

Title	Meadowlark Park	12/12/2024
	by Jim Holder in Member District ADA Project Request	id. 49066911
	250 E Wood Street Palatine, Illinois 60067 United States 847-705-5131 ADAProjects@palatineparks.org	

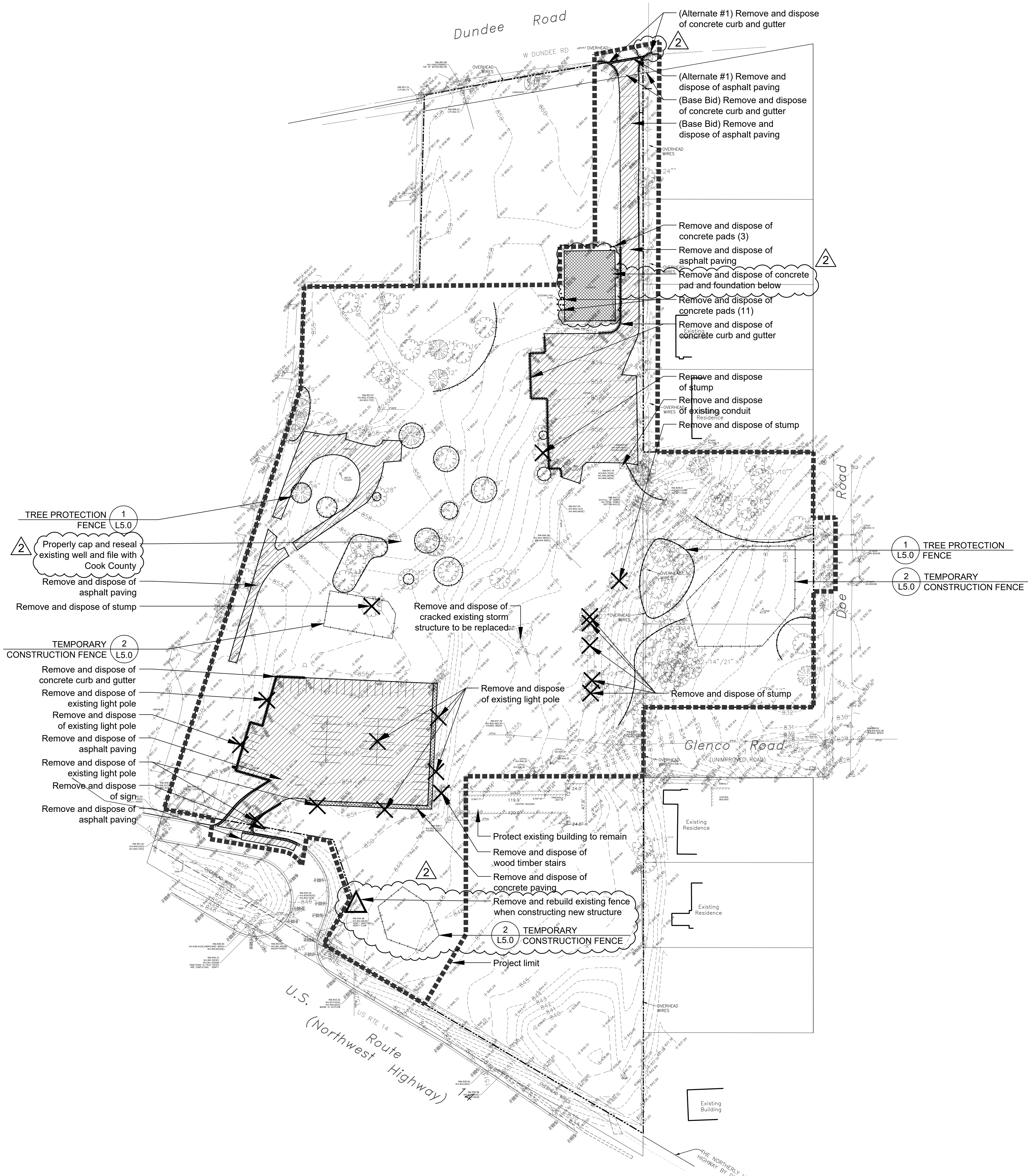
Original Submission

12/12/2024

Score	n/a
Name	Jim Holder
Job Title	Director of Parks & Planning
E-mail Address	adaprojects@palatineparks.org
Phone Number	847-705-5131
Park District	Palatine
Project Location	Meadowlark Park
Project Status	New
Project Type	Recreation Facilities and Amenities Routes and Surfaces
Recreation Facilities and Amenities- select a Project Category below:	Benches- Picnic Tables Playgrounds- Play Components
Routes and Surfaces- select a Project Category below:	Accessible Routes- Means of Egress Curb Ramps Parking Spots Play Surfaces Ramps Walking Surfaces
Benefits of the Project	The new development will allow individuals with mobility issues to access the park, playground, adventure play area, the shelter, Bago boards (4), and drinking fountain from the parking lot and the neighborhood. The project includes an accessible swing seat, transfer stations, three concrete sloped entries into play areas, and pathways around the the park to allow disabled individuals to use the playgrounds, Bago boards, and shelter.

Items that will become ADA Compliant	Swing, both playgrounds, ground play features, shelter, drinking fountain, pathways within the park, parking lot, and two sets of Bagos.
The project is designed or constructed, or applies human resources, to comply with:	The 2010 Standards for Accessible Design The Illinois Accessibility Code ASTM F 1951 Standard for Accessible Playground Surfaces
Upload Project Related Files, Photos, Videos or Audio 01_Meadowlark_Park_ADA_Calculations.pdf 02_Revised_plan_set_meadowlark.pdf 03_Agreement_Hacienda_Landscaping_SIGNED.pdf 04_Hacienda_Bid.pdf 05_PO_Play_Design_Scapes_Dk_Fountain.pdf 06_PO_Play_Illinois_Adventure_Eq.pdf 07_PO_Play_Illinois_Playground_Eq.pdf	
Budget Table for ADA Related Expenses Budget Table.xlsx	
ADA Dollars Requested	235371.48
Notes related to requested amount	

J:\Projects\Naperville\Palatine Park District\Meadowlark Park Phase One Final Design\06 Drawings and Production\01 HDG CAD\00 Current\2.0 Site Preparation and Removals Plan.dwg



SITE PREPARATION AND REMOVALS NOTES

- Contractor shall install construction fence as indicated construction prior to beginning work. Maintain and adjust construction fencing as needed during progress of construction. Staging and construction access shall be approved by Owner.
- Contractor shall install tree protection fencing as shown on the plans prior to beginning work. Maintain and adjust tree protection fencing as needed during progress of construction. Storage of materials, vehicular access, and all other construction activities are strictly prohibited within the limits of the tree protection fencing.
- Plans indicate general location and limits of removals. Contractor shall perform removals only as necessary for construction of proposed improvements. No additional payments will be made for removals or restoration not required to construct the improvements as drawn and specified. Refer to Layout Plan for more specific information regarding proposed improvements and verify conditions in the field prior to performing removals.
- Sawcut and remove concrete paving to nearest joint where indicated. All saw cuts required for removal items to be included in the unit cost of that particular pay item.
- Tree stumps shall be ground to a minimum depth of 18" below existing grade or as required to properly perform the work.
- Remove and dispose of turf where planting beds are designated. Refer to Planting Plan for limits of proposed landscape improvements.
- Where turf or plantings are proposed in existing paved areas, remove all base material.
- Remove all utilities designated for removal to extent required for improvements, unless otherwise noted. Cap ends of any remaining underground conduit and piping, and pull all electrical wire out at source.
- Items indicated for Removal shall include complete removal of above grade item and below grade appurtenances (foundations, urban fill, wiring, piping, etc.) including disposal off-site following applicable codes and ordinances, unless otherwise shown on the plans.
- Contractor to protect all existing utilities and all other site features not designated for removal. Contractor is responsible for replacing/repairing any existing utilities or other site features damaged during construction to the original condition at no cost to the Owner.
- Contractor responsible for maintaining existing utility services (electrical, sanitary, storm) during construction unless otherwise indicated in the Contract Documents.
- Contractor shall coordinate all work so public sidewalk remains open throughout construction.
- Refer to civil and electrical plans for additional utility adjustments and removals.
- Refer to specifications for additional conditions, standards and notes.

SITE PREPARATION AND REMOVALS LEGEND

- Remove and dispose concrete paving and gravel base. Remove subgrade material as needed.
- Remove and dispose asphalt paving and gravel base. Remove subgrade material as needed.
- (Alternate #1) Remove and dispose asphalt paving and gravel base. Remove subgrade material as needed.
- Tree Protection Fence
- Item to be removed
- Item to be salvaged/repared
- Concrete curb and gutter to be removed
- Construction Fence
- Project Limit Line



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Naperville, IL 60540
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PREPARED FOR Palatine Park District

250 East Wood Street,
Palatine, Illinois, 60067

PROJECT Meadowlark Park Final Design Phase One 1502 W Northwest Highway, Palatine, Illinois, 60067

CONSULTANTS
Civil Engineer
Eriksson Engineering Associates
Grayslake, Illinois 60030
T 847.223.4804

Electrical Engineer
Nova Engineering PC
Schererville, Indiana 46375
T 219.865.3352

Issue for Bid
February 15, 2024
REVISIONS

No	Date	Issue
2	02/27/24	Addendum #2

CHECKED BY
DNF

DRAWN BY
CAS

SHEET TITLE Site Preparation and Removals Plan

SCALE IN FEET
1" = 60'

0' 30' 60' 180'

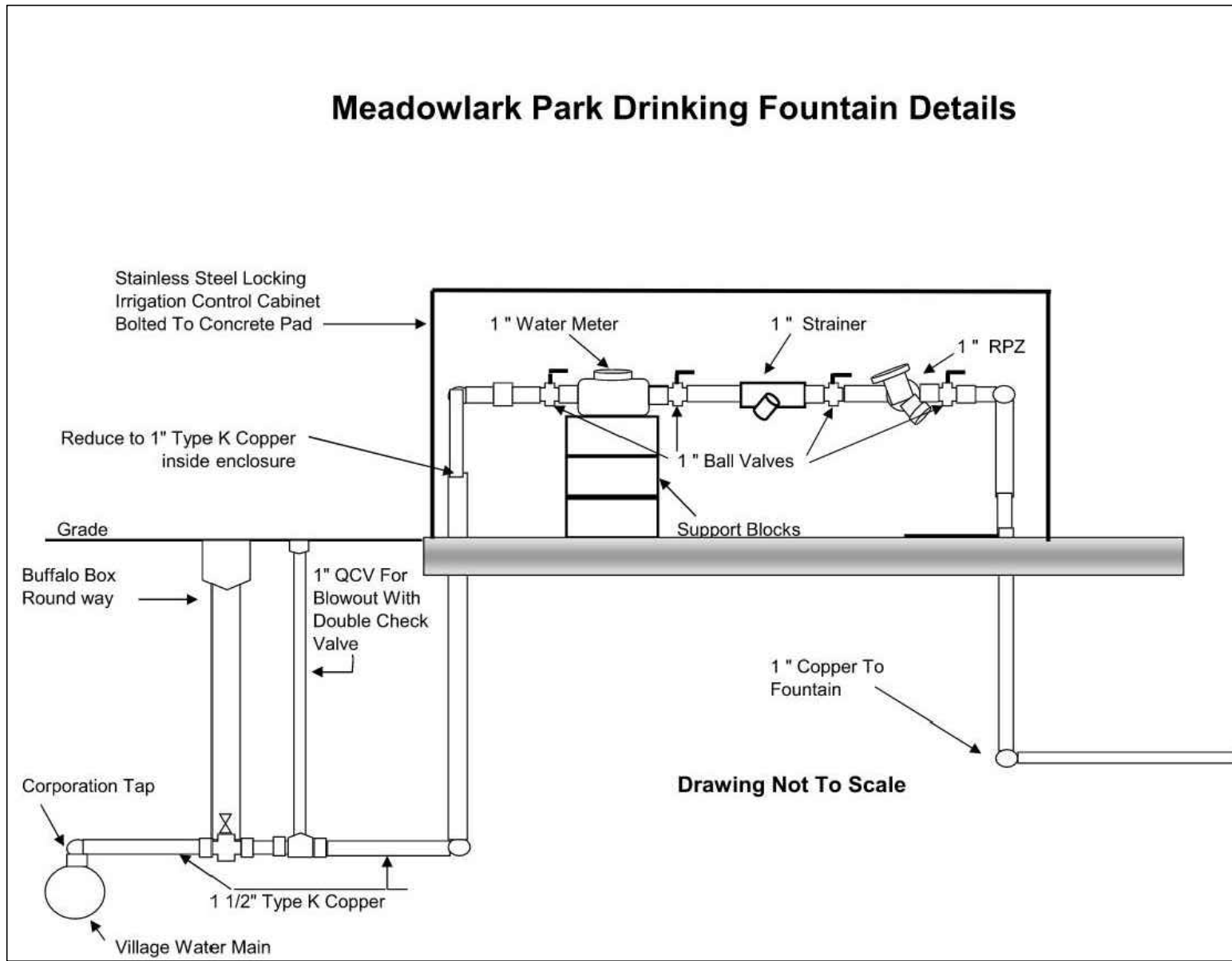
NORTH

SHEET NUMBER

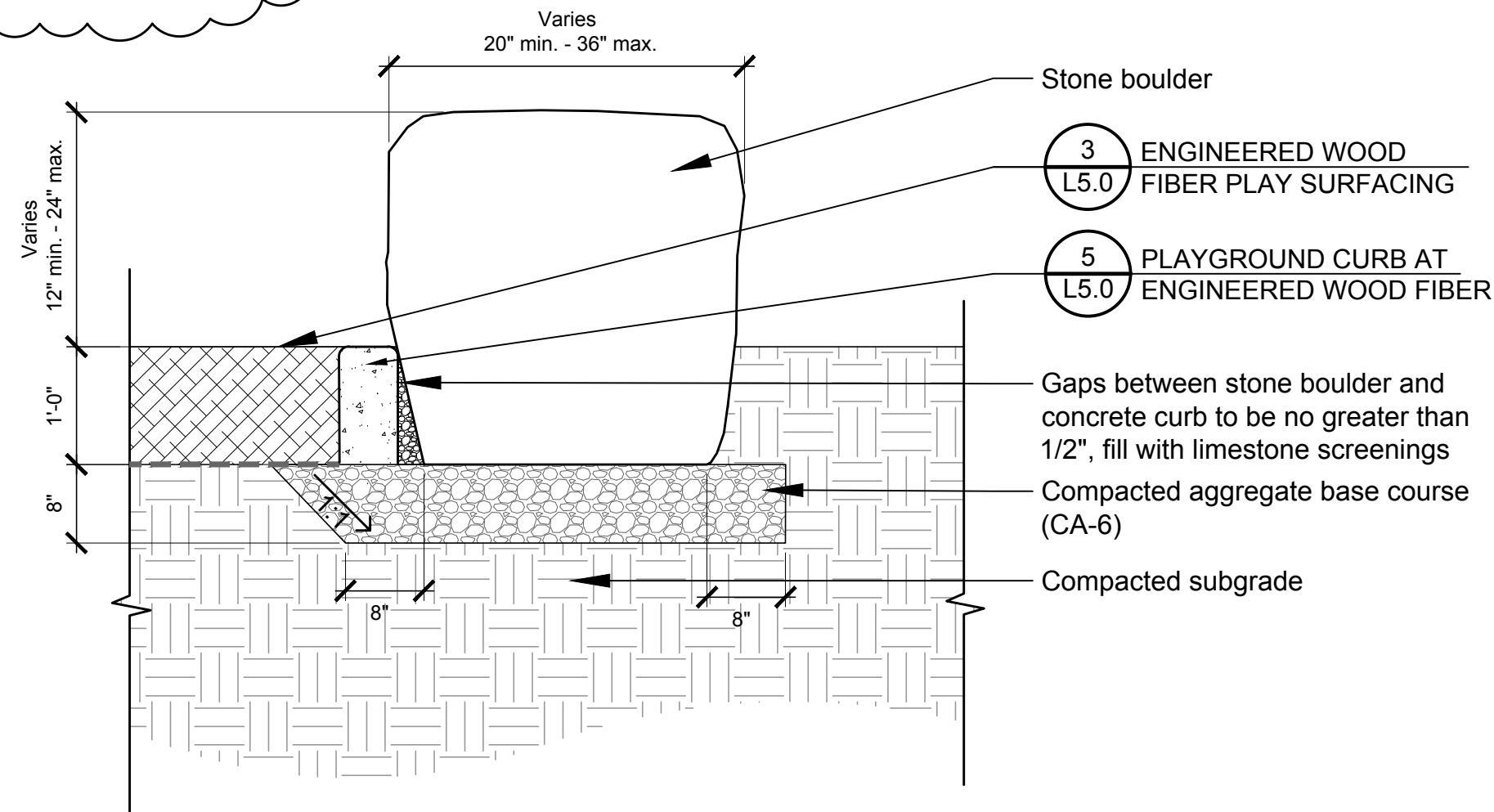
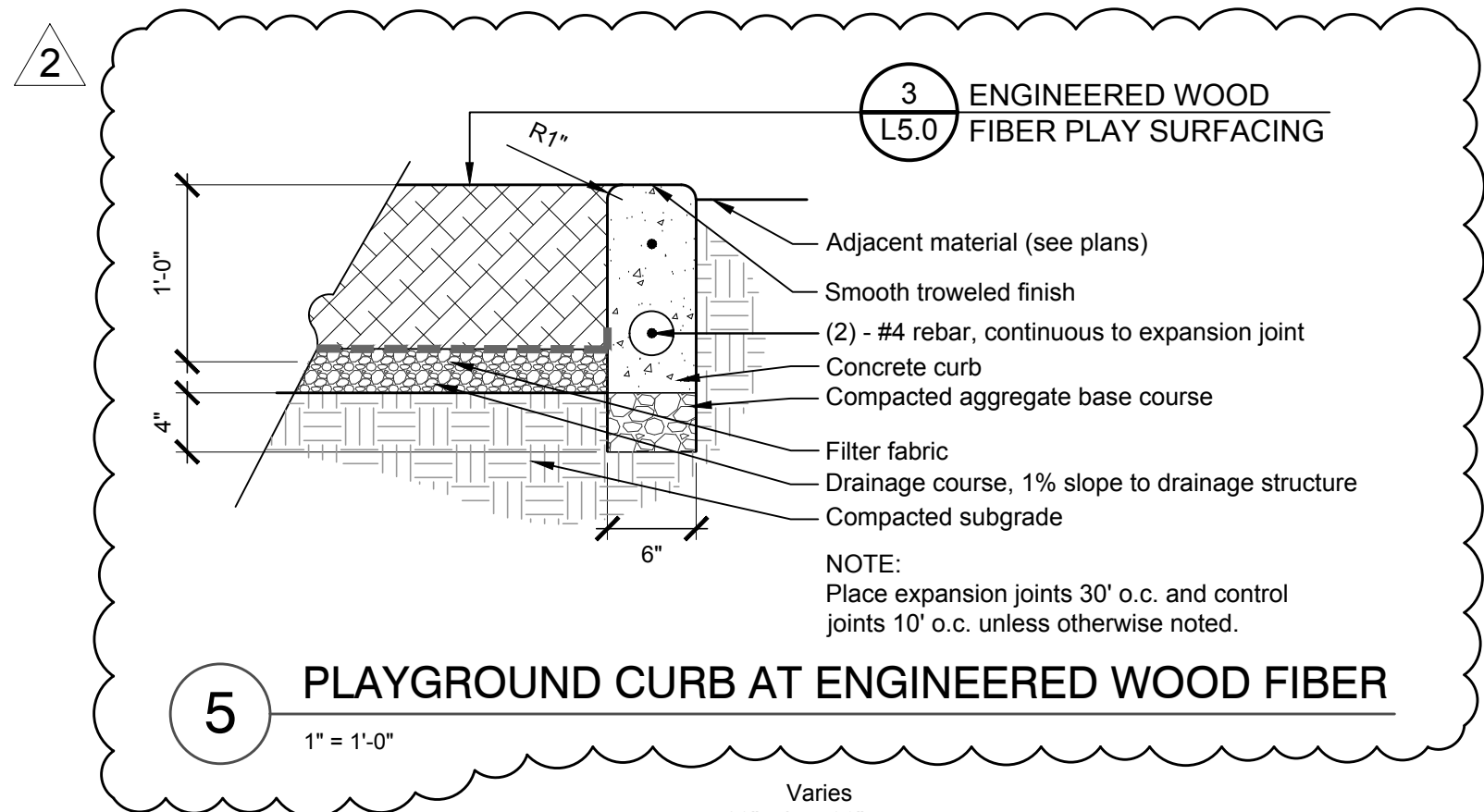
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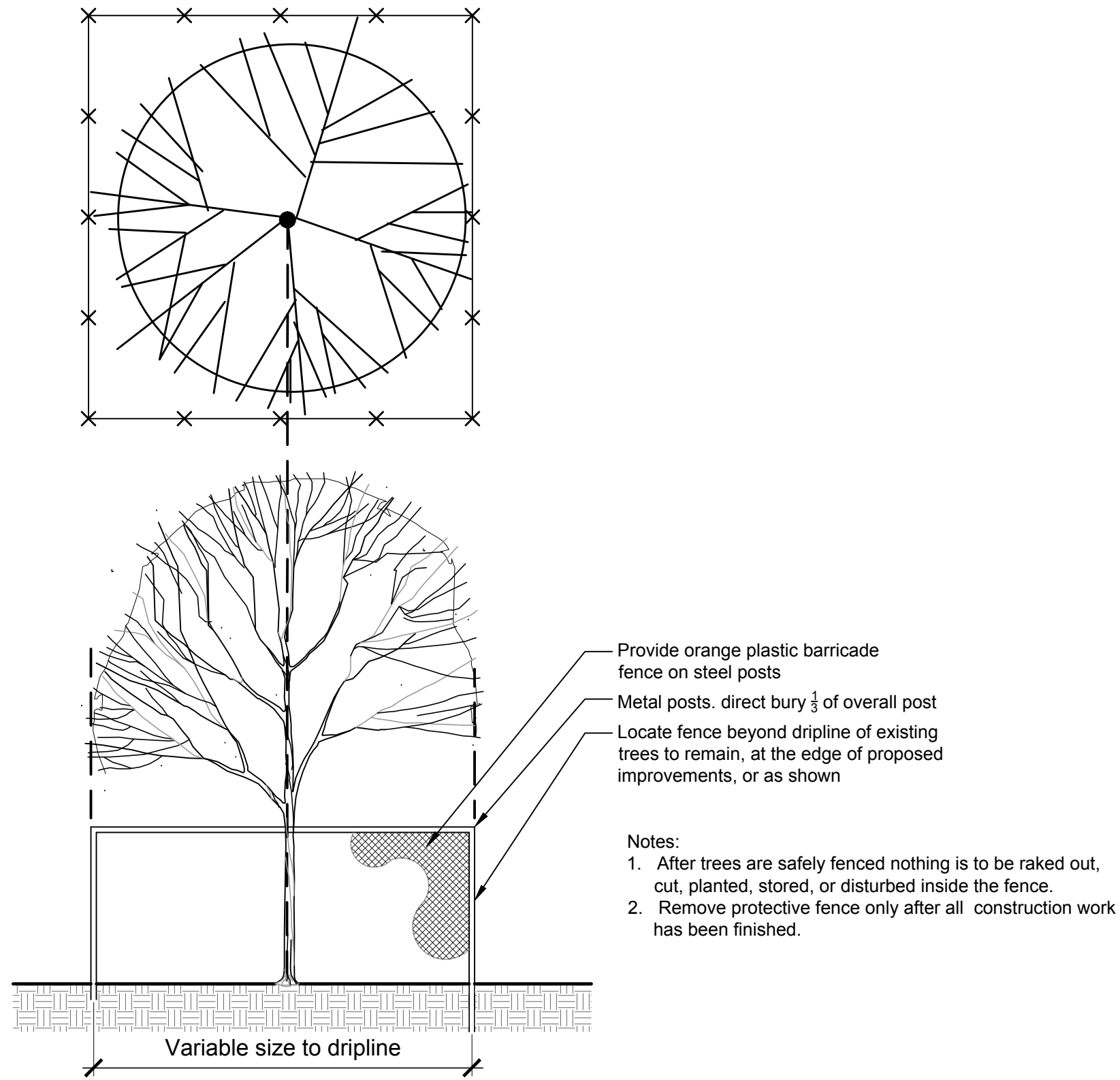
J:\Projects\Naperville\Palatine Park District\Meadowlark Park Phase One Final Design\06 Drawings and Production\01 HDG CAD\00 Current\L5.0 Details.dwg



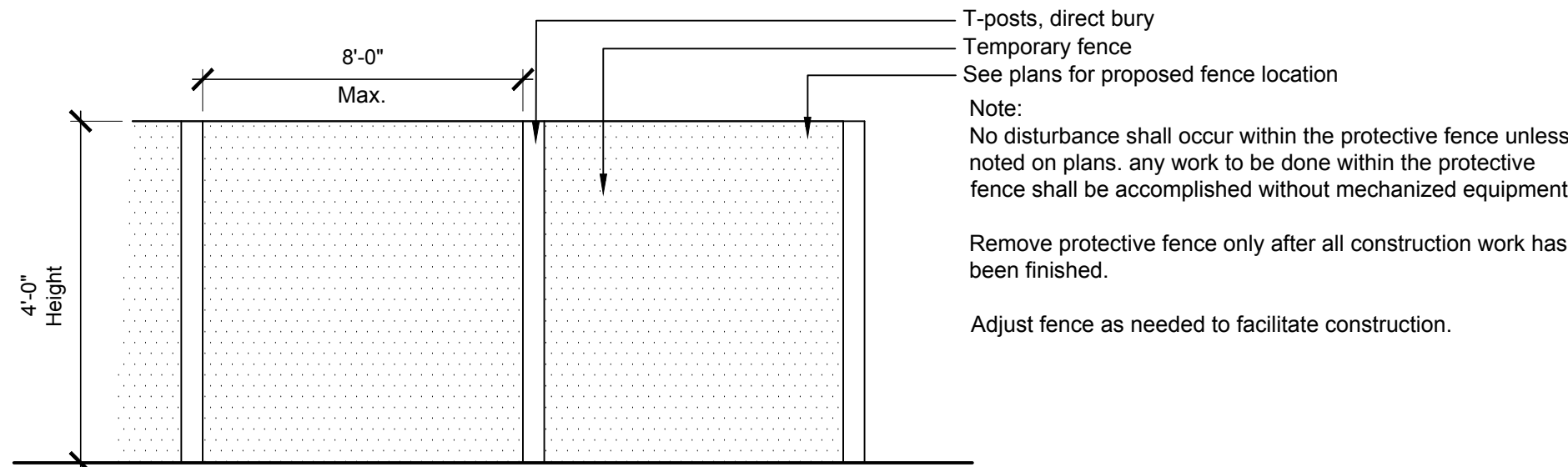
7 DRINKING FOUNTAIN HOT BOX
N.T.S.



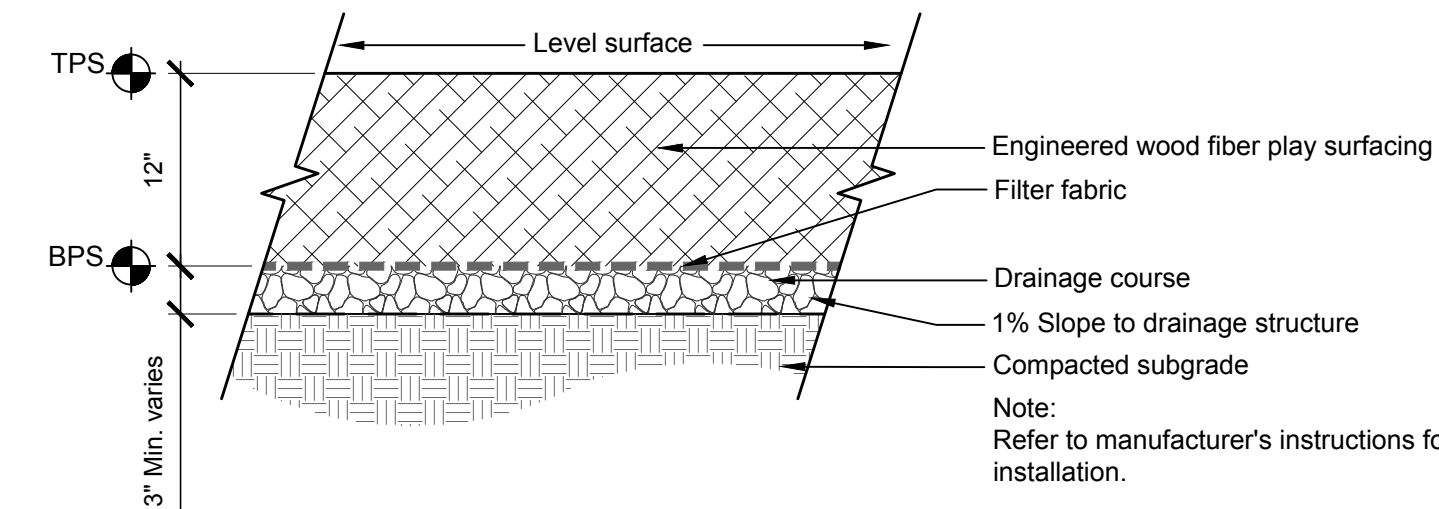
6 (ALTERNATE #2) STONE OUTCROPPING SEATING
3/4" = 1'-0"



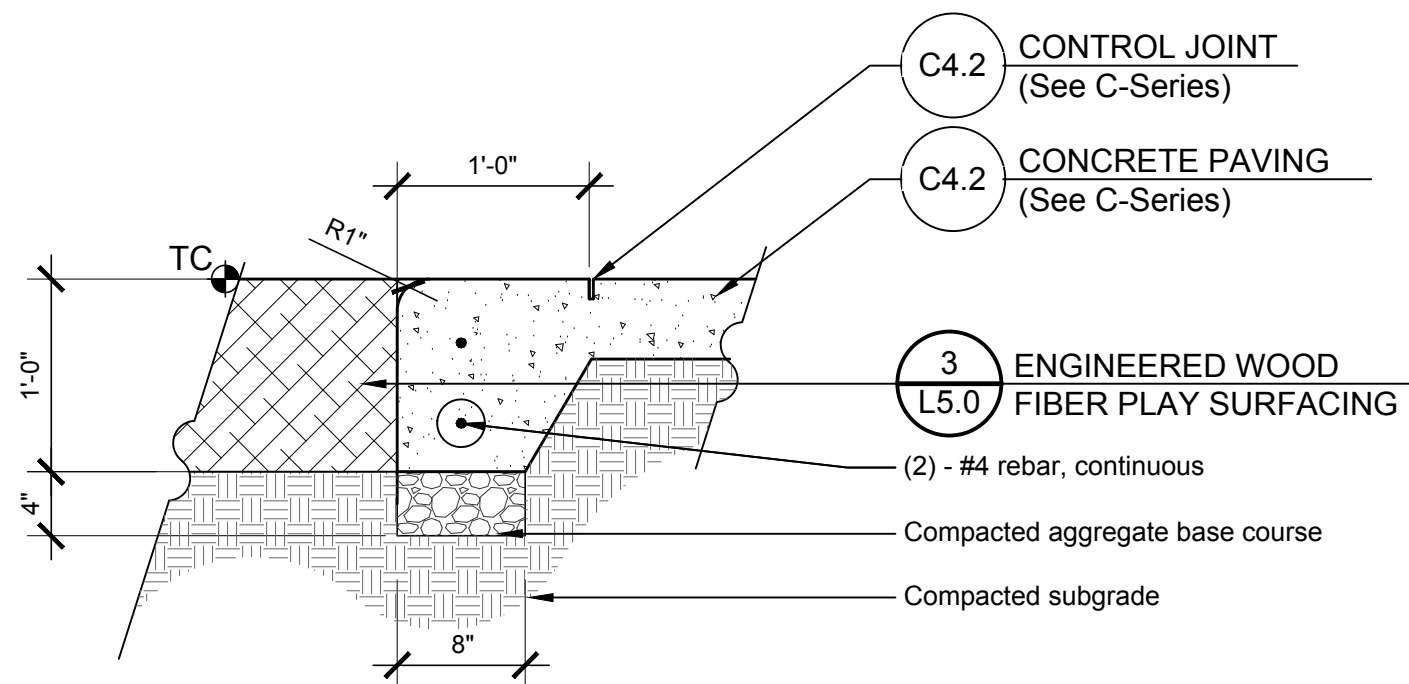
1 TREE PROTECTION FENCE
1/2" = 1'-0"



2 TEMPORARY CONSTRUCTION FENCE
1/4" = 1'-0"

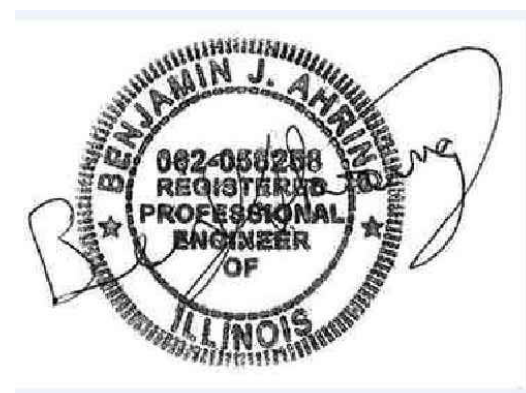


3 ENGINEERED WOOD FIBER PLAY SURFACING
1" = 1'-0"



4 THICKENED EDGE CONCRETE PAVING AT EWF
1" = 1'-0"

No	Date	Issue
2	02/27/24	Addendum #2



Expiration: 11/30/25

Construction Documents
February 21, 2024

REVISIONS

No	Date	Issue
1	2024/02/27	ADDENDUM 2

CHECKED BY
BJA

DRAWN BY
CMS

SHEET TITLE

SITE UTILITY PLAN



SHEET NUMBER

C1.0

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UTILITY NOTES

- Utility Service Lines as Shown Hereon are Approximate. Coordinate The Exact Locations With The Plumbing Drawings. Coordinate The Locations With The Plumbing Contractor and/or the Owner's Construction Representative Prior to Installation of Any New Utilities.
- Refer to Plumbing Drawings for Continuation of All Utilities Within 5 Feet of Building Face.
- Field Verify Invert & Locations of Existing Utility Mains Prior to Installing Any On-Site Utilities or Structures. All Elevations and Inverts Referencing Said Utility Shall Be Field Verified Prior To Installation Of Any New Structures Or Utilities, and Adjustments Shall Be Made as Necessary. Contact Engineer Prior to Installation If Discrepancy Exists With These Drawings.
- Coordinate the Relocation of Any Utilities Encountered And Replacement of Any Utilities Damaged Within Influence Zone Of New Construction. Contact Engineer If The Existing Utilities Vary Appreciably From The Plans.
- All Water Main and Services Shall Be Installed at a Minimum Depth of 5.5' From Top of Finished Ground Elevation to Top of Main.
- Protection of water supplies shall be as described in Section 370.350 of the Illinois Recommended Standards for Sewage Works or Section 41-2.01 of the Standard Specifications for Water and Sewer Main Construction in Illinois, latest edition.
- Clean Out All Existing and Proposed Storm Inlets and Catch Basins at the completion of Construction.
- Provide Adequate Coupling Device and/or Oversized Concrete Flared-End Section to Accommodate HDPE Storm Sewer.
- The "Standard Specifications for Water and Sewer Main Construction in Illinois", Current Edition Shall Govern Work Where Applicable.
- Rebuild Existing Structures and Adjust Rim Elevations to Match Proposed Ground Elevations.



Scale: 1"=50'

LEGEND

EXISTING	PROPOSED

GENERAL NOTES

- The Location of Existing Underground Utilities, Such As Watermains, Sewers, Gas Lines, Etc., As Shown On The Plans, Has Been Determined From The Best Available Information and Is Given For The Convenience of The Contractor. However, The Owner and The Engineer Do Not Assume Responsibility In The Event That During Construction, Utilities Other Than Those Shown May Be Encountered, and That The Actual Location of Those Which Are Shown May Be Different From The Location As Shown On The Drawings. Contact Engineer Immediately If Surface and/or Subsurface Features are Different Than Shown On The Drawings.
- Notify The Engineer Without Delay of Any Discrepancies Between the Drawings and Existing Field Conditions.
- Contractor Shall Provide Private Utility Locating Services for the Project Area.
- Notify The Owner, Engineer and The Village of Palatine A Minimum of 48 Hours In Advance of Performing Any Work.
- All Areas, On or Off Site, Disturbed During Construction Operations and Not Part of the Work As Shown Hereon Shall Be Restored To Original Condition to the Satisfaction of the Owner at No Additional Cost to the Owner. It is Incumbent Upon Contractor to Show That Damaged Areas Were Not Disturbed By Construction Operations.
- These Drawings Assume That The Contractor Will Utilize An Electronic Drawing File (DWG) to Stake All Site Improvements Accordingly. Contractor Shall Re-Establish Horizontal Control. Horizontal Control Points Not Provided.
- No Person May Utilize The Information Contained Within These Drawings Without Written Approval From Eriksson Engineering Associates, Ltd.
- The Engineer Is Furnishing These Drawings for Construction Purposes As A Convenience To The Owner, Architect, Surveyor, or Contractor. Prior To The Use Of These Drawings For Construction Purposes, The User Of This Media Shall Verify All Dimensions And Locations Of Buildings With The Foundation Drawings And Architectural Site Plan, and Coordinate All Dimensions and Locations of All Site Items. If Conflicts Exist The User Of This Information Shall Contact The Engineer Immediately.
- Provide An As-built Survey Prepared By A Licensed Professional Land Surveyor in Accordance With The Authorities Having Jurisdiction Which Shall Include As A Minimum All Detention Basins and Best Management Practices, Include All Storm and Sanitary Sewers, Structure Locations, Sizes, Rim and Invert Elevations, Final Detention Volume Calculations For The Basin(s), Watermain and Valve and Appurtenance Locations.
- The Illinois Department of Transportation Standard Specifications For Road And Bridge Construction Latest Edition, And All Addenda Thereto, Shall Govern The Earthwork And Paving Work Under This Contract Unless Noted Otherwise.

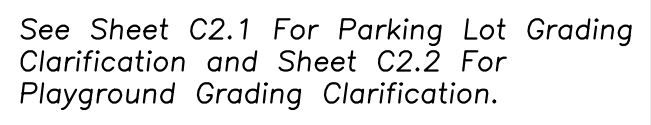
STRUCTURE NOTES

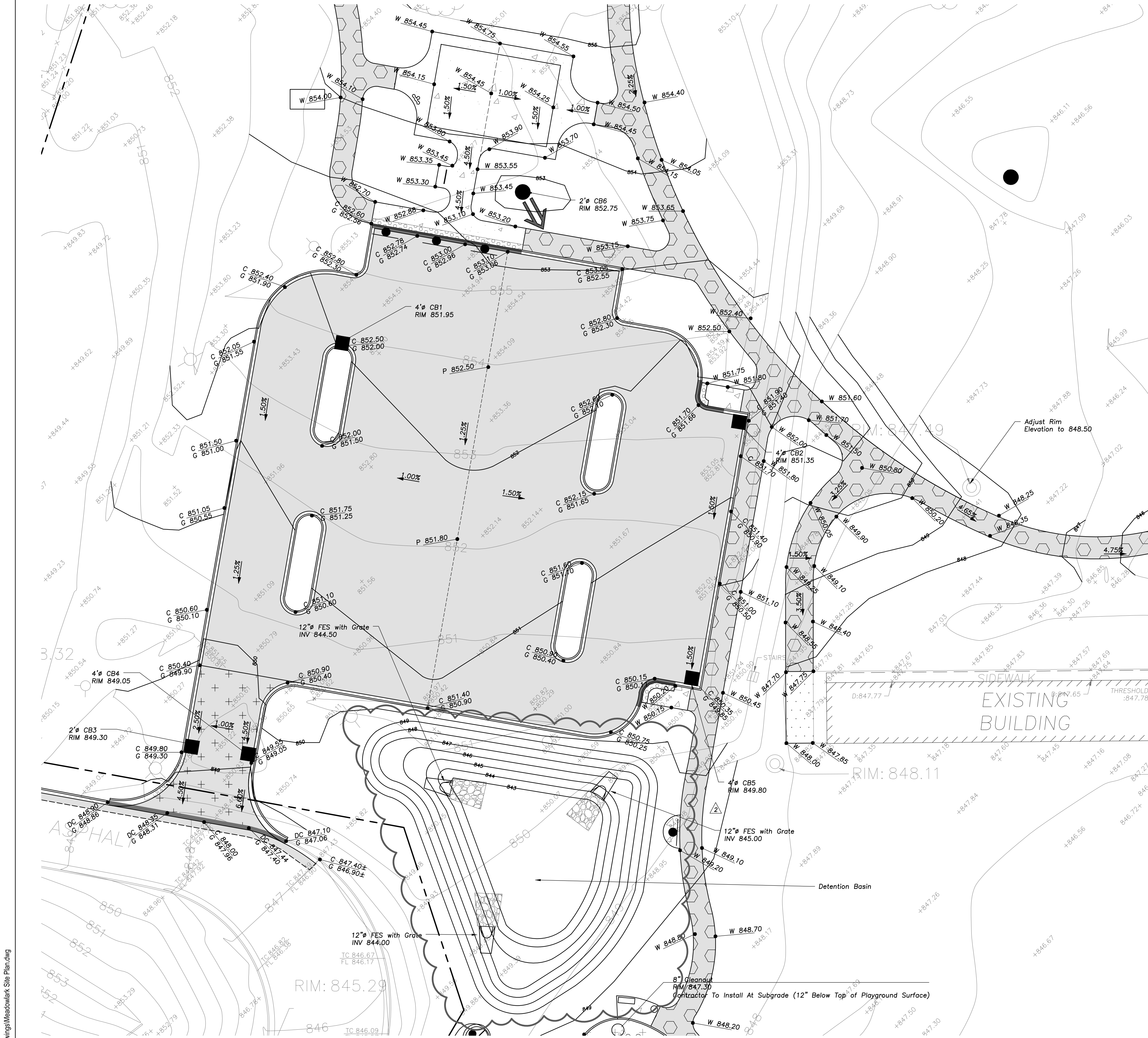
- All Catch Basins to Be Installed Shall Match Village of Palatine Detail on sheet C4.1.
- Where Structures are Shown Along the Curbside, Unless Specifically Stated Otherwise, It is Intended That the Frame of the Structure is To Fall Within the Flowline of the Gutter or at the Pavement Edge Where No Gutter Exists.
- All Manholes Shall Have Neenah R1713-B Frame & Closed Lid or Approved Equal, with "Storm" or "Sanitary" Imprinted as Appropriate.
- For All Structures Indicated to be Adjusted, Remove and Install Adjusting Rings, Cone Section, Barrel Sections, or Flat Slab Top as Necessary.
- All Flared End Sections 12" and Larger Shall Include an IDOT Standard Gate.
- All Flared End Sections Shall Be Concrete.
- All Sanitary Manholes Shall Include a Chimney Seal.

Per the IDNR EcoCAT Review #2403259, the Contractor Shall Follow the IDNR Guidance Listed Below.

- Educate personnel working on site about the Blanding's Turtle. Post photos of juvenile and adult Blanding's turtles at a central location.
- Conduct daily inspections during constructions to ensure that exclusionary fencing is properly installed (dug into the ground) and to check if turtles are present.
- Trenches should be covered at the end of each workday. Before starting each workday, trenches and excavations should be routinely inspected to ensure no turtles (or other amphibians and reptiles) have become trapped within them.
- If Blanding's turtles are encountered, crews should stop work immediately, allow the turtle to move out of the way and contact IDNR at (217) 785-5500.







Per the IDNR EcoCAT Review #2409359, the Contractor Shall Follow the IDNR Guidance Listed Below.

1. Educate personnel working on site about the Blanding's Turtle. Post photos of juvenile and adult Blanding's turtles at a central location.
2. Conduct daily inspections during constructions to ensure that exclusionary fencing is properly installed (dug into the ground) and to check if turtles are present.
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4. If Blanding's turtles are encountered, crews should stop work immediately, allow the turtle to move out of the way and contact IDNR at (217) 785-5500.



GRADING NOTES

1. The Grading and Construction of Proposed Improvements Shall Be Done In A Manner Which Will Allow For Positive Drainage, and Not Cause Ponding of Stormwater on the Surface of Proposed Improvements.
2. All Landscaped Areas Disturbed By Construction Shall Be Respread With 6 Inches (Min.) to 12 Inches (Max.) Topsoil and Hydroseeded Unless Noted Otherwise On The Landscape Drawings.
3. Refer to Architectural Drawings for Locations and Patterns of Expansion and Control Joints in Concrete Pavement and Sidewalks.
4. Accessible Parking Spaces and Loading Spaces Shall Be Sloped at Maximum 2.0% in Any Direction. Maximum Sidewalk Cross Slopes Shall Be 2.0%. Maximum Longitudinal Sidewalk Slope Shall Be 4.9%. Contact Engineer if Conflicts Exist.
5. Rebuild Existing Structures and Adjust Rim Elevations to Match Proposed Ground Elevations.

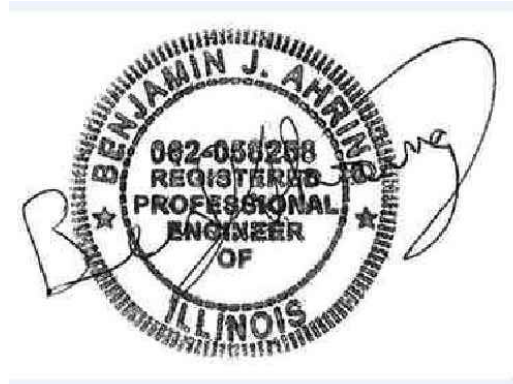
PAVING & SURFACE LEGEND

	Asphalt Pavement Section 1 1/2" Hot Mix Asphalt, Mix D, IL-9.5, N50 2 1/2" Hot Mix Asphalt, IL-19.0, N50 Prime Coat (0.25 gal/sq yd) 8" Aggregate Base Course, Type B, Crushed, CA-6 Non-Woven Geotextile Fabric, 5 oz/sy
	Concrete Sidewalk Section 5" Portland Cement Concrete 6"x6" W1.4xW1.4 Welded Wire Fabric 2" Aggregate Base Course, Type B, Crushed
	Heavy-Duty Asphalt Pavement Section 1 1/2" Hot Mix Asphalt, Mix D, IL-9.5, N50 3 1/2" Hot Mix Asphalt, IL-19.0, N50 Prime Coat (0.25 gal/sq yd) 10" Aggregate Base Course, Type B, Crushed, CA-6 Non-Woven Geotextile Fabric, 8 oz
	Light-Duty Asphalt Pavement Section 3" Hot Mix Asphalt, Mix D, IL-9.5, N50 6" Aggregate Base Course, Type B, Crushed
	Playground Section See Landscape Architect's Plans For Section Details
	Concrete Driveway Section 8" Portland Cement Concrete 6"x6" W2.9xW2.9 Welded Wire Fabric 6" Aggregate Base Course, Type B, Crushed
	Stormwater Overland Flow Path
	Ridge Line/High Point

Scale: 1"=20'	
LEGEND	
	EXISTING
	PROPOSED
	Manhole
	Catch Basin
	Inlet
	Area Drain
	Clean Out
	Flared End Section
	Storm Sewer
	Sanitary Sewer
	Combined Sewer
	Water Main
	Gas Line
	Overhead Wires
	Electrical Cable (Buried)
	Telephone Line
	Fire Hydrant
	Valve Vault
	Buffalo Box
	Downspout
	Bollard
	Gas Valve
	Gas Meter
	Electric Meter
	Electric Manhole
	Hand Hole
	Light Pole
	Light Pole w/ Mast Arm
	Utility Pole
	Telephone Pedestal
	Telephone Manhole
	Sign
	Fence
	Accessible Parking Stall
	Curb & Gutter
	Depressed Curb
	Curb Elevation
	Gutter Elevation
	Pavement Elevation
	Sidewalk Elevation
	Ground Elevation
	Top of Retaining Wall Elevation
	Swale
	Contour Line
	Deciduous Tree
	Coniferous Tree
	Brushline
	Tree Protection Fencing at Drip Line

GENERAL NOTES

1. The Location of Existing Underground Utilities, Such As Watermains, Sewers, Gas Lines, Etc., As Shown On The Plans, Has Been Determined From The Best Available Information and Is Given For The Convenience of The Contractor. However, The Owner and The Engineer Do Not Assume Responsibility In The Event That During Construction, Utilities Other Than Those Shown May Be Encountered, and That The Actual Location of Those Which Are Shown May Be Different From The Location As Shown On The Drawings. Contact Engineer Immediately If Surface and/or Subsurface Features Are Different Than Shown On The Drawings.
2. Notify The Engineer Without Delay of Any Discrepancies Between the Drawings and Existing Field Conditions.
3. Contractor Shall Provide Private Utility Locating Services for the Project Area.
4. Notify The Owner, Engineer and The Village of Palatine A Minimum of 48 Hours In Advance of Performing Any Work.
5. All Areas, On or Off Site, Disturbed During Construction Operations and Not Part of the Work As Shown Hereon Shall Be Restored To Original Condition to the Satisfaction of the Owner at No Additional Cost to the Owner. It is Incumbent Upon Contractor to Show That Damaged Areas Were Not Disturbed By Construction Operations.
6. These Drawings Assume That The Contractor Will Utilize An Electronic Drawing File (DWG) to Stake All Site Improvements Accordingly. Contractor Shall Re-Establish Horizontal Control. Horizontal Control Points Not Provided.
7. No Person May Utilize The Information Contained Within These Drawings Without Written Approval From Eriksson Engineering Associates, Ltd.
8. The Engineer Is Furnishing These Drawings For Construction Purposes As A Convenience To The Owner, Architect, Surveyor, or Contractor. Prior To The Use Of These Drawings For Construction Purposes, The User Of This Media Shall Verify All Dimensions And Locations Of Buildings With The Foundation Drawings And Architectural Site Plan, and Coordinate All Dimensions and Locations of All Site Items. If Conflicts Exist The User Of This Information Shall Contact The Engineer Immediately.
9. Provide An As-built Survey Prepared By A Licensed Professional Land Surveyor In Accordance With The Authorities Having Jurisdiction Which Shall Include As a Minimum All Detention Basins and Best Management Practices, Include All Storm and Sanitary Sewers, Structure Locations, Sizes, Rim and Invert Elevations, Final Detention Volume Calculations For The Basin(s), Watermain and Valve and Appurtenance Locations.
10. The Illinois Department of Transportation Standard Specifications For Road And Bridge Construction Latest Edition, And All Addenda Thereto, Shall Govern The Earthwork And Paving Work Under This Contract Unless Noted Otherwise.



Expiration: 11/30/25

Construction Documents
February 21, 2024

No	Date	Issue
1	2024/02/27	ADDENDUM 2

CHECKED BY
BJA

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CMS

SHEET TITLE

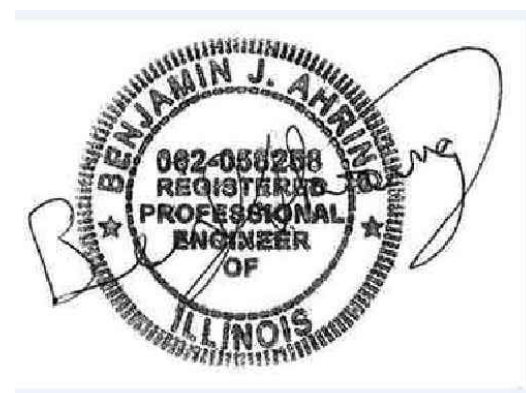
**PARKING LOT
GRADING AND
PAVING PLAN**

NORTH



SHEET NUMBER

C2.1



Expiration: 11/30/25

Construction Documents
February 21, 2024

REVISIONS

No	Date	Issue
1	2024/02/27	ADDENDUM 2

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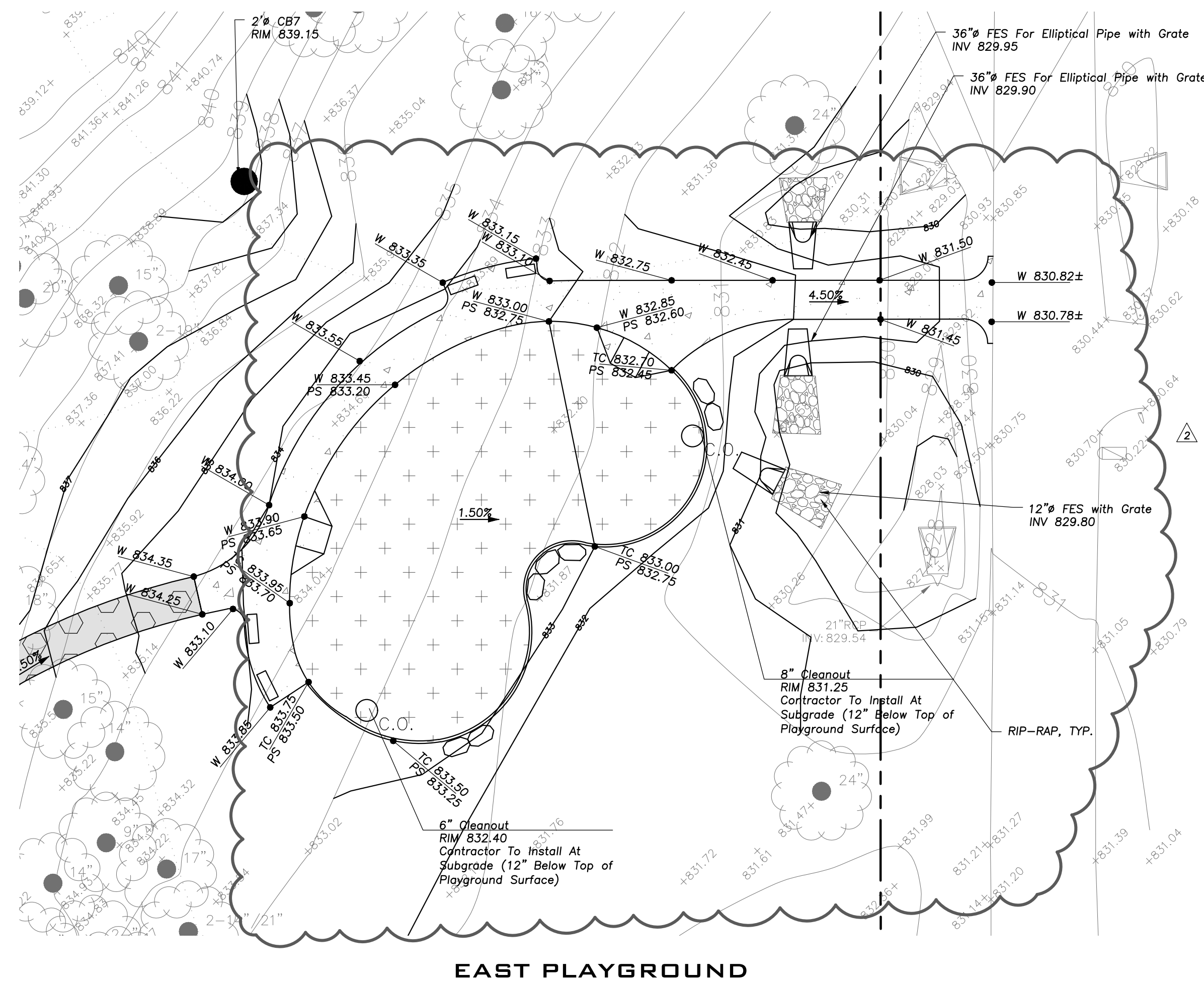
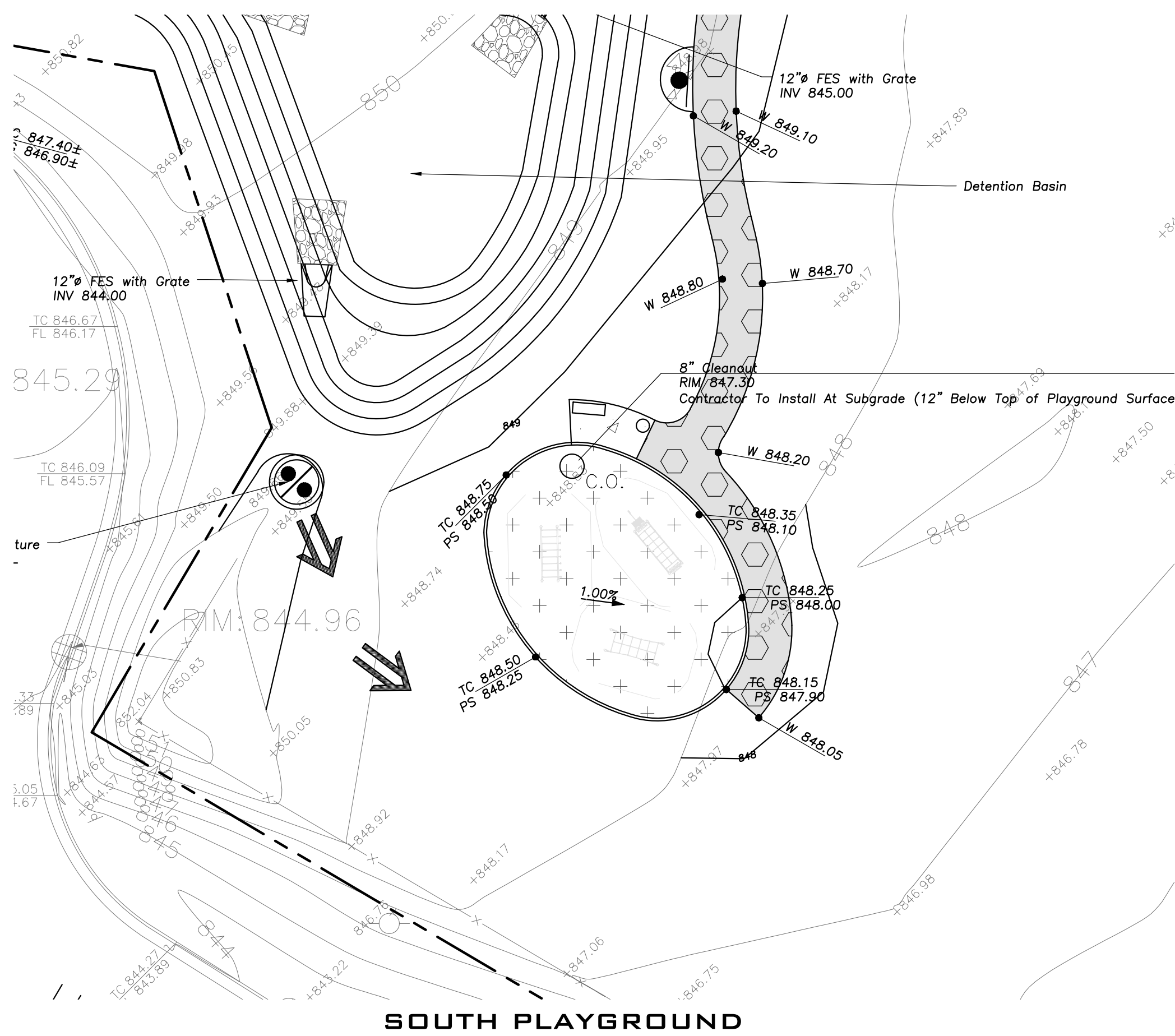
PLAYGROUND GRADING AND PAVING PLAN



SHEET NUMBER

C2.2

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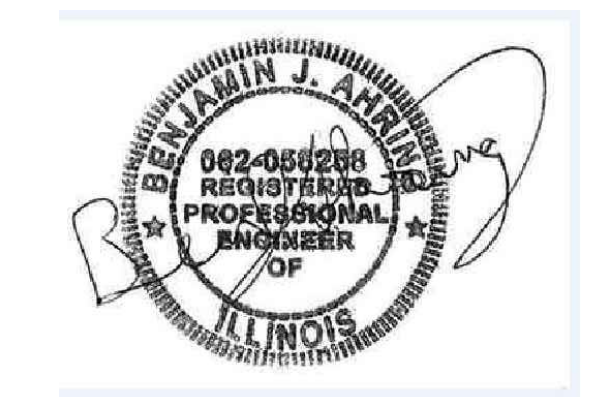
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LEGEND	
EXISTING	PROPOSED

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Expiration: 11/30/25

Construction Documents
February 21, 2024
REVISIONS

No	Date	Issue
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CHECKED BY
BJA

DRAWN BY
CMS

SHEET TITLE

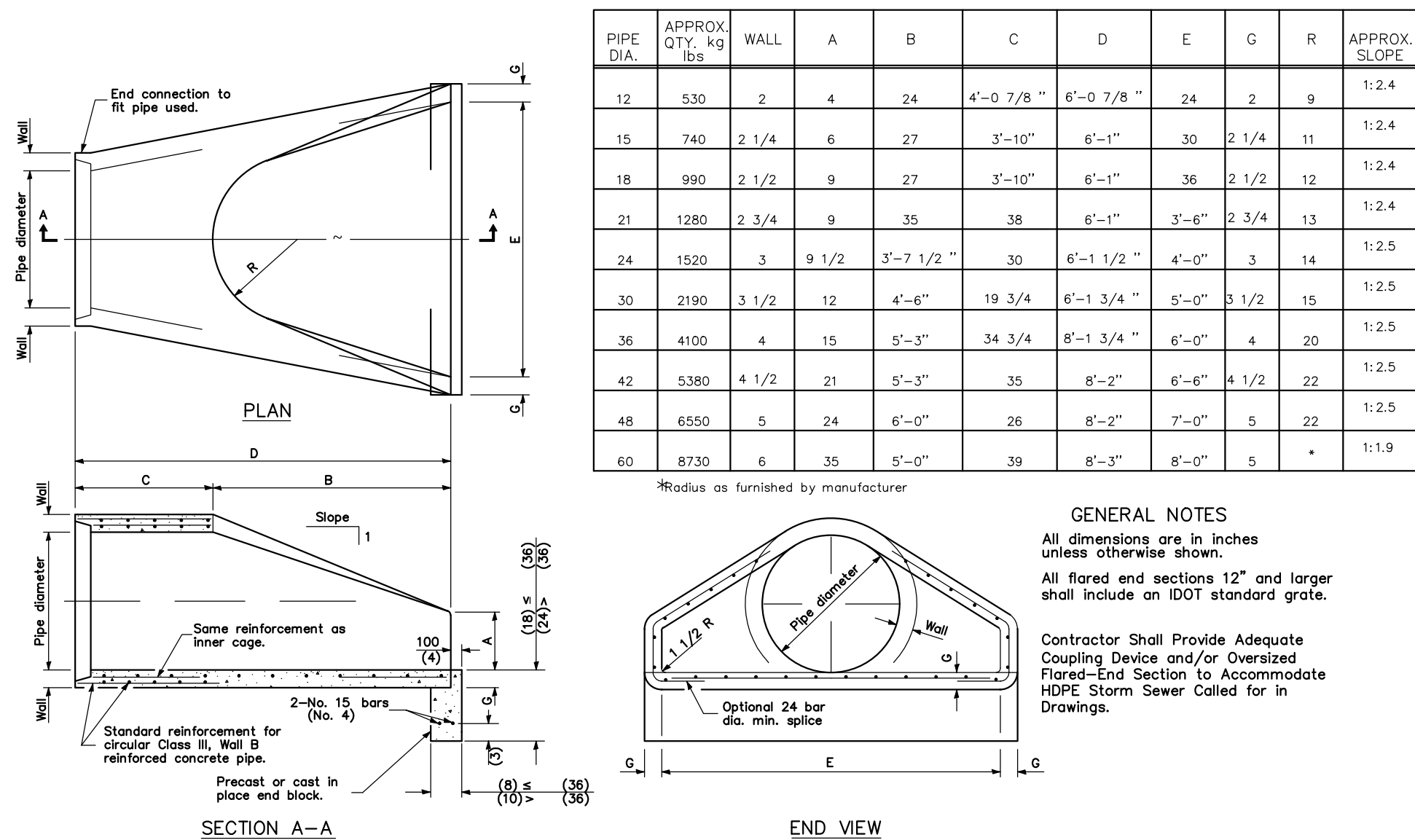
SITE WORK DETAILS

NORTH

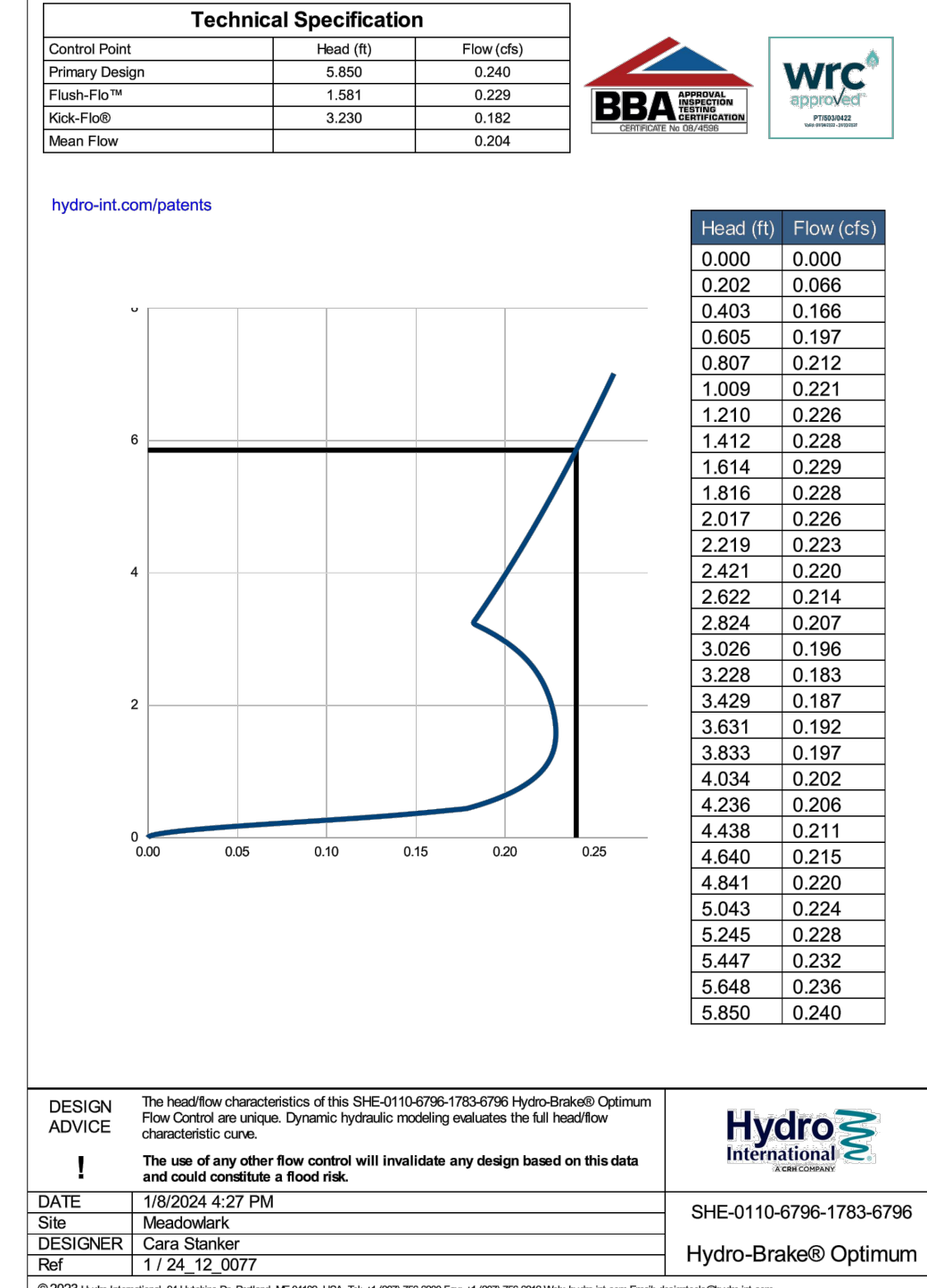
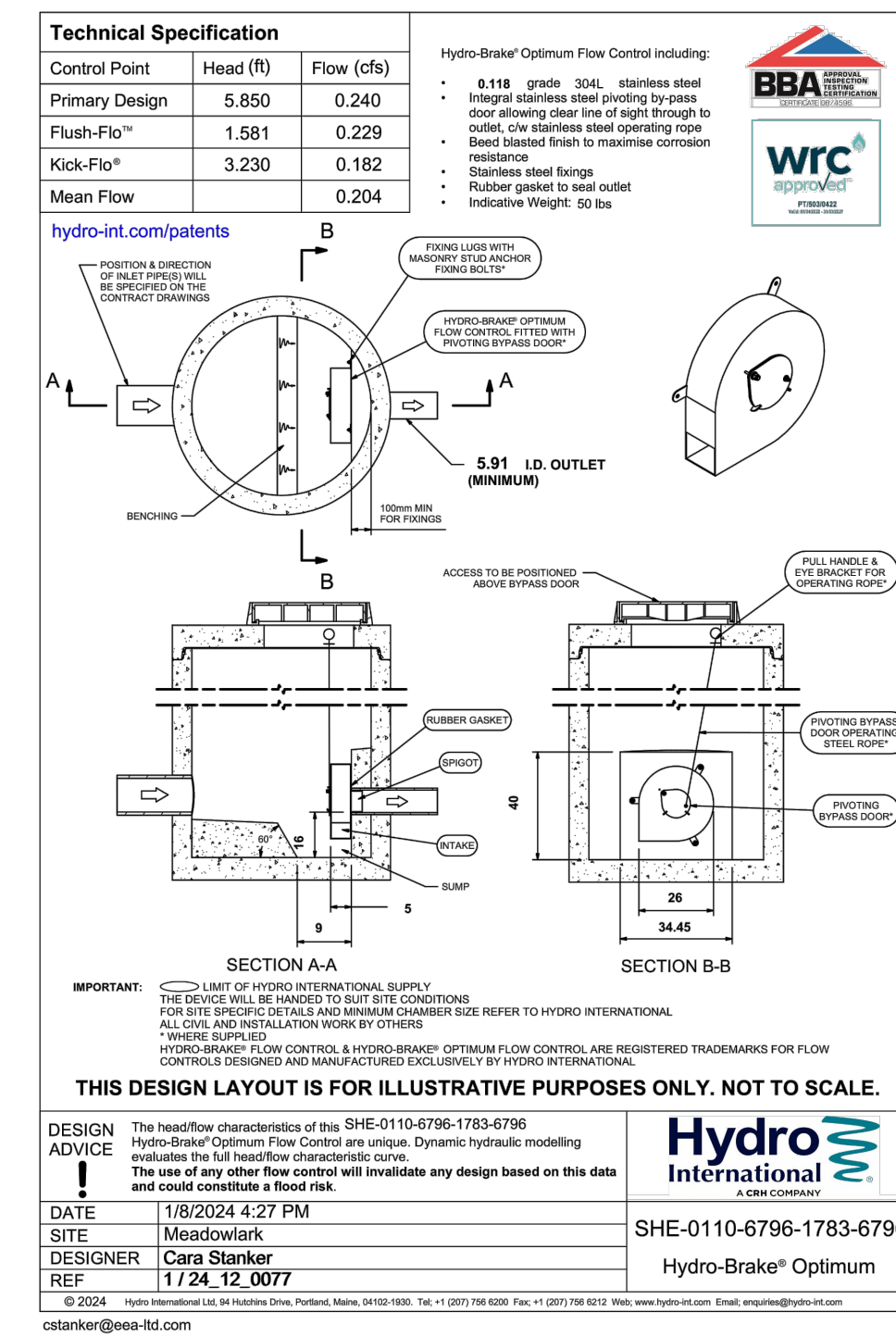
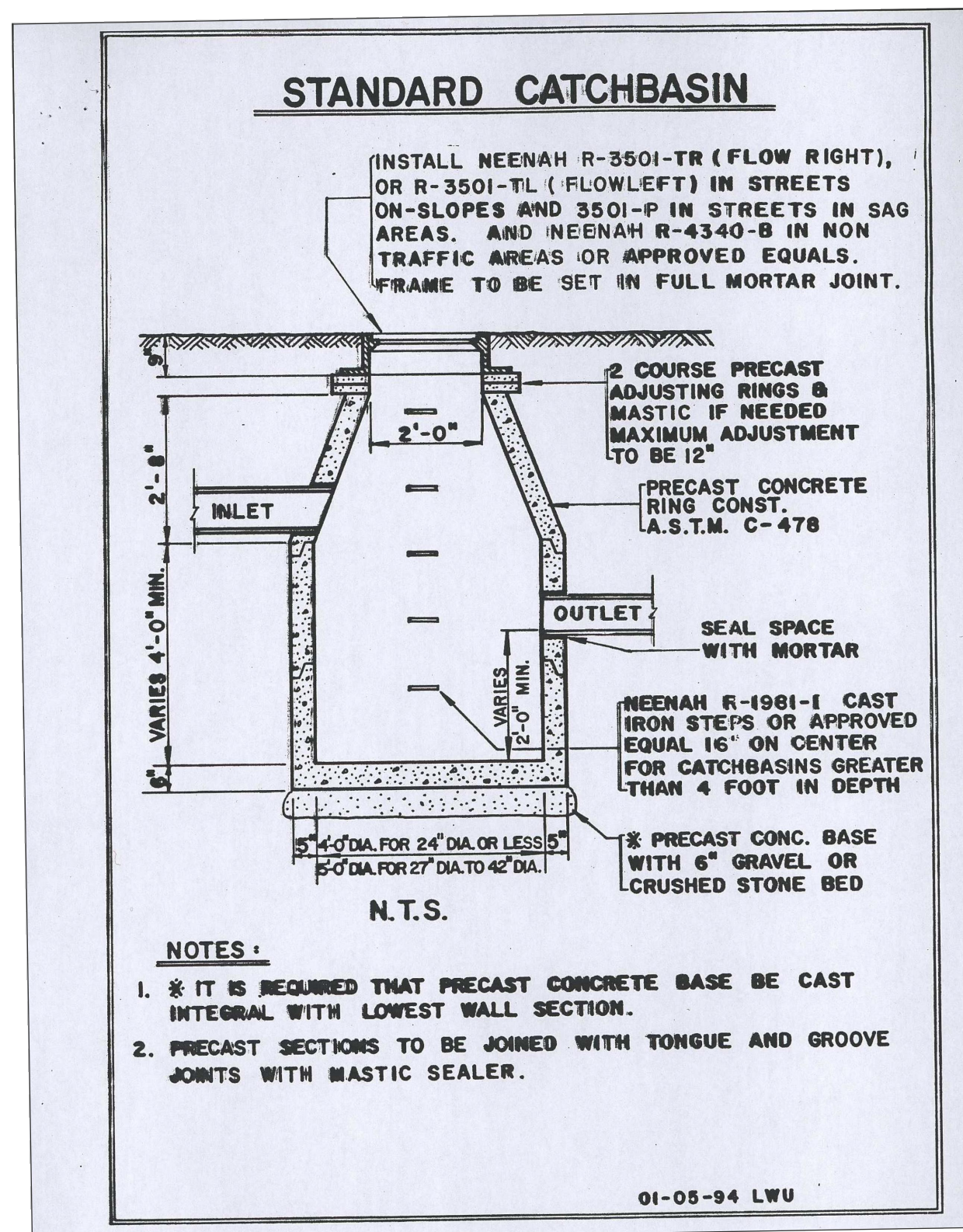
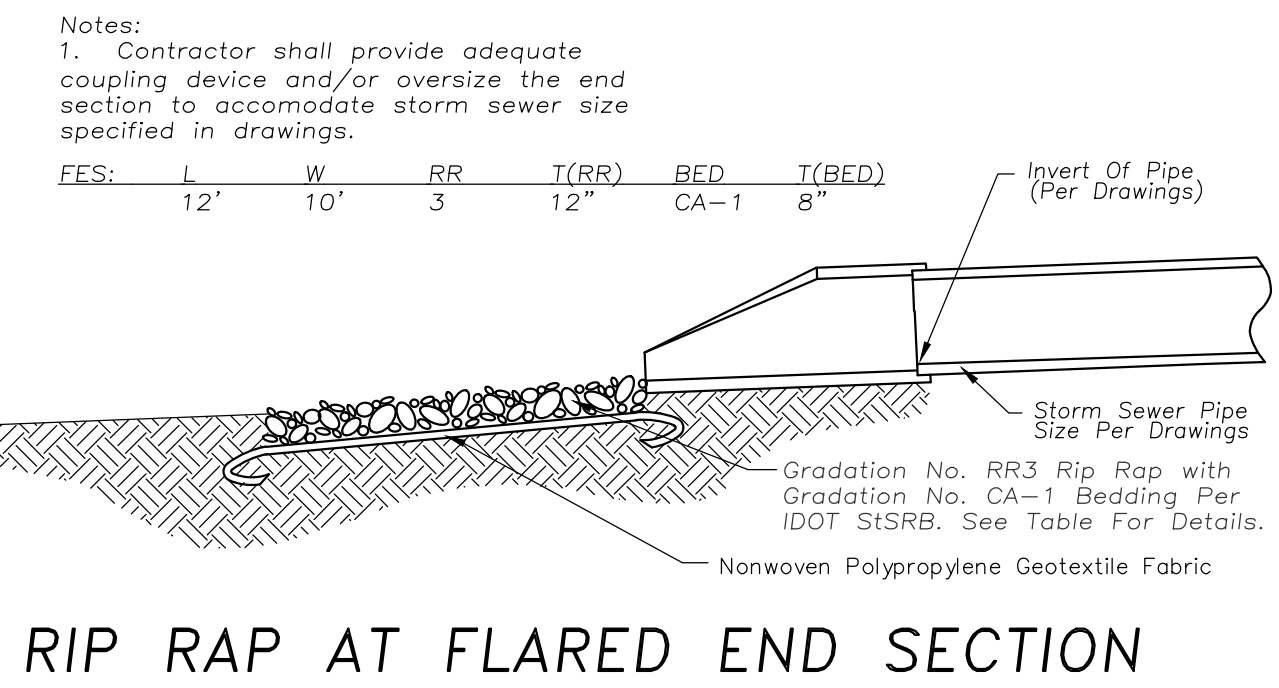
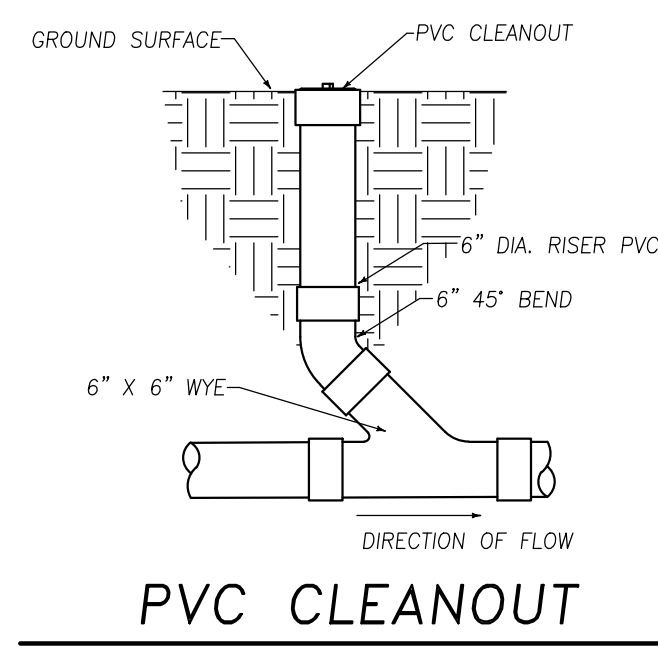
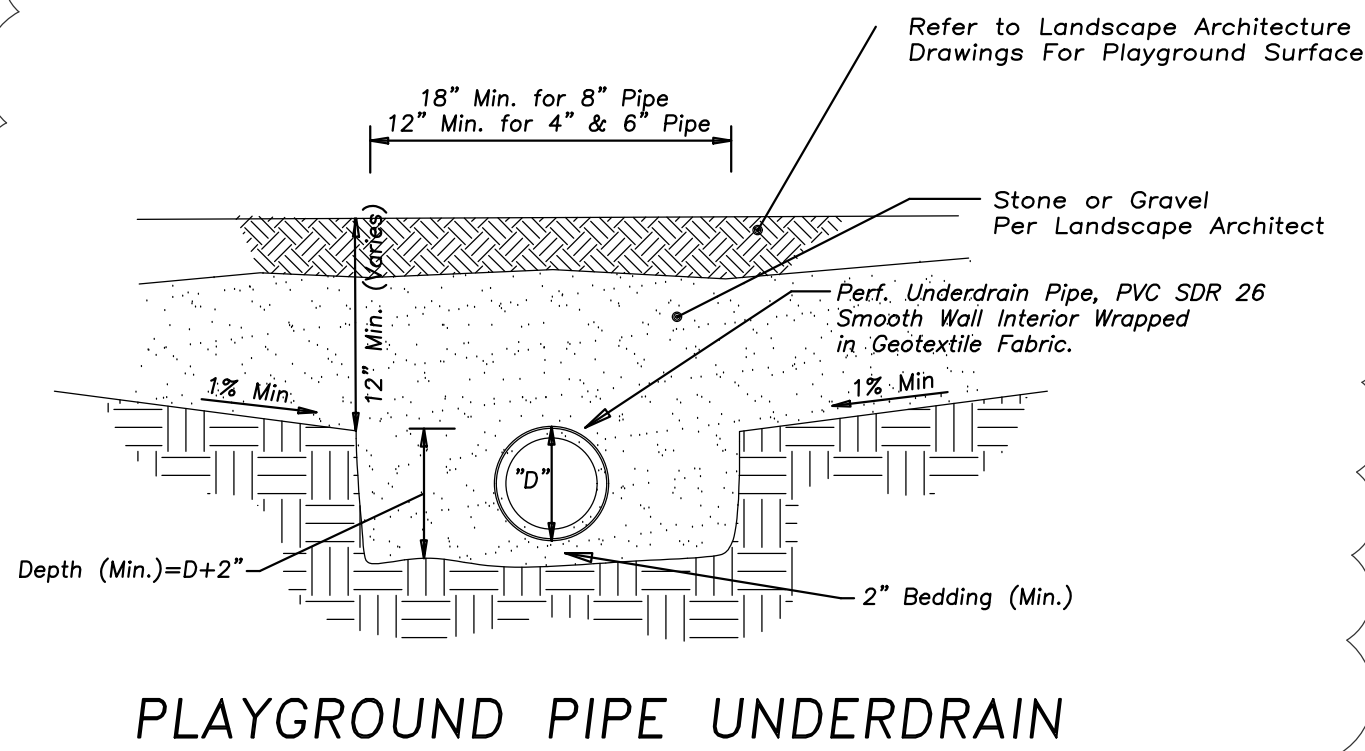
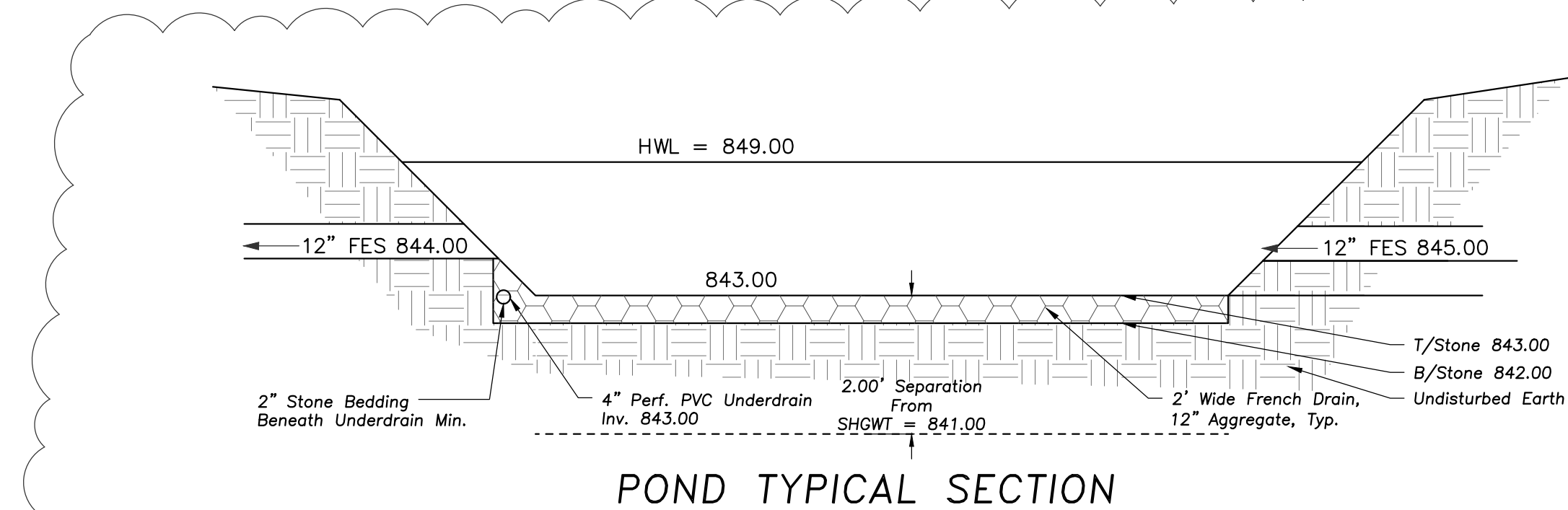
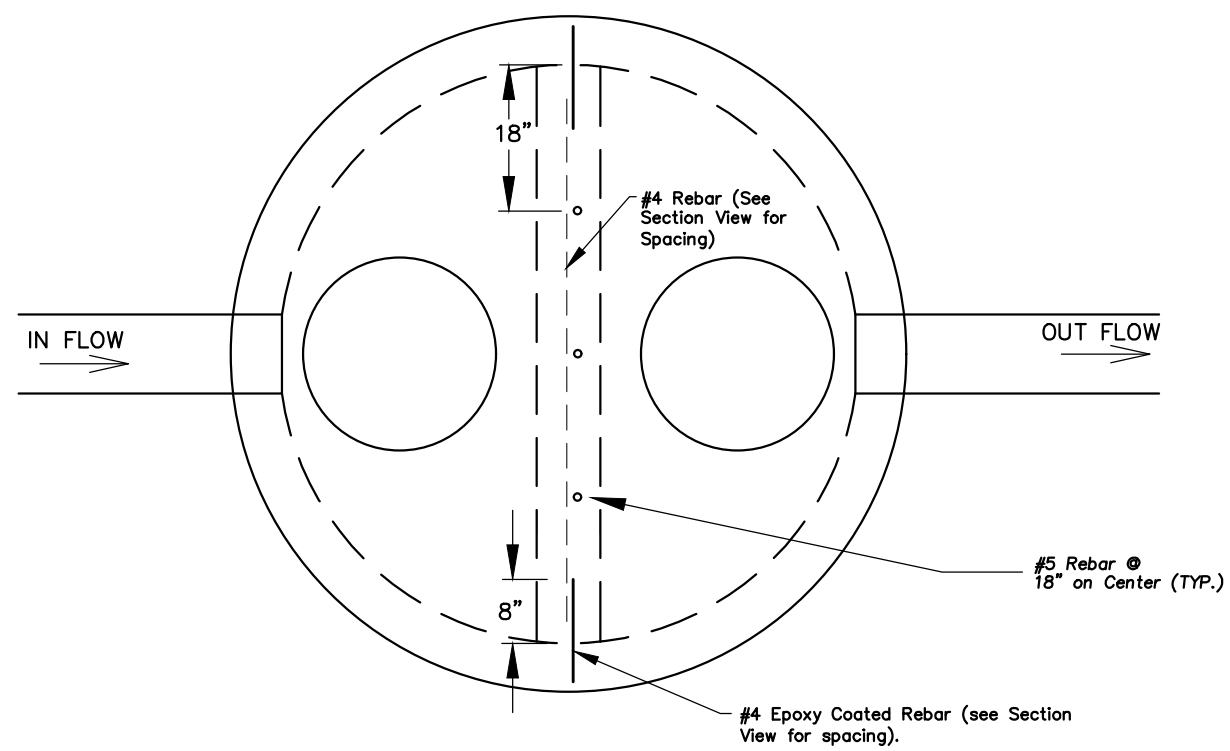
SHEET NUMBER

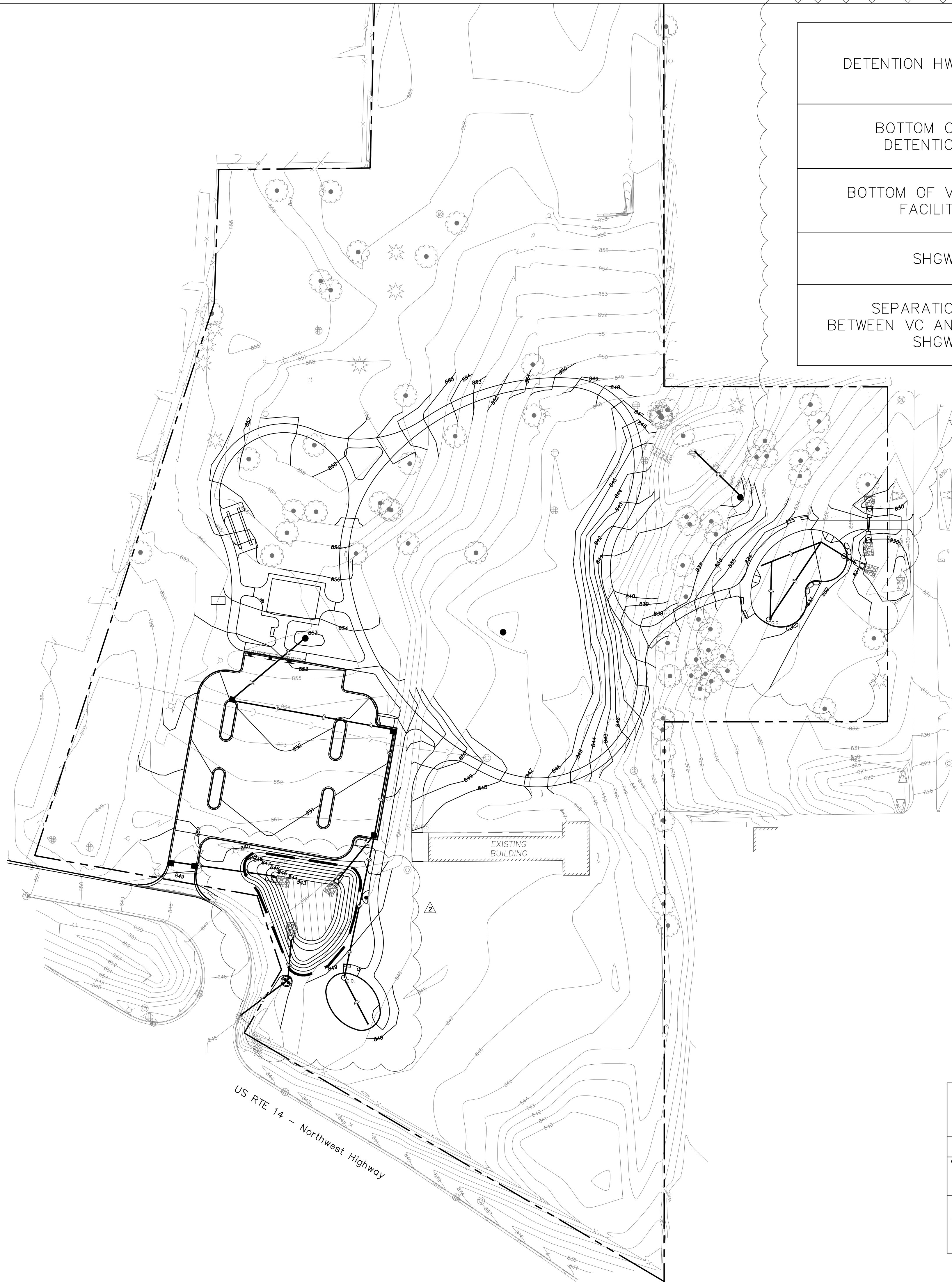
C4.1

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**PRECAST REINFORCED
CONCRETE FLARED END SECTION**





DETENTION HWL	849.00	DETENTION REQUIRED	0.56 AC-FT
BOTTOM OF DETENTION	844.00	DETENTION PROVIDED	0.65 AC-FT
BOTTOM OF VC FACILITY	843.00	TOTAL VC REQUIRED	0.05 AC-FT
SHGWT	841.00	BENEATH BASIN VC PROVIDED	0.05 AC-FT
SEPARATION BETWEEN VC AND SHGWT	2.00		

OWNER CONTACT INFORMATION

Palatine Park District
250 E. Wood St.
Palatine, IL 60067
Attn: James Holder, Superintendent of Parks and Planning
847-705-5131
JHolder@palatineparks.org

PROJECT SITE SUMMARY

Property Index Number(s):

02-08-201-006
02-08-201-007
02-08-201-008

Property Address:

1502 W. Northwest Hwy, Palatine, IL

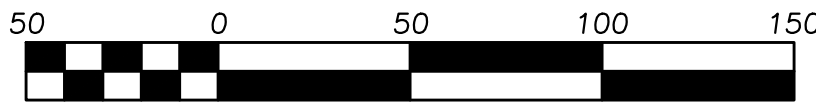
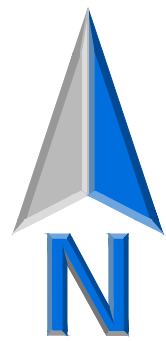
Total Contiguous Ownership:

11.77 Acres

Development Area:

0.66 Acres (Phase 1)
0.52 Acres (Phase 2)
1.18 Acres (Total)

Stormwater Summary		
	Required	Provided
Volume Control (Phase 1)	0.05 ac-ft	0.05 ac-ft
Detention Volume (Phase 1 & 2)	0.56 ac-ft	0.65 ac-ft



Scale: 1"=50'

MWRD RECORDING & MAINTENANCE NOTES

The Owner Of This Development, With Facilities As Shown On This Exhibit (Exhibit R), Shall Assume Responsibility For The Following Perpetual Maintenance Activities:

1. **General**
Regular Inspections And Routine Maintenance Of General Areas Shall Be Performed On A Monthly Or As-Needed Basis. Specific Items Of Concern Include:

- Litter And Debris Shall Be Controlled
- Landscaped Areas Shall Be Maintained With Regular Mowing And Restored With Appropriate Seeding / Vegetation As Necessary
- Accumulated Sediment Shall Be Disposed Of Properly, Along With Any Wastes Generated During Maintenance Operations
- Riprap Areas Shall Be Repaired With The Addition Of New Riprap, As Necessary, Of Similar Size And Shape
- Roads Shall Be Swept, Vacuumed And/Or Washed On A Regular Basis

2. **Stormwater Management Facilities**
All Components Of The Stormwater Management Facilities Shall Be Checked Monthly Between March And November And Maintained As Necessary To Ensure Proper Performance. It Is Critical That All Inflows And Outflows To The Detention Facility Are Clean And Performing As Designed. In Addition, The Design Volume Of The Detention Facility Shall Also Be Maintained. Inspections For The Following Specific Items Should Be Conducted Monthly Between March And November:

Side Slopes/Embankment/Emergency Overflow Structure

- Inspect Embankments For Settlement And Erosion
- Remove Woody Growth From The Embankment
- Any Breaks, Hire Registered Professional Engineer For Design Resolution
- Seed And Sod Any Eroded Areas
- Signs Of Piping (Leakage) Or Seepage, Repair
- Stabilize Emergency Overflow Structure If Erosion Observed
- Remove Obstructions Blocking Emergency Overflow Spillway

Outlet Control Structure

- Inspect Restrictor And Remove Debris If Clogged Or Discharge Reduced
- Remove Accumulated Sediment At Outlet
- Scour And Erosion At Outlet, Repair And Ressed
- Any Ice Damage To Outlet Of Pipe, Repair If Necessary
- Condition Of Trash Racks, Remove Debris
- Outlet Pipe Conditions Downstream

Access For Maintenance Equipment

- Remove Any Obstructions Placed In Maintenance Easements

Safety Features

- Access Controls To Hazardous Areas
- Fences
- Loose Or Damaged Posts
- Loose Or Broken Wires
- Condition Of Gates
- Signs

Detention Volume

- Inspect All Stormwater Detention Facilities To Ensure That The Constructed Volume For Detention Is Maintained. No Sediment, Topsoil, Or Other Dumping Into The Facility Shall Be Allowed. Specific Locations In The Stormwater Management System, Design To Accumulate Sediment, Shall Be Dredged As Necessary To Prevent Sediment From Reaching The Invert Of Any Gravity Outlet Pipe.

3. **Volume Control Facility**
Routing Inspections And Maintenance Of Volume Control Facilities Shall Be Performed By The Owner On A Yearly Or As-Needed Basis. Specific Items Of Concern Include:

- Facility Shall Be Inspected Yearly Using The Monitoring Well To Verify The System Is Functioning Properly.
- Accumulated Sediment From The Surface Shall Be Vacuumed Out And Disposed Of Properly.
- Appropriate Signage Shall Be Repaired If Damaged Or Illegible.

4. **Stormwater Collection System**

The Owner Shall Perform Monthly Inspections Of All Components Of The Stormwater Collection System. The Monthly Inspection Shall Occur Between March And November And Include The Following Specific Areas Of Concern:

Storm Inlets/Manholes

- Remove Accumulated Leaves And Other Debris From Grates
- Reset Covers/Lids On As-Needed Basis
- Remove Accumulated Sediment From Manhole Bottom When 50% Of Sump Is Filled

Storm Sewers/Culverts

- Visually Inspect Pipes By Removing Manhole Lids, Make Repairs As Necessary
- Storm Sewers And Culverts Shall Be Checked For Siltation Deposits At Inlets, Outlets, And Within The Conduit; Clean Out As Necessary
- Restore Riprap At Outfalls If Erosion Observed
- Replant And Reseed Any Eroded Areas

Overland Flow Routes (Ditches/Swales)

- Annual Visual Inspections Shall Be Performed That Verify The Design Capacity Of The Overland Flow Routes Is Maintained. The Slope And Cross-Sectional Area Of The Ditch/Swale Shall Be Verified During This Inspection.
- Remove Any Obstructions That Have Been Placed In The Drainage Path
- Seed And Sod Any Eroded Areas
- Restore Riprap As Necessary
- Regrade To Provide Positive Drainage As Necessary
- Regular Mowing To Control Vegetation

LEGEND

Property Line

Storm Sewer

Detention Facility

Volume Control Facility



22 E. Chicago Avenue
Suite 200A
Naperville, IL 60540
T 630.961.1787
hitchcockdesigngroup.com

PREPARED FOR
**Palatine
Park District**

250 East Wood Street,
Palatine, Illinois, 60067

PROJECT
**Meadowlark Park
Final Design
Phase One**

1502 W Northwest Highway,
Palatine,
Illinois, 60067

CONSULTANTS
Civil Engineer
Eriksson Engineering Associates
Grayslake, Illinois 60030
T 847.223.4804

Electrical Engineer
Nova Engineering PC
Schererville, Indiana 46375
T 219.865.3352



Expiration: 11/30/25

Construction Documents
February 21, 2024

No	Date	Issue
1	2024/02/27	ADDENDUM 2

CHECKED BY
BJA

DRAWN BY
CMS

SHEET TITLE

**MONITORING AND
MAINTENANCE
EXHIBIT**

NORTH



SHEET NUMBER

C5.0

Project Type (From above)	Project Category (From Above)	Media File #/Name	Project Category Cost	ADA Portion of Project Category Cost	% ADA Dollars Requested
Recreation Amenities & Routes	Accessible route, Play grounds, adventure playground	1-7	736702.45	235371.48	31.95%
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Total Project Cost			736702.45		
Total ADA Portion of Project Cost			235371.48		
Total % of ADA Dollars Requested			31.95%		