue, Suite 150 Warrenville, IL 60555

REVISIONS MB/SF Issue for Bid 27APR2023 ORIGINAL ISSUE DATE

27APR2023

ISSUE FOR BID

PROJECT NUMBER

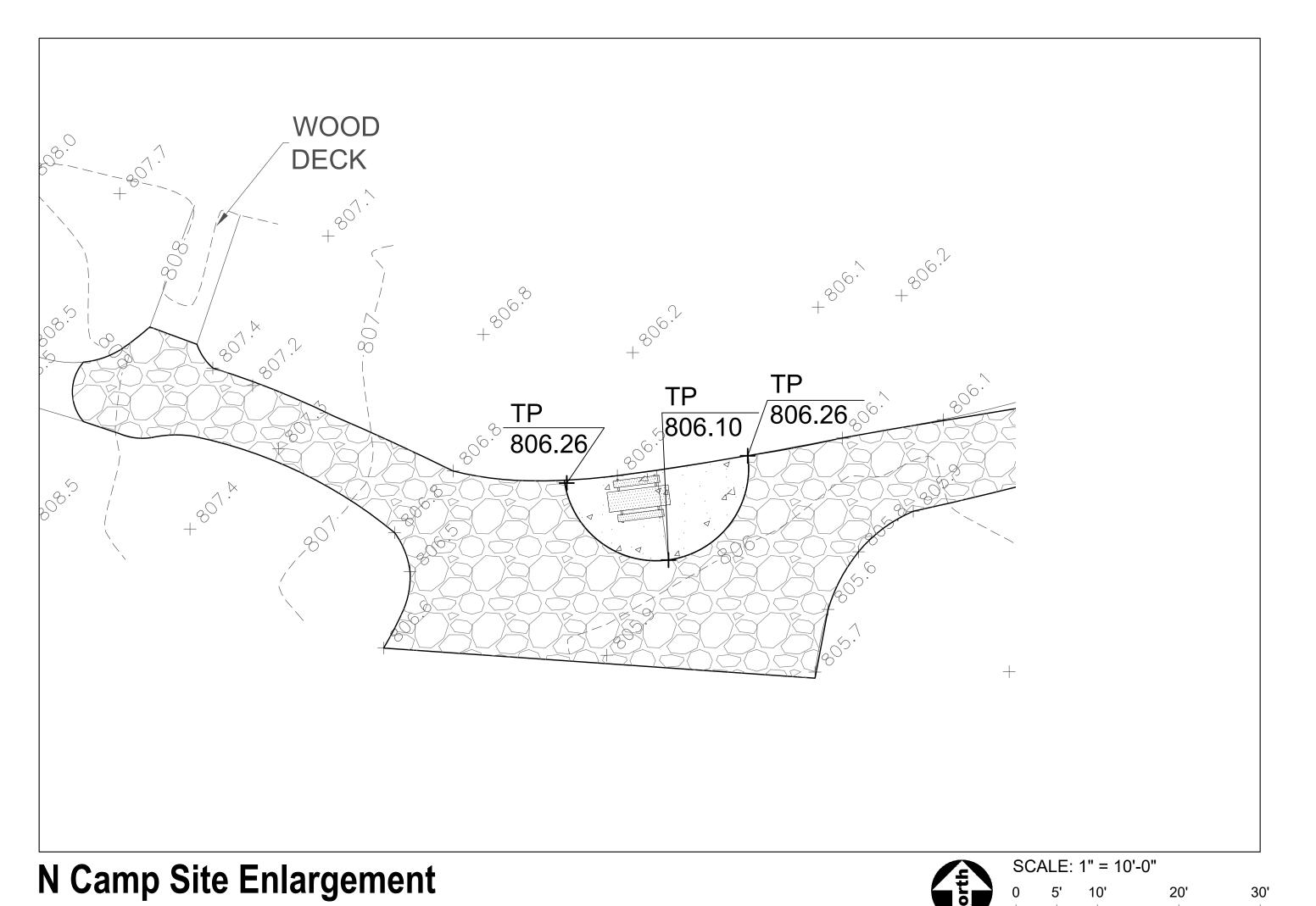
1115

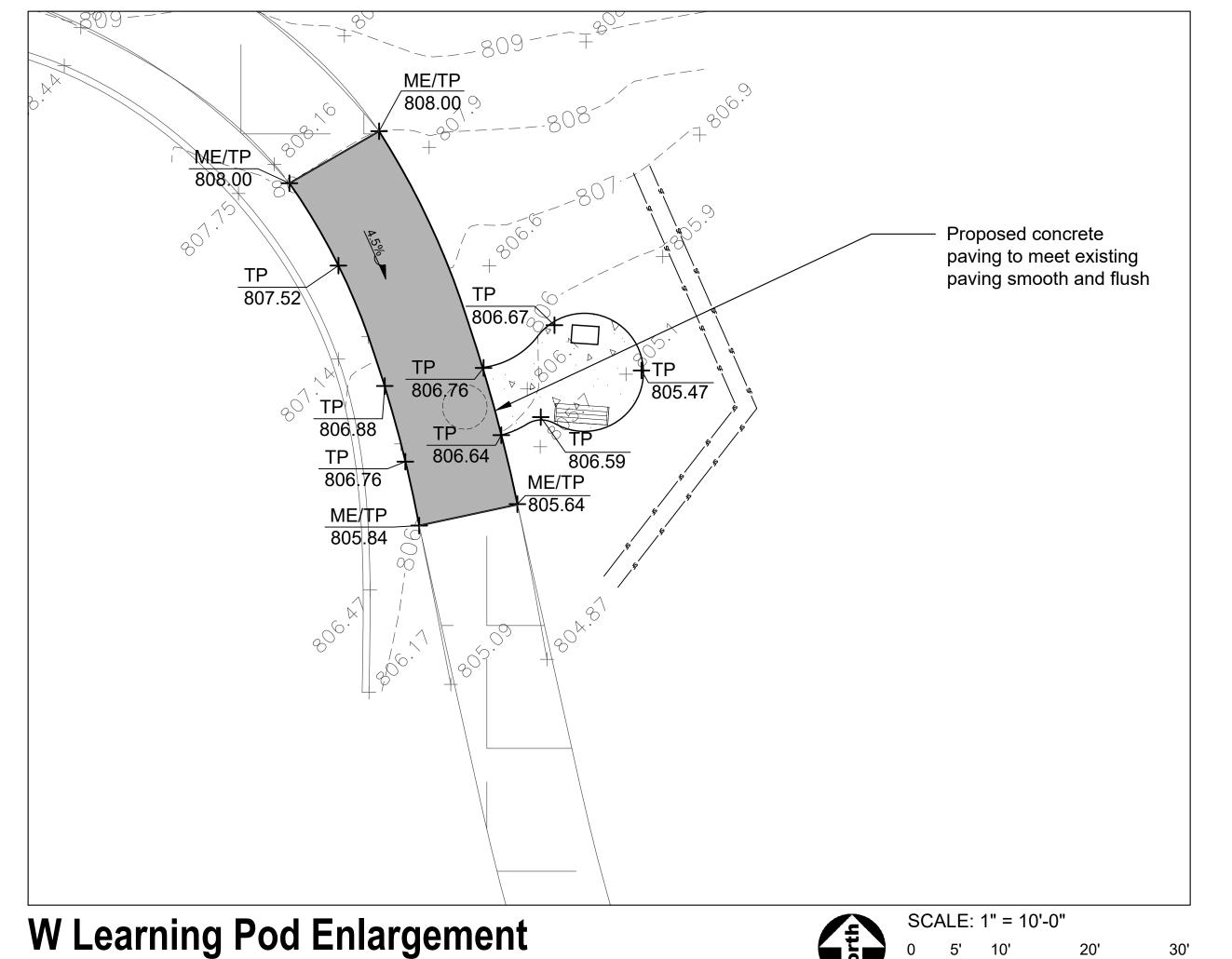
SHEET TITLE

Grading & Restoration Plan -Enlargements

SHEET NUMBER

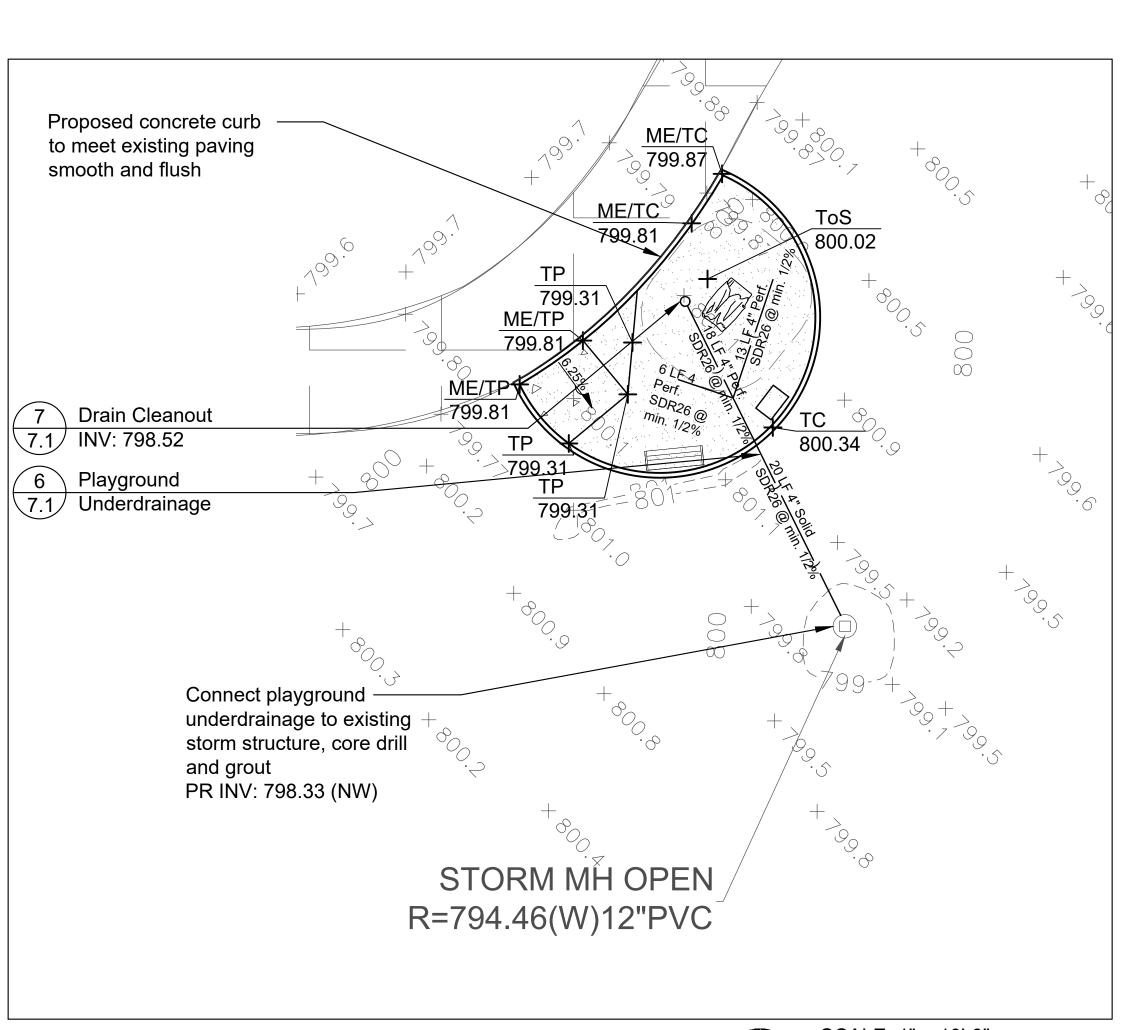
6.3

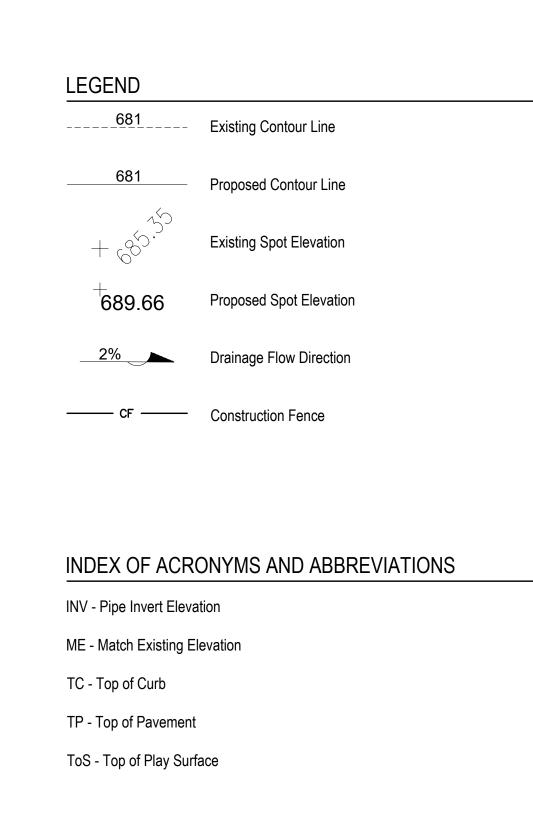




ME/TP 804.56 804.47 804.36₂ 804.54 804.42 Proposed concrete 804.29 paving to meet existing paving smooth and flush 804.17 802.00 ME/TP 802.00

E Learning Pod Enlargement







696 W Stearns Road Bartlett, IL, 60103 Phone: 630-540-4800

PROJECT

Apple Orchard Community Park Renovations

692 W Stearns Road Bartlett, Illinois, 60103

PROJECT TEAM



uplandDesign Itd Landscape Architecture & Park Planning

1224 N North Branch St, Ste. 220A 24042 Lockport St, Plainfield, Illinois 60544 815-254-0091 www.uplandDesign.com

SURVEYOR JLH Land Surveying Inc.

910 Geneva Street Shorewood, Illinois 60404 Phone: 815-729-4000

CIVIL ENGINEERING:

Engineering Resource Associates 3S701 West Avenue, Suite 150 Warrenville, IL 60555

REVISIONS MB/SF Issue for Bid 27APR2023

ORIGINAL ISSUE DATE

ISSUE FOR BID

PROJECT NUMBER

1115

SHEET TITLE

Grading & Restoration Plan -Enlargements

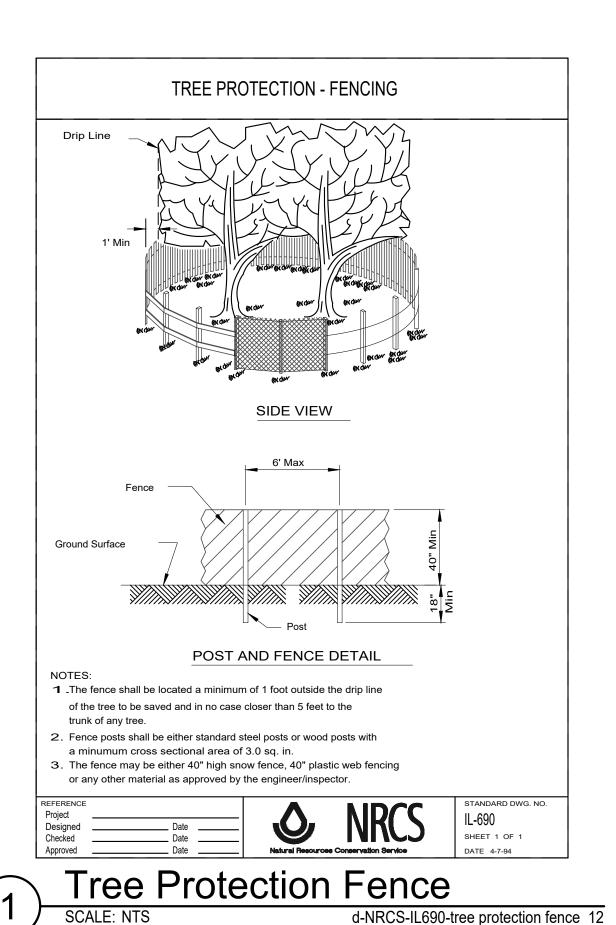
SHEET NUMBER

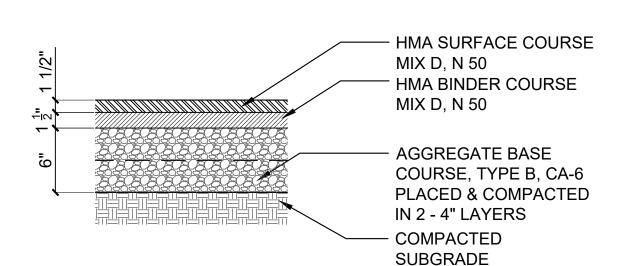
6.4

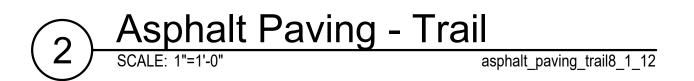
27APR2023

© Copyright 2023 Upland Design Ltd.

S Learning Pod Enlargement







2 ASPHALT TRAIL

PATH.

VARIES

7.0 SLOPE DIRECTION PER

—EXTEND GRAVEL

BASE 6" BEYOND

EDGE OF PAVING.

EXISTING GRADE

AS NECESSARY,

SHOULDER

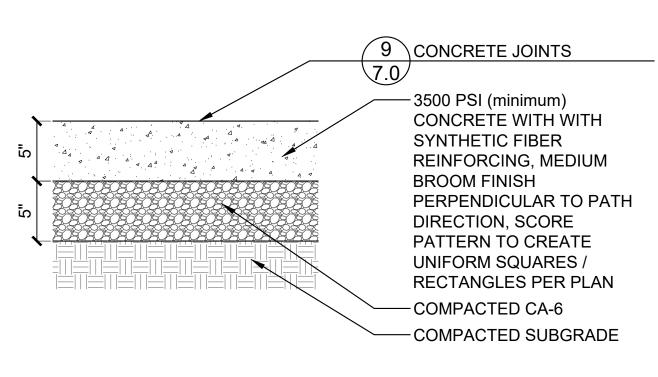
6:1 MAX

-6" TOPSOIL AND SEED

TYPICAL BOTH SIDES

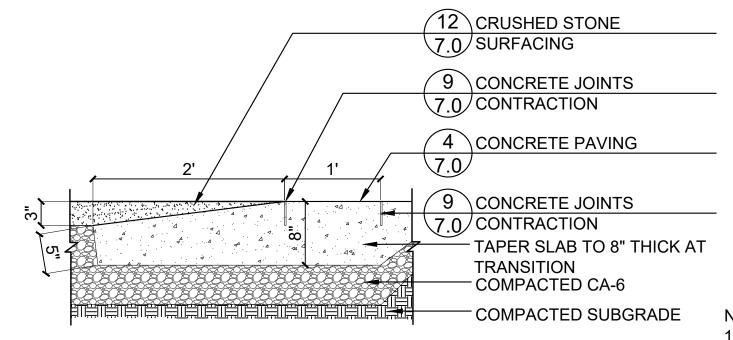
PLANS, ENSURE POSITIVE

DRAINAGE AWAY FROM

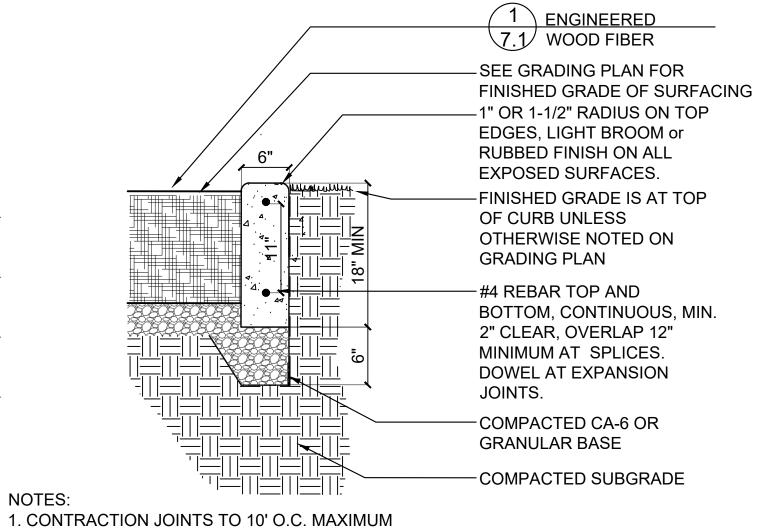


Concrete Paving

SCALE: 1 1/2" = 1'-0" d-conc pav-5 8

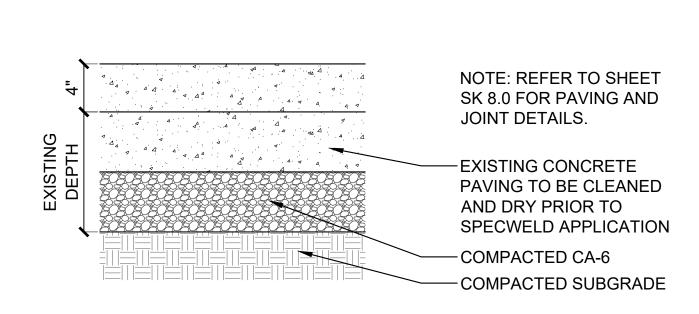


Concrete to Stone Transition detail drawing sorted.dwg



2. EXPANSION JOINTS TO BE 30' O.C. MAXIMUM Curb at Playground

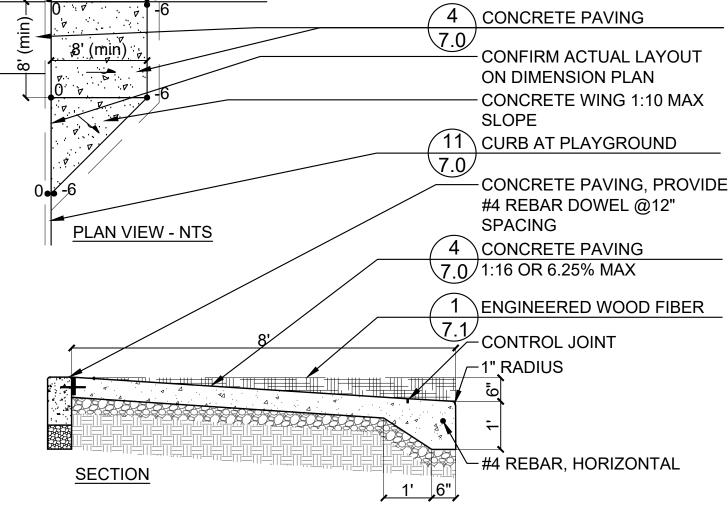
det-curb play PROJECT TEAM



Concrete Lift at Skate Park

SCALE: 1 1/2" = 1'-0"

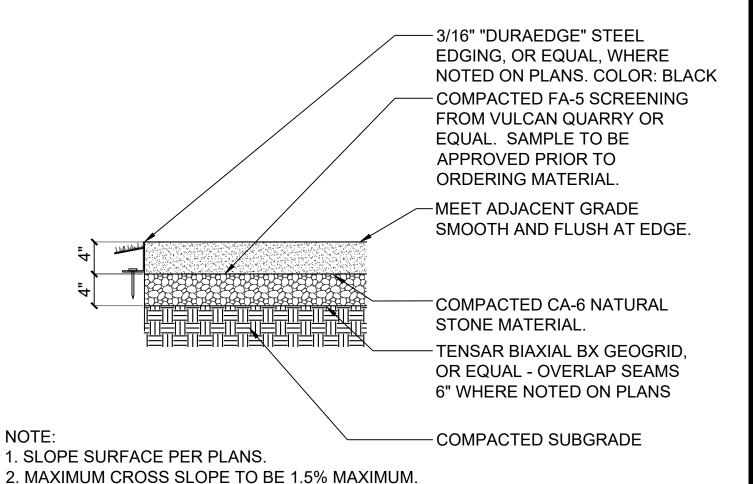
d-skatepark conc



Concrete Sloped Entry - One Wing

SCALE: 1/2"=1'-0"

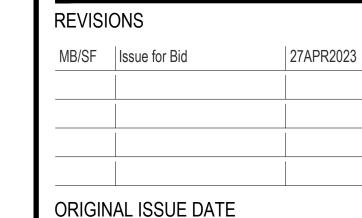
d-conc_sloped entry one wing_24



REP; PLACE AT AREAS OF UNSUITABLE SUBGRADE. 4. COMPOSITION TO BE 90% MINIMUM.

Crushed Limestone Trail Limestone-FA5 A

3. GEOTEXTILE PER BID QUANTITY - OR LESS IF NOT APPROVED BY OWNER'S



696 W Stearns Road

Phone: 630-540-4800

Apple Orchard

Renovations

692 W Stearns Road

Bartlett, Illinois, 60103

Community Park

uplandDesign Itd

Landscape Architecture & Park Planning

1224 N North Branch St, Ste. 220A

Chicago, Illinois 60642 24042 Lockport St, Plainfield, Illinois 60544

815-254-0091 www.uplandDesign.com

SURVEYOR

JLH Land Surveying Inc.

Shorewood, Illinois 60404

Phone: 815-729-4000

CIVIL ENGINEERING:

Warrenville, IL 60555

Engineering Resource Associates

3S701 West Avenue, Suite 150

910 Geneva Street

Bartlett, IL, 60103

PROJECT

ISSUE FOR BID

PROJECT NUMBER

1115

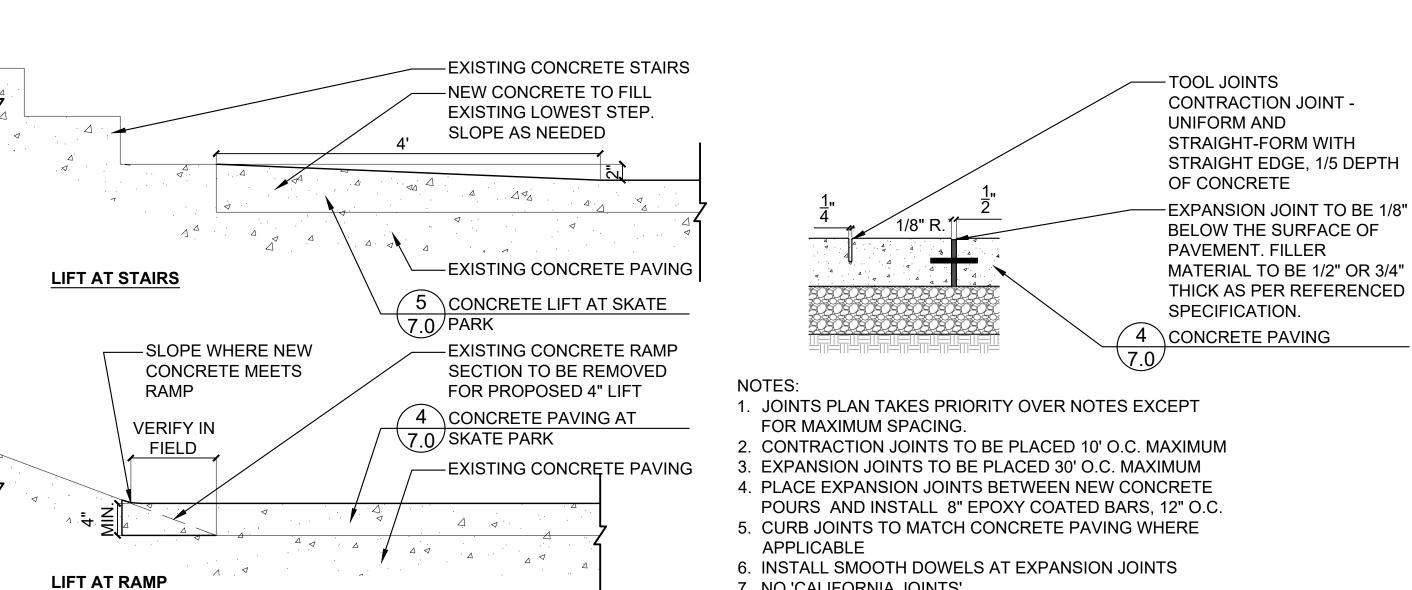
SHEET TITLE

Construction **Details**

SHEET NUMBER

7.0

27APR2023



7. NO 'CALIFORNIA JOINTS' Concrete Lift Near Stairs and Ramp (9)

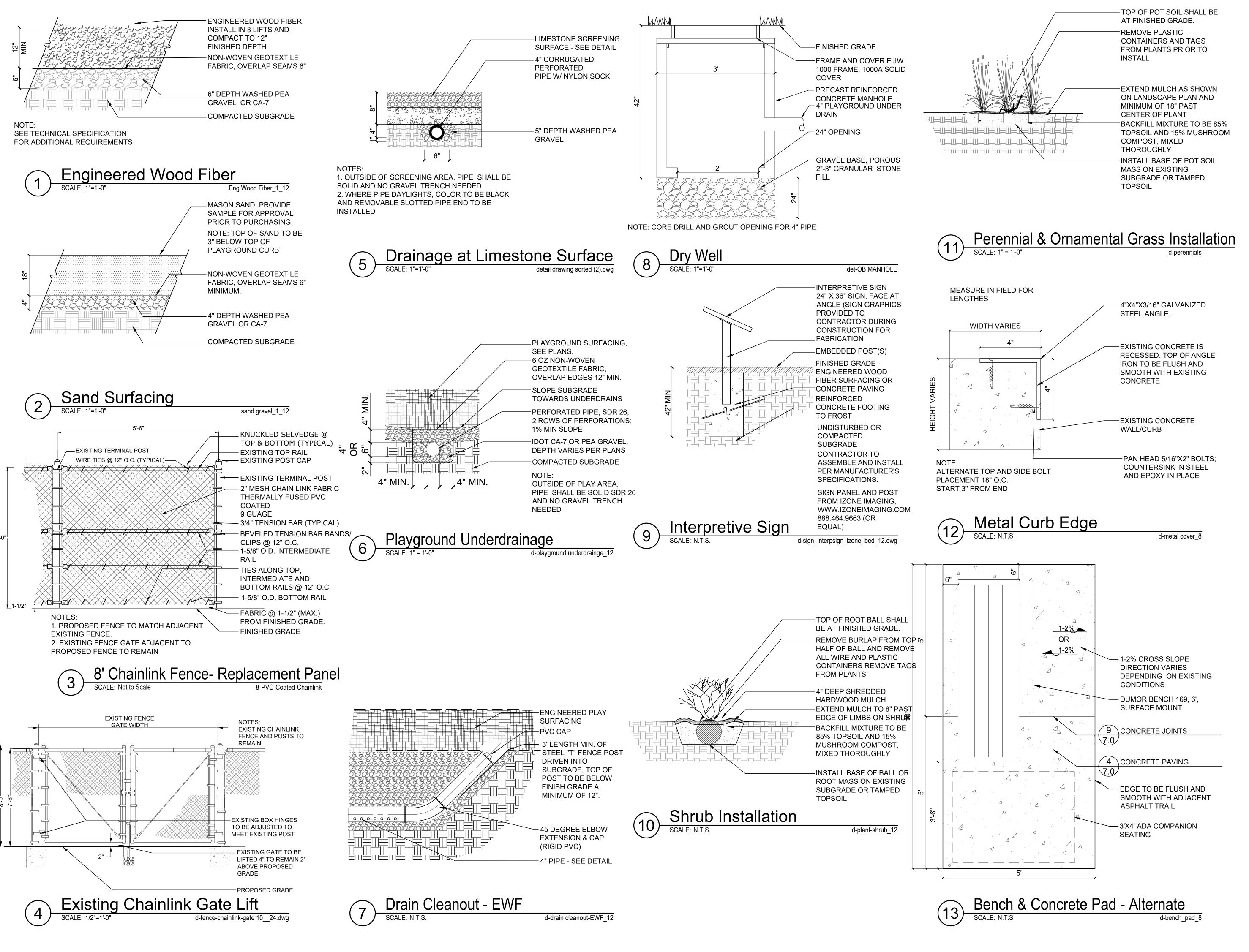
d-conc_joints_8.dwg

Asphalt Trail Section 8' d-asph trail section 8 NTS

Less than 2% Cross Slope

SHOULDER

€—6:1 MAX





PROJECT

Apple Orchard Community Park Renovations

692 W Stearns Road Bartlett, Illinois, 60103

PROJECT TEAM



uplandDesign Itd

Landscape Architecture & Park Planning 1224 N North Branch St, Ste. 220A Chicago, Illinois 60642 24042 Lockport St, Plainfield, Illinois 60544

815-254-0091 www.uplandDesign.com

JLH Land Surveying Inc. 910 Geneva Street Shorewood, Illinois 60404

Phone: 815-729-4000

Warrenville, IL 60555

CIVIL ENGINEERING: Engineering Resource Associates 3S701 West Avenue, Suite 150

REVISIONS

MB/SF | Issue for Bid

27APR2023

27APR2023

ORIGINAL ISSUE DATE

ORIGINAL ISSUE DATE

PROJECT NUMBER

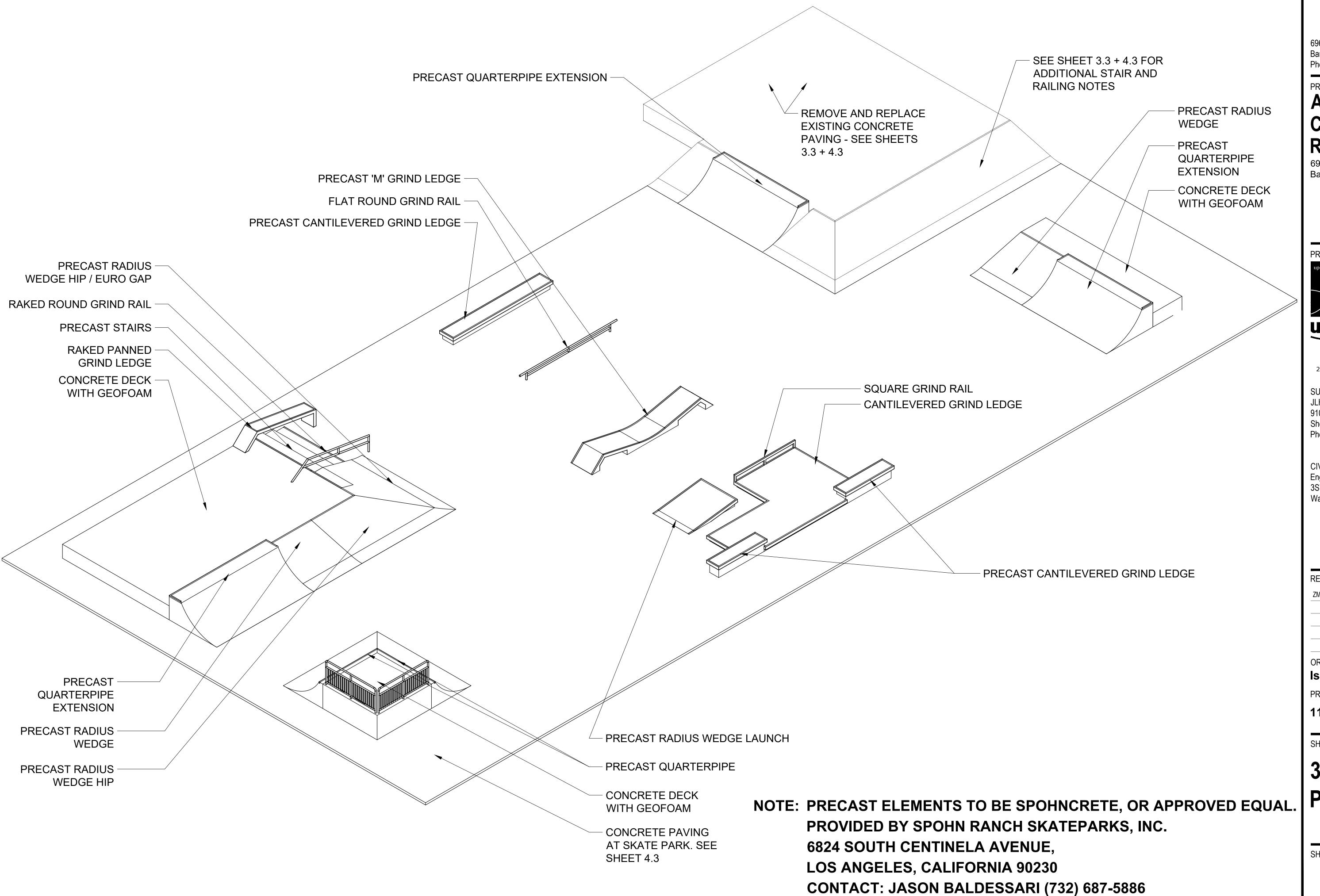
1115

SHEET TITLE

| Construction | Details

SHEET NUMBER

7.



PROJECT

Apple Orchard Community Park Renovations

692 W Stearns Road Bartlett, Illinois, 60103

PROJECT TEAM



uplandDesign Itd

Landscape Architecture & Park Planning 1224 N North Branch St, Ste. 220A Chicago, Illinois 60642 24042 Lockport St, Plainfield, Illinois 60544 815-254-0091 www.uplandDesign.com

815-254-0091 www.uplandDesign.

JLH Land Surveying Inc. 910 Geneva Street Shorewood, Illinois 60404 Phone: 815-729-4000

CIVIL ENGINEERING:

Engineering Resource Associates 3S701 West Avenue, Suite 150 Warrenville, IL 60555



REVISIONS

ZM	ISSUE FOR BID	27APR2023
	•	

ORIGINAL ISSUE DATE

Issue for Bid

PROJECT NUMBER

1115

SHEET TITLE

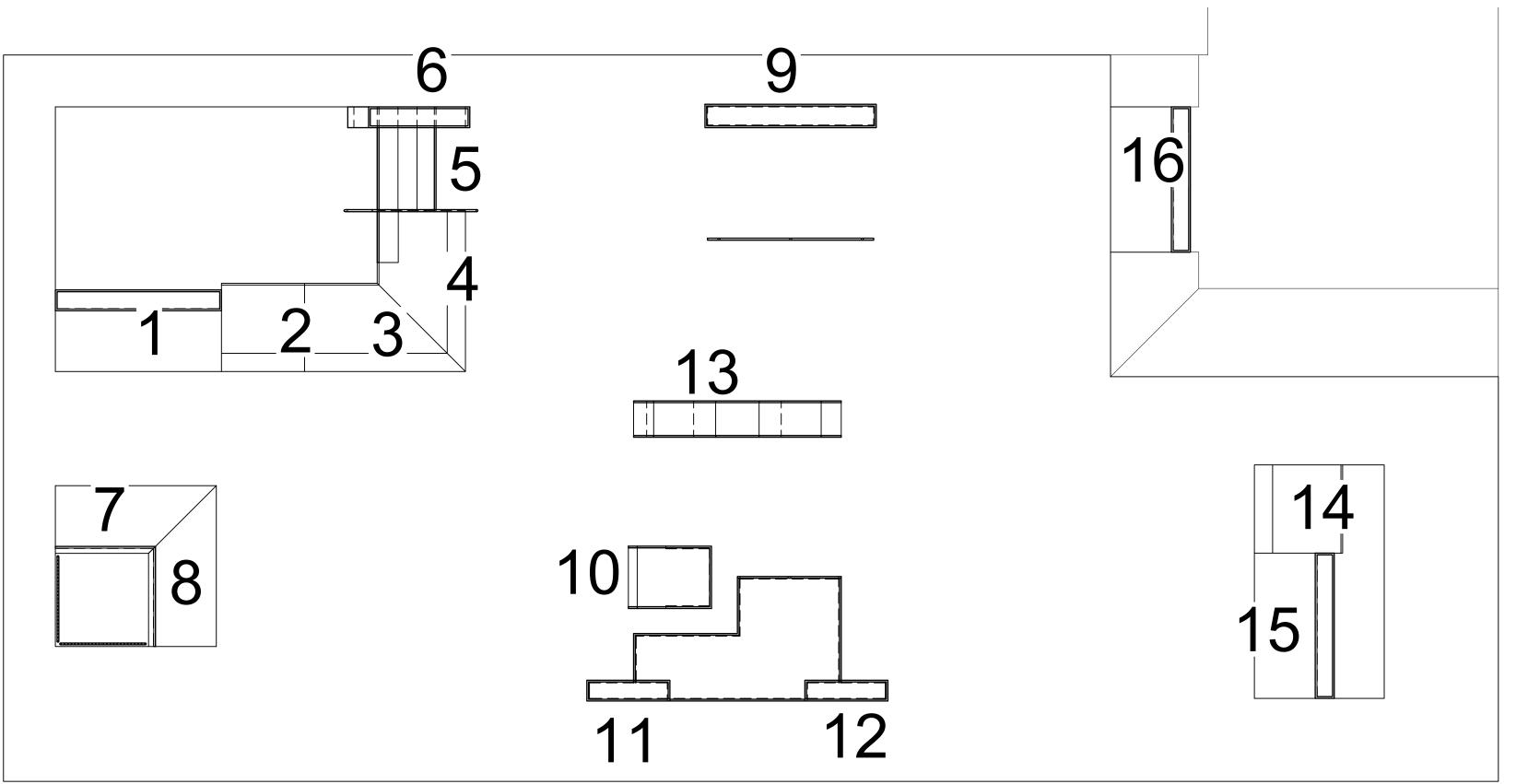
3D

PERSPECTIVE

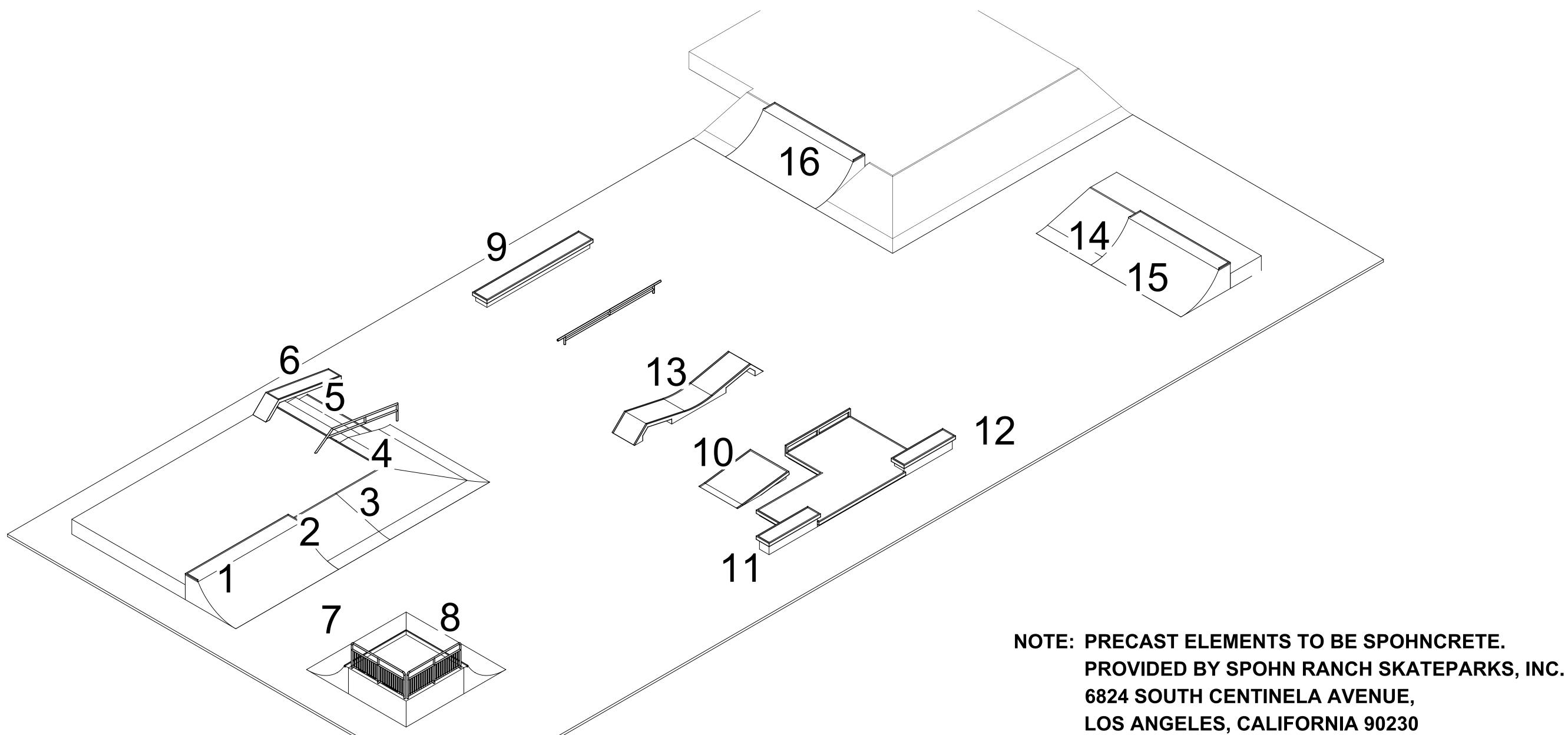
SHEET NUMBER

SK1.0

27APR2023



	PRECAST COMPONENT LIST			
REF#	DESCRIPTION	QTY		
1	QUARTERPIPE EXTENSION 16'L x 7'-10 1/4"W x 3'-6"T	1		
2	RADIUS WEDGE 8'-6"L x 8'W x 2'T	1		
3	RADIUS WEDGE HIP 15'-6"L x 8'-6"W x 2'T	1		
4	RADIUS WEDGE HIP/ EURO GAP 15'-6"L x 8'-6"W x 2'T	1		
5	STAIRS 10'L x 5'-8"W x 1'-6"T	1		
6	RAKED PANNED GRIND LEDGE 11'-9"L x 2'W x 2'T	1		
7	QUARTERPIPE HIP 15'-4"L x 6'-6 1/4"W x 3'-6"T	1		
8	QUARTERPIPE HIP 15'-4"L x 6'-6 1/4"W x 3'-6"T	1		
9	CANTILEVERED GRIND LEDGE 16'-6"L x 2'-3"W x 1'-2"T	1		
10	RADIUS WEDGE LAUNCH 6'L x 8'-0"W x 1'T	1		
11	CANTILEVERED GRIND LEDGE 8'L x 2'W x 1'-9"T	1		
12	CANTILEVERED GRIND LEDGE 8'L x 2'W x 1'-9"T	1		
13	M GRIND LEDGE 20'-0"L x 3'-6"W x 1'-11"T	1		
14	RADIUS WEDGE 8'-6"L x 8'-6"W x 2'T	1		
15	QUARTERPIPE EXTENSION 14'L x 7'-8 1/4"W x 3'-6"T	1		
16	QUARTERPIPE EXTENSION 14'L x 7'-8 1/4"W x 3'-6"T	1		



PROJECT

Apple Orchard Community Park Renovations

692 W Stearns Road Bartlett, Illinois, 60103

PROJECT TEAM



uplandDesign Itd Landscape Architecture & Park Planning

1224 N North Branch St, Ste. 220A Chicago, Illinois 60642 24042 Lockport St, Plainfield, Illinois 60544 815-254-0091 www.uplandDesign.com

SURVEYOR JLH Land Surveying Inc.

910 Geneva Street Shorewood, Illinois 60404 Phone: 815-729-4000

CIVIL ENGINEERING:

Engineering Resource Associates 3S701 West Avenue, Suite 150 Warrenville, IL 60555



REVISIONS					
ZM	ISSUE FOR BID	27APR2023			
ORIGINAL ISSUE DATE					

Issue for Bid 27APR2023

PROJECT NUMBER

1115

SHEET TITLE

PRECAST LAYOUT PLAN

SHEET NUMBER

CONTACT: JASON BALDESSARI (732) 687-5886

SK2.0

INFORMATION SCHEDULE

SYMBOL	DESCRIPTION	DETAIL	SECTION
SP-01	4" THICK CONCRETE FLATWORK		
SP-02	PRECAST SKATE ELEMENT		A, B, C, D, E, F, G, H, I, J, K, L, M, N, O, L, K
SP-03	CANTILEVERED GRIND LEDGE	15/SK8.0	K
SP-04	RAKED ROUND GRIND RAIL	1/SK8.1	С

13/SK8.0 I

2/SK8.1 K

JOINTING SCHEDULE

(SP-05)

(SP-06)

	SYMBOL	DESCRIPTION	<u>QTY</u>	DETAIL
EJ	H-01	EXPANSION JOINT	425 LF	4/SK8.0
CJ-KJ	H-02	COLD JOINT OR KEY JOINT	219 LF	3/SK8.0
	H-03	SAWCUT JOINT	1,161 LF	5/SK8.0
	H-04	TURNDOWN EDGE AT FINISH SURFACE	380 LF	6/SK8.0

FLAT ROUND GRIND RAIL

SQUARE GRIND RAIL

NOTES:

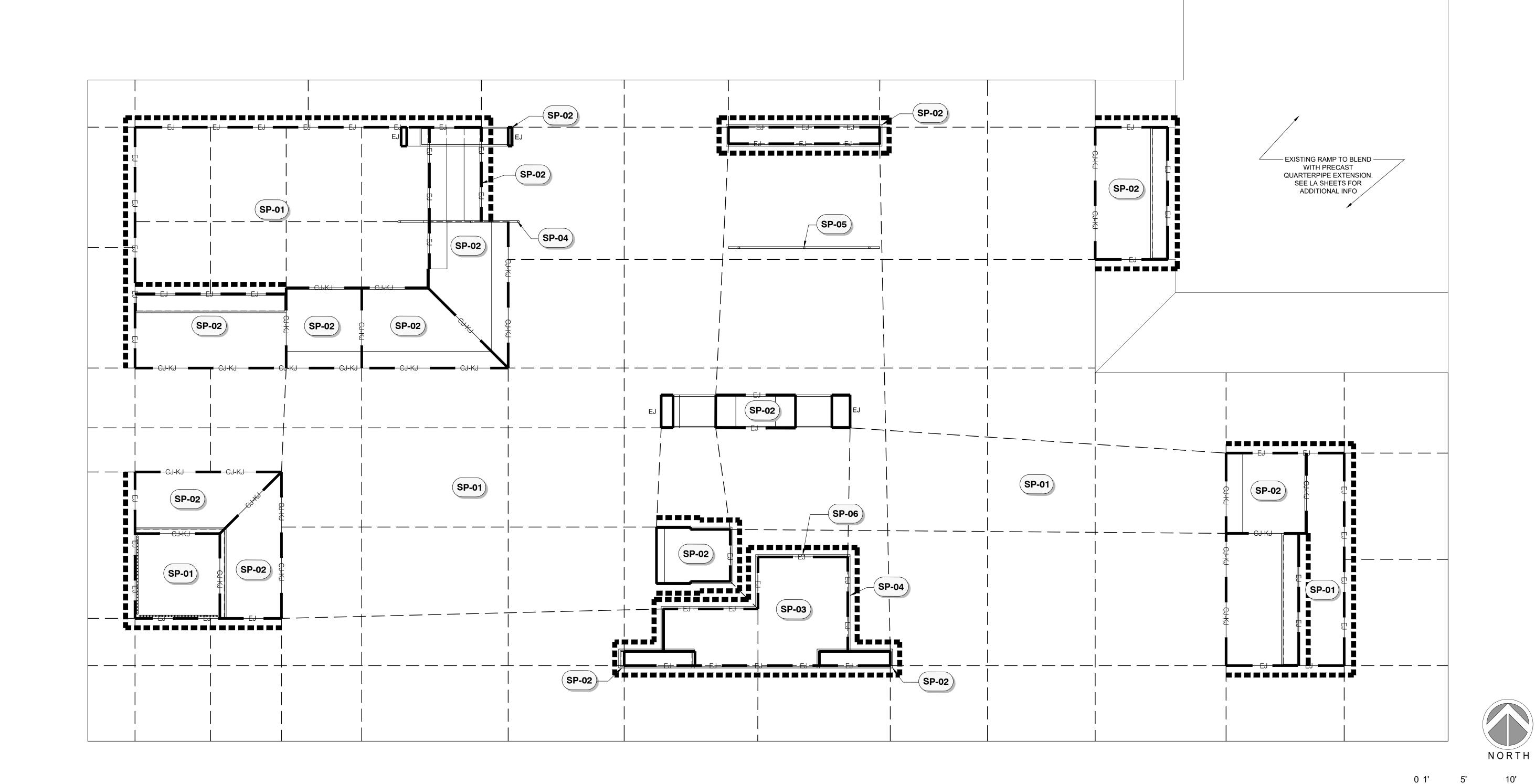
- 1. THE SLAB CONFIGURATION, NOTES, LOCATION OF EXPANSION JOINTS, COLD JOINTS, SAW CUTS, DETAIL REFERENCES, AND APPLICABLE DETAILS HAVE BEEN INCLUDED FOR CLARITY. JOINTS AND DETAILS SHOWN ARE FOR THE SKATEPARK ONLY. REFER TO THE LANDSCAPE PLANS FOR SCOPES BEYOND THE SKATEPARK.
- 2. SUGGESTED ORDER OF CONSTRUCTION FOR CONCRETE ELEMENTS WITHIN THE SKATEPARK FOOTPRINT:
 - A. PRECAST INSTALLATION
 B. LEDGES AND MANUAL PADS
 - C. GRIND RAIL FOOTING INSTALLATION
- D. FLOOR SLAB/FLATWORK
- 4. ALL EXPOSED CONCRETE AND SHOTCRETE SURFACES TO BE NATURAL GRAY IN COLOR WITH HARD STEEL TROWEL FINISH UNLESS OTHERWISE SPECIFIED.

**JOINT PLAN HAS BEEN DEVELOPED TO PROVIDE GUIDANCE TO THE CONTRACTOR FOR THE USE OF SAW CUTS, COLD & EXPANSION JOINTS. ACTUAL FIELD VARIANCES WILL TAKE PRECEDENCE OVER THIS GUIDE. CONTRACTOR SHALL CUT SLAB AS NEEDED TO MINIMIZE CRACKING.

ALIGN SAW CUTS WITH EXPANSION AND COLD JOINTS AND START FROM CORNERS WHERE POSSIBLE TO PREVENT EXCESS CRACKING. SAW CUTS SHALL BE NO MORE THAN 10' X 12' AND/OR NOT TO EXCEED 120 SQUARE FEET AND A 2:1 MAX. RATIO BETWEEN SAW CUTS AND COLD OR EXPANSION JOINTS.

ALL SAW CUTS TO BE FILLED WITH SELF-LEVELING POLYURETHANE SEALANT AND TOOLED FLAT. MASK ALL SAW CUT/CONSTRUCTION JOINT EDGES TO PROTECT SURROUNDING CONCRETE FROM EXCESS SEALANT. EXPANSION JOINTS TO BE FILLED WITH POLYURETHANE BASED NON- SAGGING ELASTOMERIC SEALANT AND TOOLED FLAT. COLOR OF CAULK SHOULD RESEMBLE COLOR OF CONCRETE (ALUMINUM GRAY OR SIMILAR)

** PROVIDE $\frac{1}{8}$ " TOOLED EDGES TO JOINTS - SEE TYPICAL DETAILS & CONSTRUCTION SPECIFICATIONS FOR JOINT INFORMATION & INSTALLATION



696 W Stearns Road Bartlett, IL, 60103 Phone: 630-540-4800

PROJECT

Apple Orchard Community Park Renovations

692 W Stearns Road Bartlett, Illinois, 60103

PROJECT TEAM



uplandDesign Itd

Landscape Architecture & Park Planning 1224 N North Branch St, Ste. 220A Chicago, Illinois 60642 24042 Lockport St, Plainfield, Illinois 60544 815-254-0091 www.uplandDesign.com

SURVEYOR
JLH Land Surveying Inc.
910 Geneva Street
Shorewood, Illinois 60404

Phone: 815-729-4000

CIVIL ENGINEERING: Engineering Resource Associates

Engineering Resource Associates 3S701 West Avenue, Suite 150 Warrenville, IL 60555



REVISIONS ZM ISSUE



ORIGINAL ISSUE DATE

Issue for Bid
PROJECT NUMBER

1115

SHEET TITLE

INFORMATION PLAN

SHEET NUMBER

Scale: 3/16" = 1'-0"

SK3.0

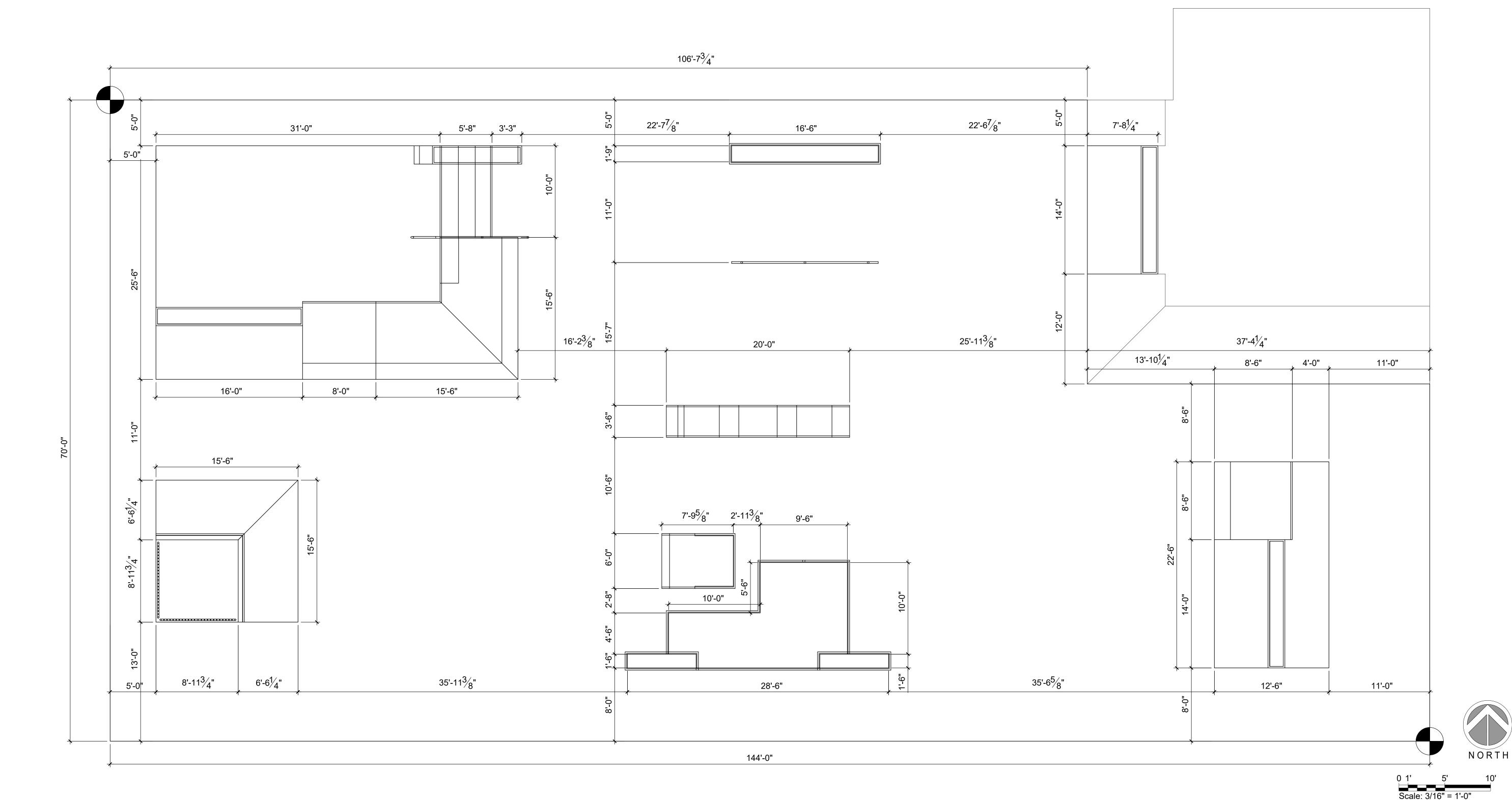
27APR2023

CONSTRUCTION NOTES:

- 1. ALL MATERIAL AND WORKMANSHIP SHALL CONFORM TO ALL APPLICABLE GOVERNING CODES AND ORDINANCES.
- 2. ALL FORMS AND ALIGNMENTS OF PAVING, LAYOUT, AND SPECIAL PAVING AREAS SHALL BE REVIEWED AND APPROVED BY THE OWNER'S REPRESENTATIVE PRIOR TO POURING (GIVE A MINIMUM OF 24 HOURS NOTICE)
- 3. CONTRACTOR SHALL VERIFY THE LOCATION OF ALL PUBLIC IMPROVEMENTS, INCLUDING UNDERGROUND UTILITIES PRIOR TO THE START OF CONSTRUCTION. CONTRACTOR SHALL REPAIR AND/OR REPLACE IN-KIND ALL PUBLIC IMPROVEMENTS DAMAGED, BROKEN, OR REMOVED DURING CONSTRUCTION
- 4. CONCRETE SHALL HAVE A MINIMUM COMPRESSIVE STRENGTH OF 4000 PSI AT 28 DAYS (UNLESS OTHERWISE NOTED).
- 5. ALL REBAR CROSSINGS TO BE TIED.
- 6. ALL CONSTRUCTION TO BE PLUMB AND TRUE, UNLESS OTHERWISE NOTED OR INDICATED.
- 7. THE CONTRACTOR SHALL VERIFY AND BE RESPONSIBLE FOR ALL DIMENSIONS AND CONDITIONS AT THE JOB SITE. ALL DISCREPANCIES SHALL BE BROUGHT TO THE IMMEDIATE ATTENTION OF THE OWNER/BUILDER OR OWNER'S REPRESENTATIVE.
- 8. THE CONTRACTOR IS SOLELY RESPONSIBLE FOR ALL CONSTRUCTION METHODS AND FOR SAFETY CONDITIONS AT THE WORK SITE.
- 9. ALL BRACING, TEMPORARY SUPPORTS, SHORING, ETC.. ARE THE SOLE RESPONSIBILITY OF THE CONTRACTOR.

- 10. OBSERVATION VISITS TO THE JOB SITE BY THE SPOHN RANCH OR OWNER, DO NOT INCLUDE INSPECTION OF CONSTRUCTION PROCEDURES. THE VISIT SHALL NOT BE CONSTRUED AS CONTINUOUS AND DETAILED INSPECTIONS.
- 11. CONDITIONS NOT SPECIFICALLY SHOWN SHALL BE CONSTRUCTED SIMILAR TO THE DETAILS FOR THE RESPECTIVE MATERIALS.
- 12. THE DRAWINGS AND SPECIFICATIONS REPRESENT THE FINISHED CONSTRUCTION PRODUCT. THESE DOCUMENTS, ALTHOUGH PREPARED WITH CARE AND DILIGENCE, MAY CONTAIN ERRORS, OMISSIONS, CONTRADICTIONS, ETC. THE CONTRACTOR SHALL REVIEW ALL DOCUMENTS THOROUGHLY AND SHALL NOTIFY OWNER IMMEDIATELY UPON ANY SUCH DISCOVERY OR DISCREPANCY. GOVERNING CODES SHALL THEN APPLY.
- 13. ALL SCALE DIMENSIONS ARE APPROXIMATE. WRITTEN DIMENSIONS AND DETAILS TAKE PRECEDENCE OVER SCALED DIMENSIONS. THE CONTRACTOR SHALL CHECK AND VERIFY ALL SITE DIMENSIONS PRIOR TO PROCEEDING WITH WORK AND CLARIFY WITH OWNER IF NECESSARY.
- 14. DURING WORK AND THROUGH ITS COMPLETION, THE CONTRACTOR SHALL KEEP THE SITE CLEAN TO THE SATISFACTION OF THE OWNER.
- 15. FINAL MATERIAL, FINISHES AND COLOR SHALL BE APPROVED BY OWNER PRIOR TO INSTALLATION.
- 16. CLEAN-UP SHALL TAKE PLACE ON A DAILY BASIS.
- 17. REFER TO SPECIFICATIONS FOR ANY ADDITIONAL INFORMATION.

**ALL COLD JOINTS AT THE BOTTOM OF ALL RADIUS TRANSITIONS & RADIUS BANKS SHALL BE LOCATED 8" MAX. FROM THE POINT OF TANGENCY. SEE TYPICAL DETAILS FOR CLARIFICATION.



696 W Stearns Road Bartlett, IL, 60103 Phone: 630-540-4800

PROJECT

Apple Orchard Community Park Renovations

692 W Stearns Road Bartlett, Illinois, 60103

PROJECT TEAM



uplandDesign Itd

Landscape Architecture & Park Planning
1224 N North Branch St, Ste. 220A
Chicago, Illinois 60642
24042 Lockport St, Plainfield, Illinois 60544
815-254-0091 www.uplandDesign.com

SURVEYOR JLH Land Surveying Inc. 910 Geneva Street

Shorewood, Illinois 60404 Phone: 815-729-4000

CIVIL ENGINEERING:

Engineering Resource Associates 3S701 West Avenue, Suite 150 Warrenville, IL 60555



REVISIONS



ORIGINAL ISSUE DATE

Issue for Bid

PROJECT NUMBER

1115

SHEET TITLE

LAYOUT PLAN

SHEET NUMBER

SK4.0

27APR2023

GRADING NOTES

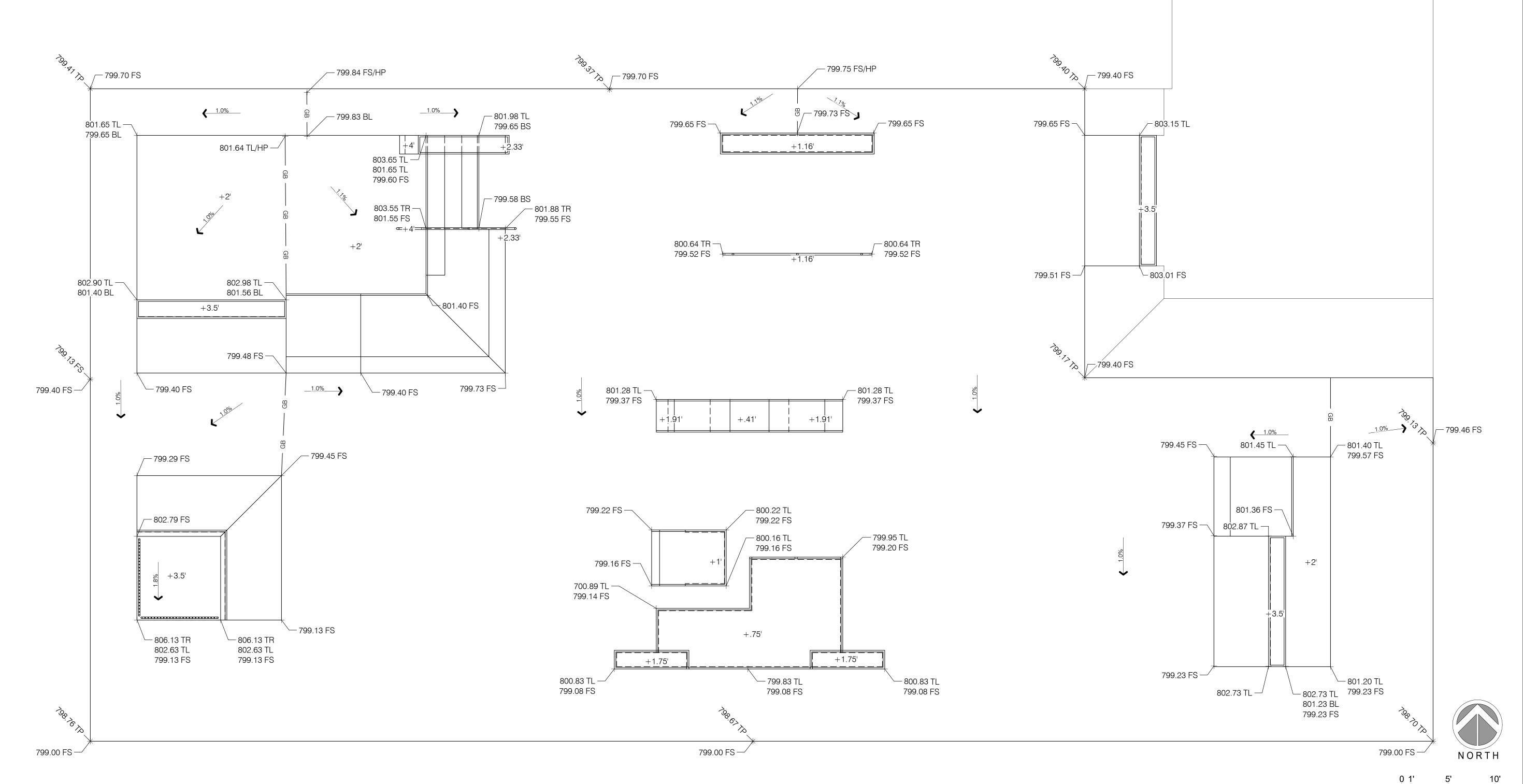
- 1. ALL GRADING SHALL BE IN ACCORDANCE WITH THE LOCAL GRADING CODE AND ANY SPECIAL REQUIREMENTS OF THE GRADING PERMIT
- 2. CONTRACTOR TO VERIFY GRADES AND NOTIFY OWNER'S CONSTRUCTION
- ADMINISTRATOR PRIOR TO START OF GRADING WORK. 3. SLOPES SHALL BE NO STEEPER THAN 3' HORIZONTAL TO 1' VERTICAL (3:1) AND
- SHALL HAVE NOT LESS THAN 90% COMPACTION OUT TO THEIR FINISH SURFACES.
- 4. ALL PAVED AREAS SHALL SLOPE AS SHOWN ON PLANS WITH A 2% MAXIMUM FALL PLANTED AREAS SHALL HAVE A MINIMUM 2% FALL.
- 5. FINISH GRADE SHALL HAVE A UNIFORM SURFACE, FREE OF LUMPS, BUMPS AND DEPRESSIONS AND ANY OBJECTS THAT MAY PREVENT A POSITIVE FLOW TO DRAIN
- 6. ALL PROPOSED PAVING SURFACES SHALL MEET EXISTING PAVING SURFACES WITH SMOOTH AND CONTINUOUS TRANSITIONS AND FLUSH ALONG ENTIRE EDGE.
- 7. CONCRETE WALKS TO HAVE A MAXIMUM CROSS SLOPE OF 2% AND SHALL MEET ALL CITY AND COUNTY REQUIREMENTS.
- 8. PRIOR TO CONSTRUCTION, CONTRACTOR SHALL VERIFY ALL UTILITY LOCATIONS, EXISTING DRAINAGE STRUCTURES, PARKING LOT IMPROVEMENTS, AND FINISH FLOOR ELEVATIONS. NOTIFY THE OWNER'S CONSTRUCTION ADMINISTRATOR IMMEDIATELY UPON NOTING ANY DISCREPANCIES.
- 9. FINISH GRADE AT TURF AREAS SHALL BE ONE INCH BELOW FINISH SURFACE OF SIDEWALKS, CURBS OR PAVED AREAS. PLANTING AREA FINISH GRADE SHALL BE 2" BELOW SAME UNLESS OTHERWISE SPECIFIED.
- 10. ALL CONSTRUCTION AREAS SHALL BE FREE OF ROCK, DEBRIS, ETC. ALL EXISTING WEEDS SHALL BE REMOVED.
- 11. CONTRACTOR SHALL MEET EXISTING GRADE AT GRADING LIMITS WITH A SMOOTH AND CONTINUOUS TRANSITION.

GRADING LEGEND:



- BS BOTTOM OF STEP
- FG FINISH GRADE
- FS FINISH SURFACE
- HP HIGH POINT
- INV INVERT ELEVATION (MAY CHANGE IN FIELD)
- PA PLANTING AREA TD TOP OF DRAIN
- TL TOP OF LEDGE
- TP TOP OF PAD
- TR TOP OF RAIL TS TOP OF STEP





696 W Stearns Road Bartlett, IL, 60103 Phone: 630-540-4800

PROJECT

Apple Orchard Community Park Renovations

692 W Stearns Road Bartlett, Illinois, 60103

PROJECT TEAM



uplandDesign Itd

Landscape Architecture & Park Planning 1224 N North Branch St, Ste. 220A Chicago, Illinois 60642 24042 Lockport St, Plainfield, Illinois 60544

815-254-0091 www.uplandDesign.com SURVEYOR

JLH Land Surveying Inc. 910 Geneva Street Shorewood, Illinois 60404

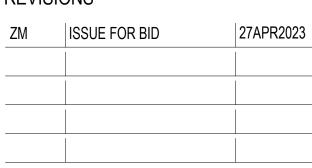
Phone: 815-729-4000

CIVIL ENGINEERING:

Engineering Resource Associates 3S701 West Avenue, Suite 150 Warrenville, IL 60555



REVISIONS



ORIGINAL ISSUE DATE

Issue for Bid

PROJECT NUMBER

1115

SHEET TITLE

GRADING + DRAINAGE PLAN

SHEET NUMBER

Scale: 3/16" = 1'-0"

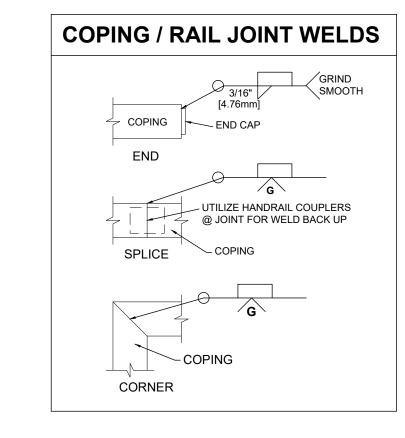
SK5.0

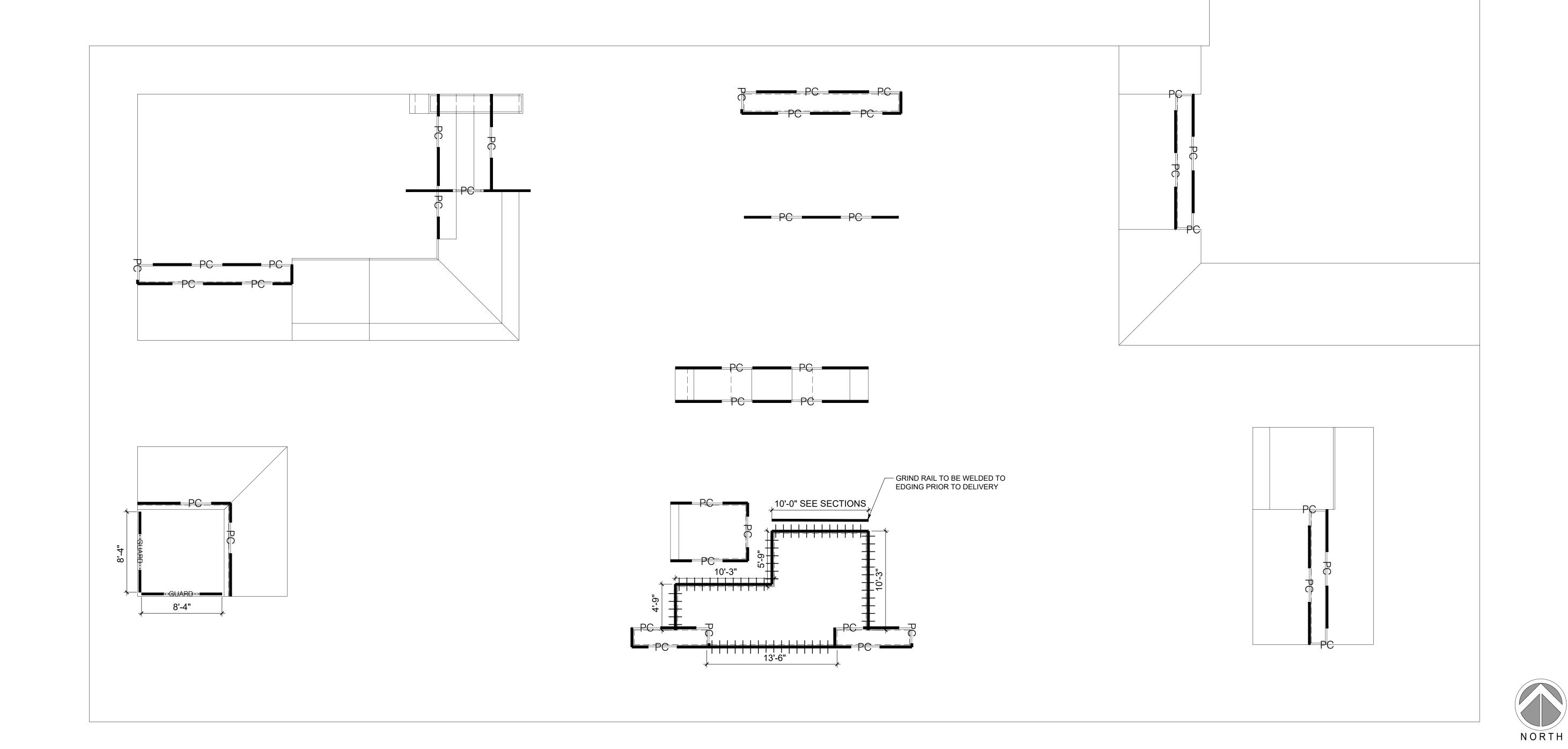
27APR2023

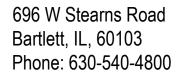
STEEL SCHEDULE							
SYMBOL	DESCRIPTION	QTY	DETAIL	FINISH			
S-01	INTEGRAL PRECAST STEEL PC PC	312 LF	SEE CUTSH	HEETS			
S-02	GRIND RAIL	10 LF	13/SK9.0 1/SK9.1 2/SK9.1	POWDER COAT RAL #9017			
S-03	2 X 5 X 3 X .125" THICK STEEL CANTILEVERED EDGING	54 LF	9/SK9.0	POWDER COAT RAL #9017			
S-04	GUARD RAIL GUARD GUARD GUARD	17 LF	14/SK9.0	POWDER COAT RAL #9017			

NOTES:

- 1. STEEL FINISH TO BE POWDER COATED RAL #9017 (TRAFFIC BLACK) AS INDICATED IN LEGEND FINISH.
- 2. FINISH MUST OCCUR AFTER ALL WELDING IS COMPLETE.
- 3. CAP ALL EXPOSED TUBE OR PIPE ENDS AND ROUND ALL SHARP EDGES.
- 4. ALL WELDS TO BE ALL AROUND.
- 5. GRIND ALL WELDS SMOOTH BEFORE FINISHING.
- 6. FABRICATE STEEL GRIND EDGES IN LONG SECTIONS THAT WILL WORK FOR SHIPPING AND REDUCE THE NUMBER OF WELDS IN THE FIELD.
- 7. CLEAN METAL EDGES AFTER PLACEMENT OF CONCRETE.
- 8. POWDER COATING REPAIR USE AN APPROPRIATELY COLOR MATCHED POWDER COAT TOUCH-UP SPRAY PAINT ON WELDED OR DAMAGED POWDER COATED SURFACES.
- 10. SEE SPEC BOOK FOR SKATEPARK STEEL SPECIFICATIONS







PROJECT

Apple Orchard Community Park Renovations

692 W Stearns Road Bartlett, Illinois, 60103

PROJECT TEAM



uplandDesign Itd

Landscape Architecture & Park Planning 1224 N North Branch St, Ste. 220A Chicago, Illinois 60642 24042 Lockport St, Plainfield, Illinois 60544 815-254-0091 www.uplandDesign.com

SURVEYOR JLH Land Surveying Inc.

910 Geneva Street Shorewood, Illinois 60404 Phone: 815-729-4000

CIVIL ENGINEERING:

Engineering Resource Associates 3S701 West Avenue, Suite 150 Warrenville, IL 60555



REVISIONS

ZM	ISSUE FOR BID	27APR2023

ORIGINAL ISSUE DATE

Issue for Bid 27APR2023

PROJECT NUMBER

1115

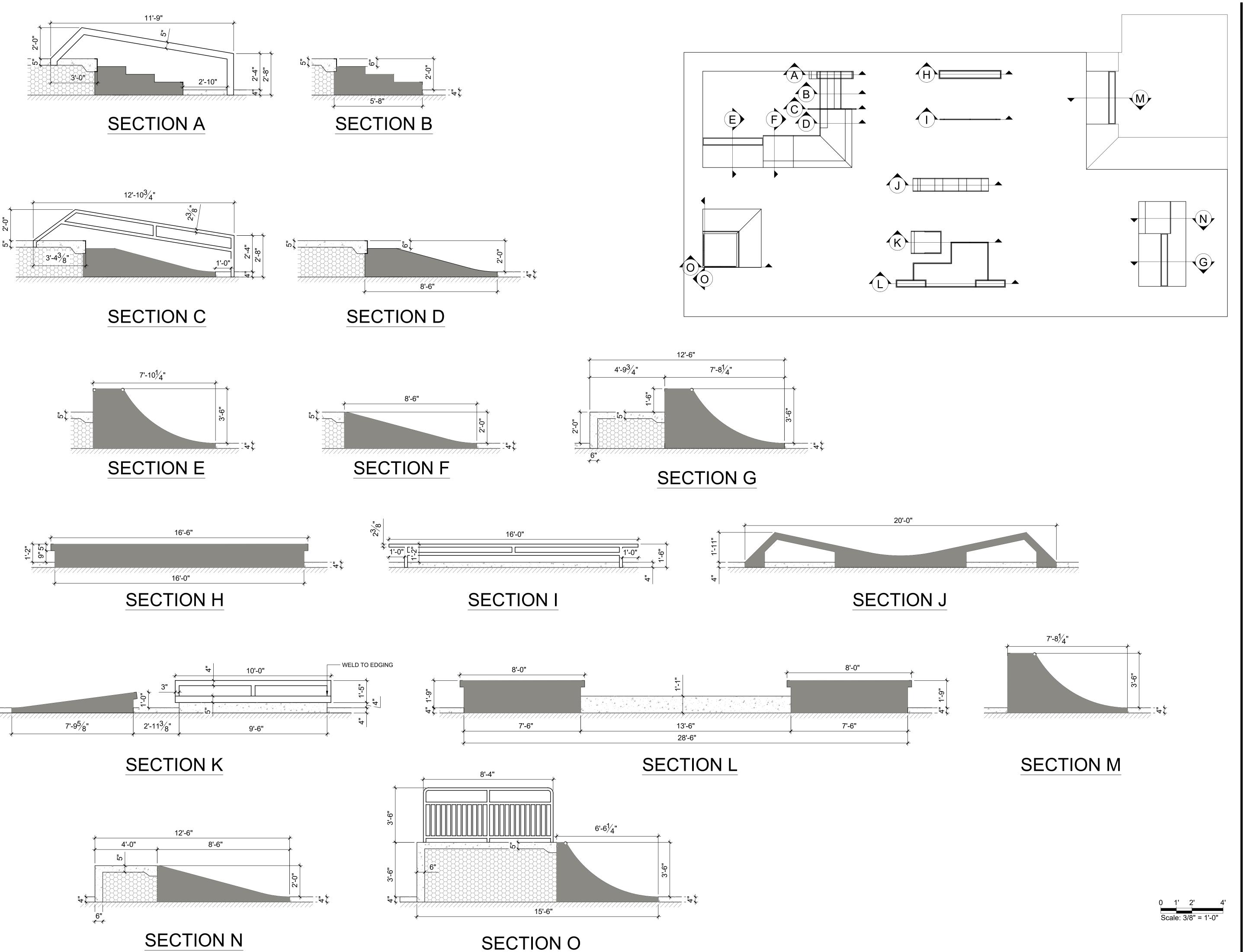
SHEET TITLE

STEEL PLAN

SHEET NUMBER

Scale: 3/16" = 1'-0"

SK6.0





PROJECT

Apple Orchard Community Park Renovations

692 W Stearns Road Bartlett, Illinois, 60103

PROJECT TEAM



uplandDesign Itd

1224 N North Branch St, Ste. 220A Chicago, Illinois 60642 24042 Lockport St, Plainfield, Illinois 60544 815-254-0091 www.uplandDesign.com

SURVEYOR
JLH Land Surveying Inc.
910 Geneva Street
Shorewood, Illinois 60404

Phone: 815-729-4000

CIVIL ENGINEERING: Engineering Resource Associates 3S701 West Avenue, Suite 150 Warrenville, IL 60555



REVISIONS							
ZM	ISSUE FOR BID	27APR2023					

ORIGINAL ISSUE DATE

Issue for Bid
PROJECT NUMBER

1115

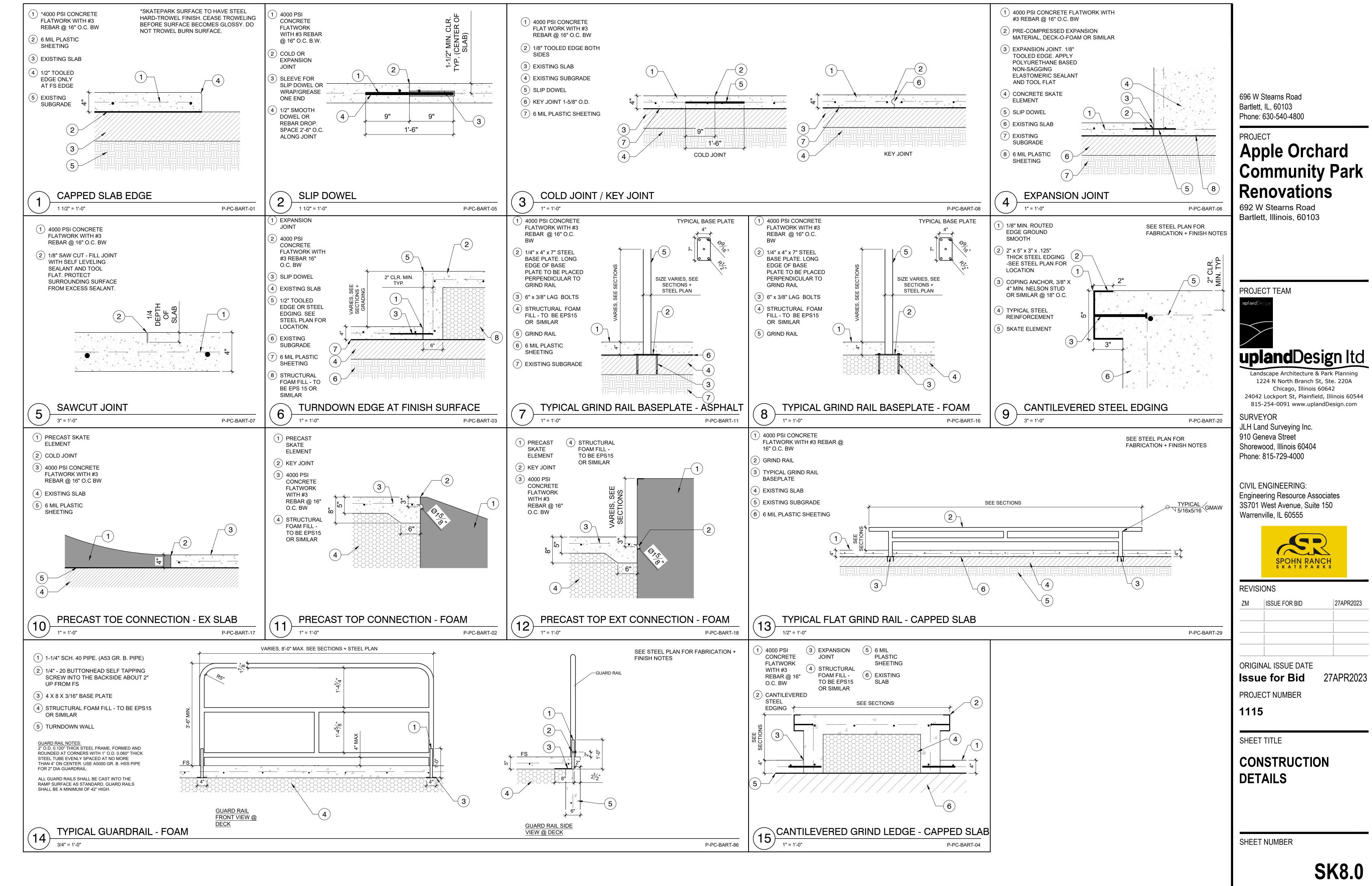
SHEET TITLE

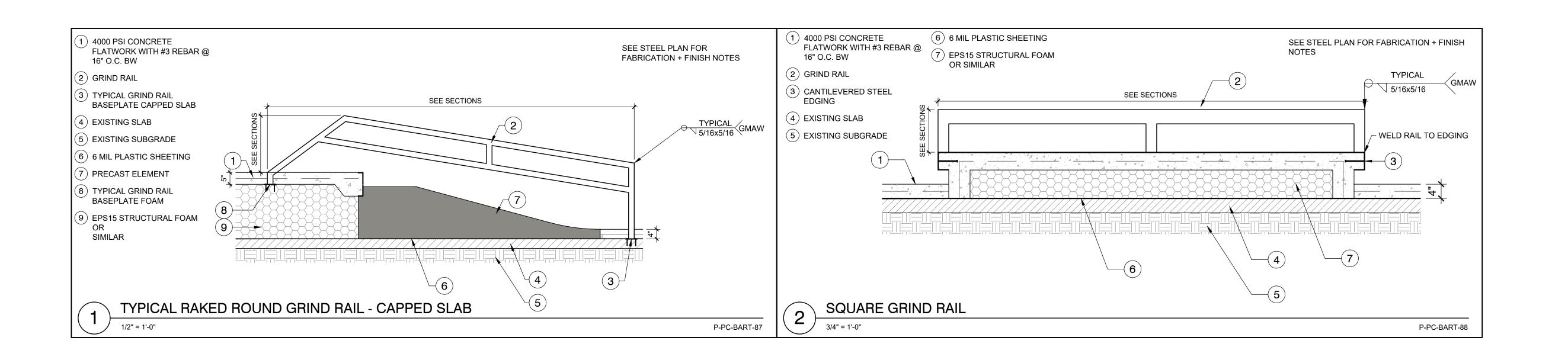
SECTIONS

SHEET NUMBER

SK7.0

27APR2023





PROJECT

Apple Orchard Community Park Renovations

692 W Stearns Road Bartlett, Illinois, 60103

PROJECT TEAM



uplandDesign Itd

Landscape Architecture & Park Planning

1224 N North Branch St, Ste. 220A Chicago, Illinois 60642 24042 Lockport St, Plainfield, Illinois 60544 815-254-0091 www.uplandDesign.com

SURVEYOR
JLH Land Surveying Inc.
910 Geneva Street
Shorewood, Illinois 60404
Phone: 815-729-4000

CIVIL ENGINEERING: Engineering Resource Associates 3S701 West Avenue, Suite 150 Warrenville, IL 60555



REVISIONS							
ZM	ZM ISSUE FOR BID						

ORIGINAL ISSUE DATE

Issue for Bid

PROJECT NUMBER

1115

SHEET TITLE

CONSTRUCTION DETAILS

SHEET NUMBER

SK8.1

27APR2023



_		Orchard Comn	nunity Park	Con	ntractor:		
ı	O: Renov Apple Orchard Community Park Renovations 6	ations 96 W. Stearns	Rd.		Project # 11	115	
	Bartlett, Illinois 60103 Description of abbreviations: SF = CF	= Cubic Feet (CY = Cubic \	Yard LF= Lineal Fe	et LS = Lump Sum		
	Square Feet SY = Square Yard	EA= E	Each				
Ba	FF = Finished Face use Bid: Apple Orchard Community Park Renovations						
Item#	Description	Quantity	Unit	Installed Unit Price	Item Total	ADA Co	ompliance Fund
1	Site Preparation, Removals & Earthwork, Complete	1	LS	\$90,400.00	\$90,400.00	30%	\$27,120
2	Silt Fence	1295	LF	\$4.00	\$5,180.00		
3	Temporary Concrete Washout, Inlet Protection & Erosion Control Blanket	1	LS	\$2,500.00	\$2,500.00		
4	Asphalt Paving - Trail	2920	SY	\$39.05	\$114,026.00	30%	\$34,207.80
5	Undercut, Removals and Placement of PGE (to be used only with approval of Owner's Representative)	100	CY	\$35.00	\$3,500.00		
6	Concrete Paving	4747	SF	\$11.00	\$52,217.00	30%	\$15,665.10
7	Concrete Paving at Skate Park (reuse base)	918	SF	\$10.00	\$9,180.00		
8	Concrete Lift at Skate Park	7297	SF		. ,		
				\$10.00	\$72,970.00		
9	Concrete Decks & Turndown Walls at Skate Park	1	LS	\$18.00	\$18,900.00		<u></u>
10	Geofoam Fill Materia! at Skate Park	1200	CF	\$4.00	\$4,800.00		
11	Concrete to Stone Transition	1	LS	\$1,200.00	\$1,200.00		
12	Concrete Sloped Entry - One Wing	190	SF	\$15.00	\$2,850.00	100%	\$2,850.00
13	Curb at Playground	164	LF	\$32.00	\$5,248.00		
14	Crushed Limestone Trail	548	SY	\$40.00	\$21,920.00	100%	\$21,920.00
15	Engineered Wood Fiber Surfacing	7852	SF	\$1.80	\$14,133.60	100%	\$14,133.60
					\$419,024.60	-	
16	Sand Surfacing	28	CY	\$85.00	\$2,380.00	<u> </u>	
17	8' Chainlink Fence - Replacement Pane!	1	LS	\$2,670.00	\$2,670.00		
18	and Existina Chainlink Gate Lift 4" Perf SDR26 Underdrainage	429	LF	\$25.00	\$10,725.00		
19	4" Solid SDR26 Underdrainage	86	LF	\$25.00	\$2,150.00	_	
20	Drain Cleanout - EWF	2	EA	\$250.00	\$500.00		
21	DryWell DryWell	1	EA	\$2,800.00	\$2,800.00		
22	2' Dia. Concrete Catch Basin (Salvaae Existina Rim)	1	EA	\$2,800.00	\$2,800.00		
							<u></u>
23	4" Miter Drain	2	EA	\$650.00	\$1,300.00		
24	Solar Lighting - Timer - 2 Lights	4	EA	\$5,518.75	\$22,075.00		
					\$47,400.00		
	nent & Site Furnishing shall be purchased by Owner, Contr					1	
25	5-12 Component Play Structure	1	LS	\$17,695.80	\$17,695.80	30%	\$5,308.74
26	Swings	1	EA	\$2,978.40	\$2,978.40	30%	\$893.52
27	Double Humpty Climber	1	EA	\$1,372.00	\$1,372.00		
28	Boogie Board	1	EA	\$996.00	\$996.00		
29	Pod Climber	1	EA	\$120.00	\$120.00		
30	Topsy Turny	1	EA	\$2,413.60	\$2,413.60		<u></u>
31	Welcome Sign	1	EA	\$300.00	\$300.00		
32	Double Sand & Water	1	EA	\$1,240.00	\$1,240.00		<u> </u>
33	Little Digger ADA	1	EA	\$346.40	\$346.40	100%	\$346.40
34	Little Digger	1	EA	\$360.00	\$360.00		
35	Twist & Twirl	1	EA	\$188.00	\$188.00		
36	Turbo Machine	1	EA	\$400.00	\$400.00		
37	Log Crawl Tunne!	1	EA				

	ALTERNATE #2: Trail \$				\$70,026.60		
		1	1	+	050.007.70	+	
Add A1-4	Lawn restoration and establishment including core aeration, seeding, fertilizing, and blanket cover at all disturbed areas.	1	LS	\$2,500.00	\$2,500.00		
Add A1-3	Asphalt Paving - Trail	5	EA	\$41.80	\$48,362.60	30%	\$14,508.78
Add A1-2	Silt Fence	250	SF	\$4.00	\$4,664.00		
Add A1-1	Site Preparation, Removals & Earthwork, Complete	1	LS	\$14,500.00	\$14,500.00	30%	\$4,350.00
m#	Description	Quantity	Unit	Installed Unit Price	Item Total		
LTERN <i>A</i>	TE #2: Trail			1			
				Base Bid Total \$	\$842,909.30		
					\$306,951.20		
48	Lawn restoration and establishment including core aeration, seeding, fertilizing, and blanket cover at all disturbed areas.	1	LS	\$8,500.00	\$8,500.00		
47	Rain Garden Gravel and Cobbles	1	LS	\$8,500.00	\$8,500.00		
46	Perennials and Ornamental Grasses	272	EA	\$30.00	\$8,160.00		
45	Deciduous Shrubs	12	EA	\$150.00	\$1,800.00		
44	Metal Curb Edge at Existing Walls at Skate Park	1	LS	\$2,500.00	\$2,500.00		
43	Steel Coping, Edge Protection, Guard Rails & Grind Rails at Skate Park	1	LS	\$2,500.00	\$2,500.00		
42	Concrete Skate Elements	1	LS	\$27,499.20	\$274,991.20		
ate Park I	Elements shall be purchased by Contractor, Contractor sha	III take deliver	y and fully in	ıstall.			
		<u> </u>			\$37,987.30		
41	Interpretive Sign	3	EA	\$1,640.00	\$4,920.00		
43	Recycle Receptacle	1	LS	\$1,043.00	\$1,043.00		
42	Litter Receptacle	1	LS	\$973.00	\$973.00		
41	Bike Rack	1	EA	\$800.00	\$800.00		
40	Swinging Bench	1	EA	\$16,811.30	\$16,811.30		
39	Picnic Table- ADA	1	EA	\$2,500.50	\$2,500.50	100%	\$2,500.50
				\$2,187.90	\$10,939.50		

Project Type (From ab Project Category (From Above)	Media File #/Name	Project Category Cost	ADA Portion of Project Cate _{ % ADA Dollars	Requested
Recreation Amenities Playground Equipment	Cost Summary	1016820.58	3 174861.24	17.20%
Routes & Surfaces Accessible Routes	Cost Summary		#VA	LUE!
			#DI'	V/0!
Total Project Cost	1016820.	58		
Total ADA Portion of Project Cost	174861.3	24		
Total % of ADA Dollars Requested	17.20			