

Title	Emerson Playground	03/24/2023
	by Ben Kutscheid in Member District ADA Project Request	id. 36096954
	1000 W. Central Road Mount Prospect, Illinois 60056 IL United States 847.255.5380 ext 108 bkutscheid@mppd.org	

Original Submission 03/24/2023

Name	Ben Kutscheid
Job Title	Planner/Landscape Architect
E-mail Address	bkutscheid@mppd.org
Phone Number	8472175076
Park District	Mt. Prospect
Project Location	Emerson Playground
Project Status	New Alteration
Project Type	Recreation Facilities and Amenities Routes and Surfaces
Recreation Facilities and Amenities- select a Project Category below:	Benches- Picnic Tables Playgrounds- Play Components
Routes and Surfaces- select a Project Category below:	Play Surfaces Walking Surfaces
Benefits of the Project	Replace existing play equipment for new play equipment
Items that will become ADA Compliant	Play equipment, benches, tables, pathways

The project is designed or constructed, or applies human resources, to comply with:

**The 2010 Standards for Accessible Design
ASTM F 1951 Standard for Accessible Playground Surfaces**

Upload Project Related Files, Photos, Videos or Audio

[Emerson_5_1_2023_1.pdf](#)

[Emerson_5_1_2023_2.pdf](#)

[Emerson_5_1_2023_3.pdf](#)

[Emerson_5_1_2023_4.pdf](#)

[Emerson_5_1_2023_5.pdf](#)

[Emerson_5_1_2023_7.pdf](#)

Budget Table for ADA Related Expenses

[Budget Table.xlsx](#)

ADA Dollars Requested	159212.0
-----------------------	-----------------

Notes related to requested amount	I am leaving the Park District at the end of April, please contact Matt Dziubinski at mdziubinski@mppd.org or Jim Jarog at jjarog@mppd.org
-----------------------------------	--



May 1, 2023

Ms. Tracey Crawford, CTRS, CPRP, Executive Director
Northwest Special Recreation Association
3000 Central Rd. - Suite 205
Rolling Meadows, IL 60008

Re: NWSRA Authorization of use of Accessibility Fund
Emerson Park Redevelopment

Dear Tracy,

Emerson Park (317 North Emerson, Mt. Prospect, IL 60056) is a neighborhood School/Park located on the Northeast side of the Park District. We recommend the following funds be authorized for use by the Mt. Prospect Park District for Accessibility improvements. The funds will be used for playground and general park construction.

The first items are related to the play area replacement. The play area meets and exceeds current ADA Standards (2010). The Playground Accessibility is as determined in Chapter 2 Scoping Requirements 240 Play Areas and Chapter 10 Recreation Facilities 1008 Play Areas and ASTM F1487.

1) Request authorization for 80% of the cost for play area removal. The cost to remove the play area is \$2,000. We request authorization for the Park District to use ADA funds in the amount of **\$1,600.**

2) Request reimbursement for 80% of the cost of labor to install the new play equipment. The cost of the labor is \$32,757.55. We request authorization for the Park District to use ADA funds in the amount of **\$26,206.**

3) The proposed play area meets and exceeds current ADA Standards (2010). The ADA Guideline Charts are attached. The playground has a total of 37 Play Events and 21 Elevated Play events (on two separate structures) and 16 Ground Mounted Play events and 34 are accessible and 3 are not accessible. The Playground Accessibility is as determined in Chapter 2 Scoping Requirements 240 Play Areas and Chapter 10 Recreation Facilities 1008 Play Areas.

Request reimbursement for 80% of the cost of new play equipment. The invoiced cost to purchase the new play equipment is \$93,593. The Park District request **\$74,874** for reimbursement

4) Request authorization for the cost of 4,310 sf resilient surface. The Park District is proposing to install a resilient surface that is all "Engineered Wood Fiber". The surface shall meet the current ADA Standards (2010) and Accessibility as determined in Chapter 2 Scoping Requirements 206.2.2 Accessible Route within a Play Area Chapter 3 Building Blocks 305.2 Floor and Ground Surfaces. We request authorization for the Park District to use ADA funds in the amount of **\$22,507** for resilient surface and associated work.

5) Request authorization for 5' of concrete pathway width for 150 lf and 100 sf of table clear floor space which is 750 sf of concrete pad and concrete walk in the play area. The total cost for the concrete walk and the concrete

pad is \$10,500 of which \$8,500 is required for accessibility. The concrete pad shall meet the current ADA Standards (2010) and Accessibility as determined in Chapter 2 Scoping Requirements 206.2.2 Accessible Route within a site Chapter 4 Accessible Routes 403 Walking Surfaces and Chapter 9 Built in Elements 902.2 Dining Surfaces Clear Floor Space. We request authorization for the Park District to use ADA funds in the amount of **\$8,500.00**

6) Request reimbursement for 50% of cost of an ADA picnic table and 4 ADA Benches. The cost of one installed picnic table is \$4,600 the cost 4 ADA benches is \$7,200. The ADA Picnic Tables shall meet the current ADA Standards (2010) and Accessibility as determined in Chapter 2 Scoping Requirements 226 Dining Surfaces and in Chapter 9 Built in Elements 902 Dining Surfaces. The ADA Picnic Tables shall meet the current ADA Standards (2010) and Accessibility as determined in Chapter 2 Scoping Requirements, Chapter 9 Built in Elements 903 Benches. We request authorization for the Park District to use ADA funds in the amount of **\$5,900.**

7) Request authorization for 5' of pathway width and 510 lineal feet of new path. We are adding 3210 sf of asphalt paving for a paving total of \$17,655 and 2,550 sf is for accessibility. The asphalt shall meet the current ADA Standards (2010) and Accessibility as determined in Chapter 2 Scoping Requirements 206.2.2 Accessible Route within a site Chapter 4 Accessible Routes 402 accessible Routes 403 Walking Surfaces including 403.5.3 Passing Space. We request authorization for the Park District to use ADA funds in the amount of **\$14,025**

8) Request authorization for clear floor space at 4 benches. The cost for the 4 bench pads is \$1,400. The bench pads shall meet current ADA Standards (2010) and Accessibility as determined in Chapter 9 Built In Elements 903.2 Clear Floor Space or Ground Space for Benches. We request authorization for the Park District to use ADA funds in the amount of **\$5,600**

We request authorization by the NWSRA for the Park District to use ADA funds in the amount of **\$159,212.00** for reimbursement from the NWSRA for accessibility improvements made as part of the Emerson Park Redevelopment. The total cost of work for Emerson Park Redevelopment is \$256,272.00

Ben Kutscheid, ASLA, PLA, CPSI
Planner / Landscape Architect

Cc: Jessica Vasalos, Northwest Special Recreation Association
Jim Jarog, Mt. Prospect Park District
Matt Dziubinski, Mt. Prospect Park District

Central Community Center
1000 W. Central Rd.
Mount Prospect, IL 60056
847-255-5380

RecPlex
420 W. Dempster St.
Mount Prospect, IL 60056
847-640-1000

Lions Recreation Center
411 S. Maple St.
Mount Prospect, IL 60056
847-632-9333

Friendship Park Conservatory
395 W. Algonquin Rd.
Des Plaines, IL 60018
847-298-3500

Mt. Prospect Golf Club
600 See-Gwun Ave.
Mount Prospect, IL 60056
847-259-4200

Our Mission:

To provide exceptional parks and recreation experiences that enrich the quality of life for present and future generations



EMERSON PARK REDEVELOPMENT
317 N. Emerson St.
Mt. Prospect, Illinois 60056

Owner:
MT. PROSPECT PARK DISTRICT
1000 W. Central Rd.
Mt. Prospect, Illinois 60056
(847) 265-5380

FOR BID
2/14/2023

SHEET ISSUE
REISSUE

DRAWN BY
ML
CHECKED BY
BK, MD
PROJECT NO.

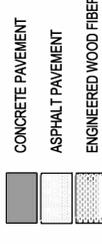
SHEET TITLE

EQUIPMENT, MATERIALS AND LAYOUT PLAN

SHEET NUMBER

3.0

EQUIPMENT AND MATERIALS PLAN LEGEND:



EQUIPMENT AND MATERIALS PLAN NOTES:

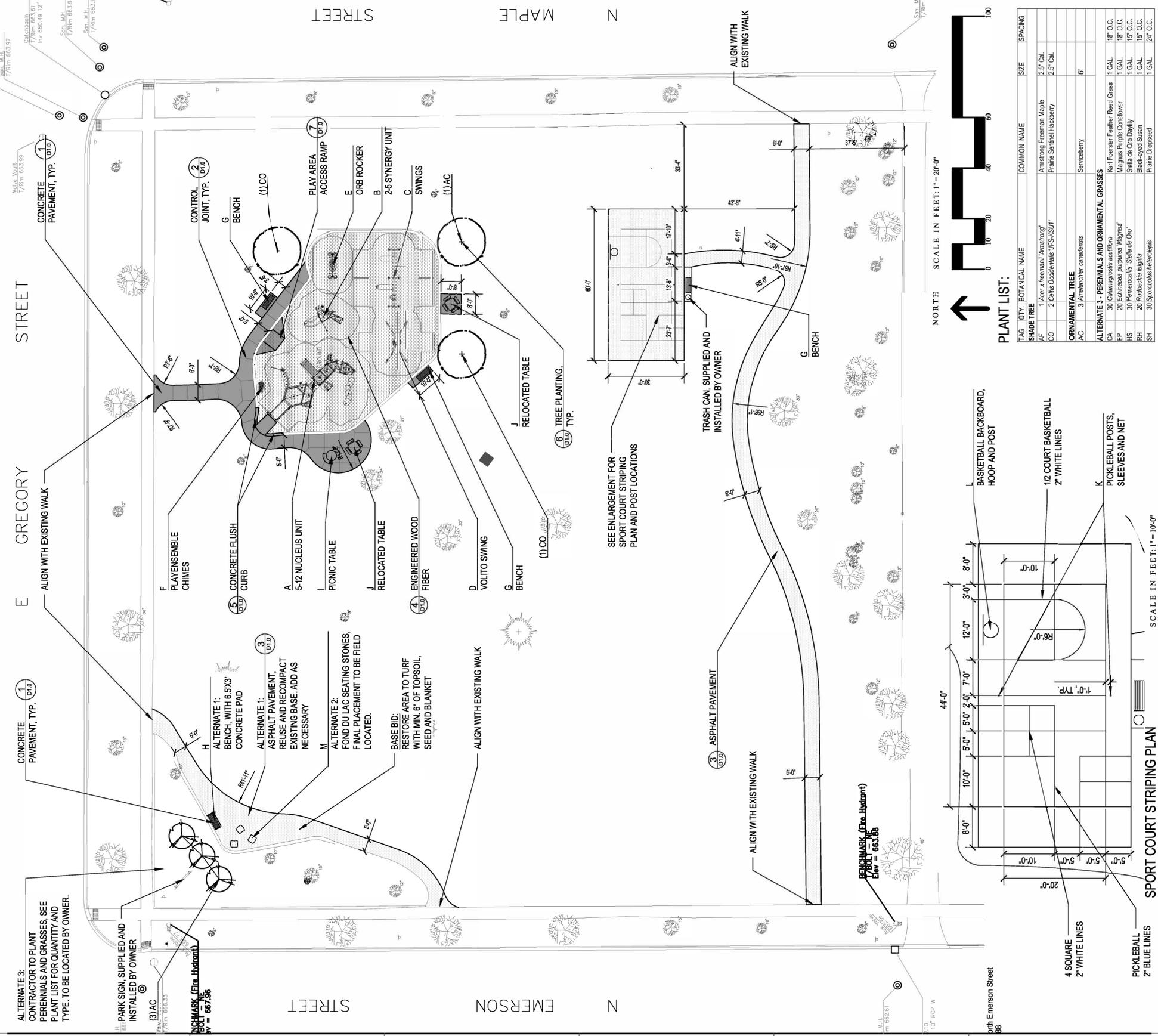
- ALL UTILITIES SHALL BE FIELD LOCATED A MINIMUM OF 2 BUSINESS DAYS PRIOR TO THE START OF CONSTRUCTION. ANY DISCREPANCIES WITH THIS DRAWING SHALL BE REPORTED TO THE LANDSCAPE ARCHITECT IMMEDIATELY. CALL J.L.I.E. @ 811. CONTACT MT. PROSPECT PARK DISTRICT PROJECT MANAGER 2 DAYS PRIOR TO CONSTRUCTION TO MARK UTILITY.
- PROTECT STRUCTURES, UTILITIES, SIDEWALKS, PAVEMENTS AND OTHER UTILITIES TO REMAIN FROM DAMAGE CAUSED BY SETTLEMENT, LATERAL MOVEMENT, UNDERMINING, WASHOUTS AND OTHER HAZARDS CAUSED BY SITE IMPROVEMENT OPERATIONS.
- ALL WORK AND OPERATIONS SHALL COMPLY WITH ALL APPLICABLE FEDERAL, STATE AND LOCAL CODES AND ORDINANCES.
- ADD TOPSOIL TO ALL LAWN AREAS (MINIMUM DEPTH OF 6") DISTURBED DURING CONSTRUCTION AND ROUGH GRADE, BLANKET AND SEED.
- ALL WORK WITHIN ANY R.O.W. SHALL CONFORM TO STANDARDS AND SPECIFICATIONS OF LOCAL AND/OR STATE JURISDICTIONS.
- WORK SHALL BE INSTALLED PER MANUFACTURERS INSTRUCTIONS; PLAY AREA SHALL BE INSTALLED TO MEET ASTM F487 AND ASTM F2232.
- CONTRACTOR SHALL INSTALL AND ROUGH GRADE TOPSOIL TO 1" OF PATHWAY SURFACE. SIDE SLOPES SHALL NOT EXCEED 5:1. CONTRACTOR SHALL FINISH GRADE, BLANKET AND SEED.

LAYOUT NOTES

- DIMENSIONS ARE FROM CENTERLINE, FACE OF CURB, FACE OF WALL, CENTER OF POST, OR EDGE OF PAVEMENT.
- ALL DIMENSIONS MUST BE FIELD VERIFIED AND ANY DISCREPANCIES REPORTED TO THE LANDSCAPE ARCHITECT IMMEDIATELY.
- WHERE PROPOSED PAVEMENT ABUTS EXISTING PAVEMENT, JOINT PATTERNS SHALL MATCH AND SUPERSEDE JOINT PATTERNS SHOWN ON PLANS.
- NOTIFY THE PARK DISTRICT AT LEAST 48 HOURS PRIOR TO THE START OF ANY WORK AFFECTING PARK DISTRICT.
- LANDSCAPE ARCHITECT WILL PROVIDE TO THE CONTRACTOR AUTOCAD FILES FOR LAYOUT USE. IF THERE ARE DISCREPANCIES BETWEEN THIS SET OF PLANS AND THE ELECTRONIC FILES, THE PLAN DRAWINGS SHALL CONTROL. NOTIFY LANDSCAPE ARCHITECT IMMEDIATELY OF ANY DISCREPANCIES.

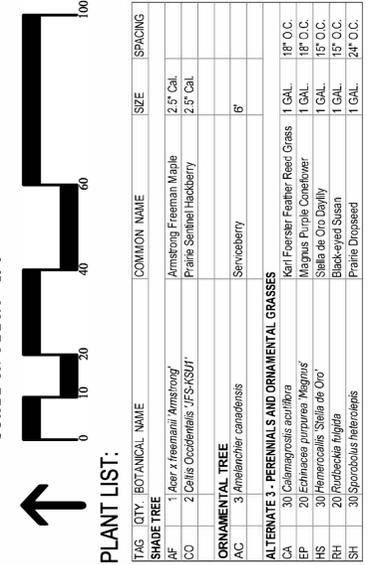
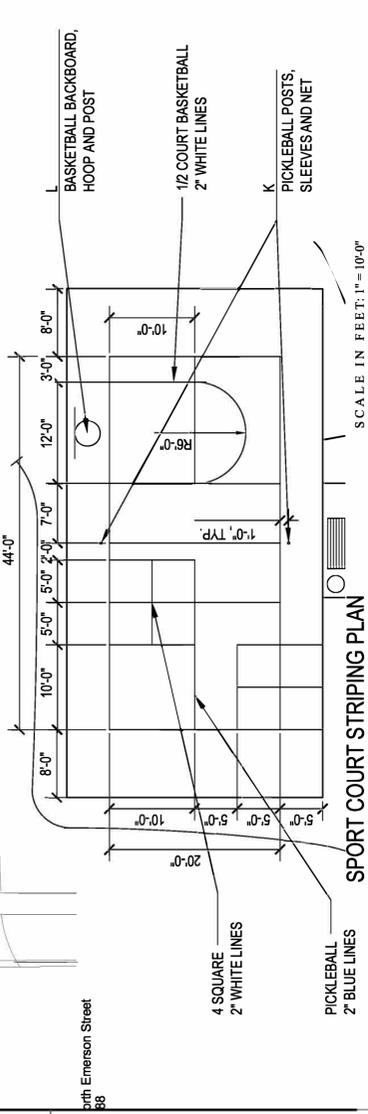
SITE FURNISHINGS AND EQUIPMENT LIST

ITEM CODE	QTY	ITEM DESCRIPTION	MODEL NO.	COLOR	SUPPLIED BY	MANUFACTURER
A	1	5-12 NUCLEUS UNIT	NA	TBD	OWNER	BURKE
B	1	2-5 SYNERGY UNIT	NA	TBD	OWNER	BURKE
C		SWINGS	NA	TBD	OWNER	BURKE
	2	BELT SEATS				
	1	BUCKET SEATS				
	1	ACCESSIBLE SEAT				
D	1	VOLUTO SWING	550-0168	TBD	OWNER	BURKE
E	1	ORB ROCKER	570-2745	TBD	OWNER	BURKE
F	1	PLAYENSEMBLE SUPINE CHIMES	570-0411	TBD	OWNER	BURKE
G	3	BENCH, SURFACE MOUNT	MODIFIED P28NC	BLACK	CONTRACTOR	KEYSTONE RIDGE
H	1	ALTERNATE 1: BENCH, SURFACE MOUNT	MODIFIED P28NC	BLACK	CONTRACTOR	KEYSTONE RIDGE
I	1	PICNIC TABLE, SURFACE MOUNT, 48"Ø	PN6CU1-48	BLACK, PERFORATED TOP	CONTRACTOR	KEYSTONE RIDGE
J	2	RELOCATED TABLE, SURFACE MOUNT	EXISTING, SALVAGED	EXISTING	CONTRACTOR	
K	1	PICKLEBALL POSTS (2), SLEEVES (2) AND NET (1)	SEE SPECS	BLACK	CONTRACTOR	DOUGLAS SPORTS
L	1	BASKETBALL BACKBOARD, HOOP AND POST	SEE SPECS		CONTRACTOR	PW ATHLETICS
M	3	ALTERNATE 2: FOND DU LAC OUTCROPPING SEATING STONES	SEE SPECS		CONTRACTOR	HALQUIST STONE



PLANT LIST:

TAG	CITY	BOTANICAL NAME	COMMON NAME	SIZE	SPACING
SH		Shade Tree			
1		Acer 2 Freemanii 'Armstrong'	Armstrong Freeman Maple	2.5' Cal.	
2		Celtis Occidentalis 'F543J3U'	Prairie Sentinel Hackberry	2.5' Cal.	
OR		Ornamental Tree			
3		Amelanchier canadensis	Serviceberry	6'	
AL		Alternates 3 - Perennials and Ornamental Grasses			
CA		30 Coloniagrostis ariflora	Karl Foerster Feather Reed Grass	1' GAL.	18" O.C.
EP		20 Echinacea purpurea 'Magnus'	Magnus Purple Coneflower	1' GAL.	18" O.C.
HS		30 Hemerocallis 'Stella de Oro'	Stella de Oro Daylily	1' GAL.	18" O.C.
RH		20 Rudbeckia hirta	Black-eyed Susan	1' GAL.	18" O.C.
SH		30 Sporobolus heterostachys	Prairie Dropseed	1' GAL.	24" O.C.



ALTERNATE 3:
CONTRACTOR TO PLANT PERENNIALS AND GRASSES. SEE PLANT LIST FOR QUANTITY AND TYPE. TO BE LOCATED BY OWNER.

PARK SIGN, SUPPLIED AND INSTALLED BY OWNER

CONCRETE PAVEMENT, TYP. (01.0)

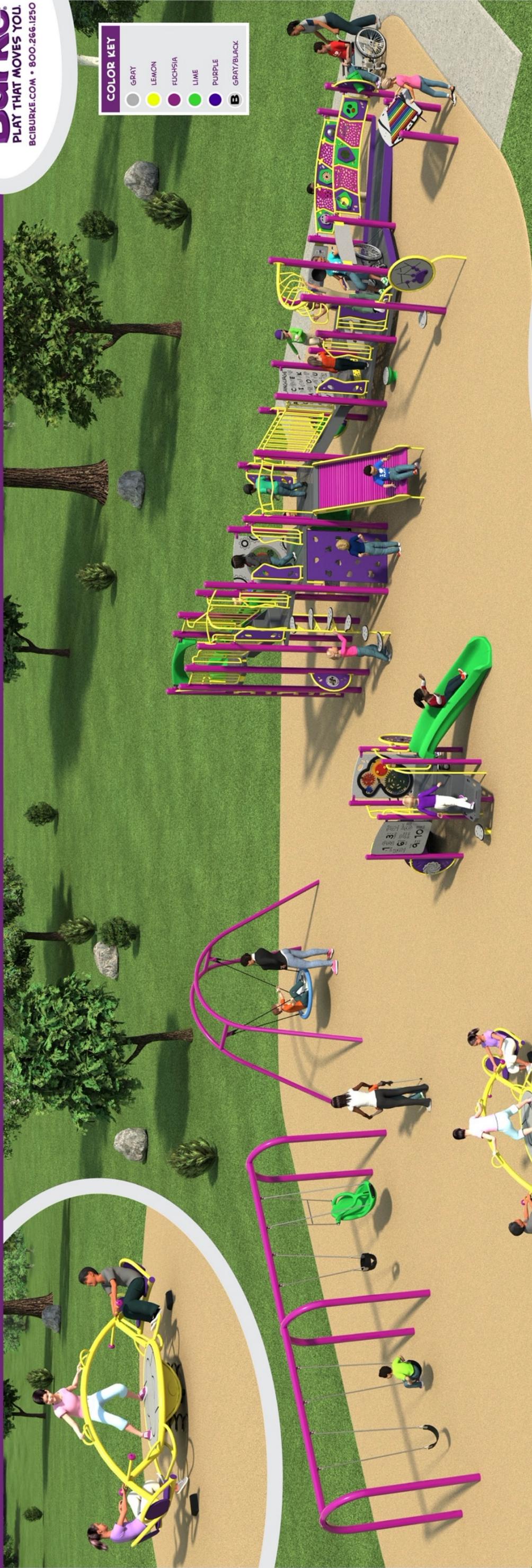
ALTERNATE 1:
BENCH WITH 6.5'X3 CONCRETE PAD

ALTERNATE 1:
ASPHALT PAVEMENT, REUSE AND RECOMPACT EXISTING BASE. ADD AS NECESSARY

ALTERNATE 2:
FOND DU LAC SEATING STONES. FINAL PLACEMENT TO BE FIELD LOCATED.

BASE BID:
RESTORE AREA TO TURF WITH MIN. 6" OF TOPSOIL, SEED AND BLANKET

ALIGN WITH EXISTING WALK



COLOR KEY

●	GRAY
●	LEMON
●	FUCHSIA
●	LIME
●	PURPLE
●	GRAY/BLACK



3D Designer: Kendra



ROCK CRAWL CLIMBER



VIPER® SLIDE



PINBALL ACCESSIBLE RING PANEL



VOLITO SWING



PLAYENSEMBLE® SUPINE CHIMES

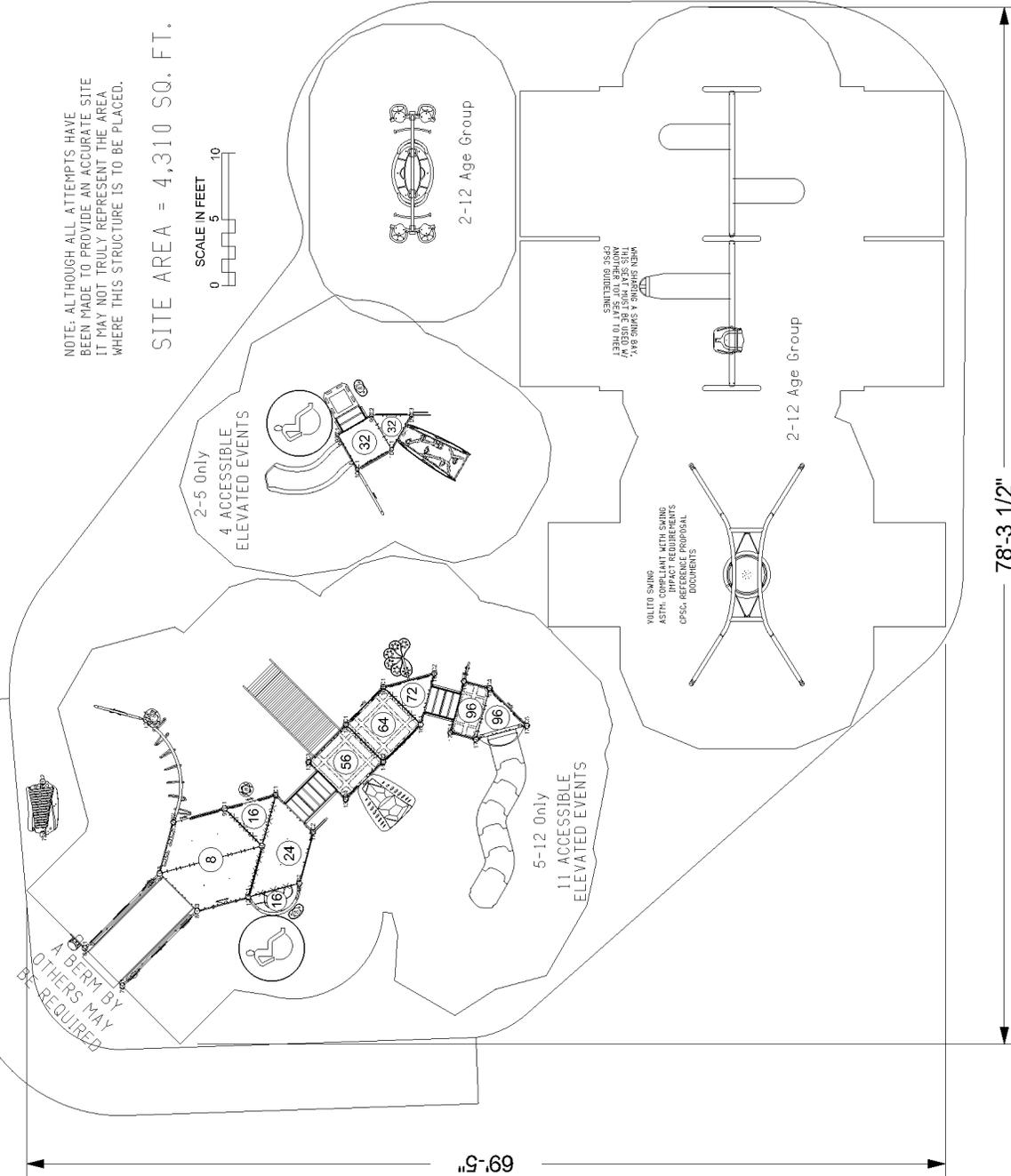


SENSORY RAILS



ORB™ ROCKER

5' SIDEWALK AREA = 310 SQ. FT.



INFORMATION
MINIMUM FALL ZONE
SURFACED WITH
RESILIENT MATERIAL
AREA

3269 SQ.FT.

PERIMETER
505 FT.

STRUCTURE SIZE
69' 5" x 78' 3"

STRUCTURE IS DESIGNED
FOR CHILDREN AGES:

- 6-23 MONTH OLDS
- 2-5 YEAR OLDS
- 5-12 YEAR OLDS
- 13 + YEAR OLDS



Registered
to ISO 9001

Registered
to ISO 14001



To verify product certification,
visit www.ipema.org

The play components identified
in this plan are IPEMA
certified. The use and layout of
these components conform to the
requirements of ASTM F1487.
To verify product certification,
visit www.ipema.org

The space requirements shown
here are to ASTM standards.
Requirements for other standards
may be different.

The use and layout of play
components identified in this plan
conform to the CPSC guidelines.
U.S. CPSC recommends the
separation of age groups in
playground layouts.

WARNING!

ACCESSIBLE SAFETY SURFACING MATERIAL IS REQUIRED BENEATH
AND AROUND THIS EQUIPMENT.
FOR SLIDE FALL ZONE SURFACING AREA SEE CPSC's Handbook for
Public Playground Safety.
PLATFORM HEIGHTS ARE IN INCHES ABOVE RESILIENT MATERIAL.

ADA ACCESSIBILITY GUIDELINE (ADAAG CONFORMANCE)

NUMBER OF PLAY EVENTS:	37
NUMBER OF ELEVATED PLAY EVENTS:	21
NUMBER OF ELEVATED PLAY EVENTS ACCESSIBLE BY RAMP:	PROVIDED: 3
NUMBER OF ELEVATED PLAY EVENTS ACCESSIBLE BY TRANSFER SYSTEM:	PROVIDED: 15
NUMBER OF ELEVATED PLAY EVENTS ACCESSIBLE BY RAMP OR TRANSFER SYSTEM:	PROVIDED: 16
NUMBER OF GROUND LEVEL PLAY EVENTS:	PROVIDED: 8
NUMBER OF TYPES OF GROUND LEVEL PLAY EVENTS:	PROVIDED: 4

78'-3 1/2"



SERIES: Basics, Intensity, Nucleus, Synergy
SITE PLAN
DRAWN BY: Stevie Rosenkranz

Emerson Park
321 N Emerson St
Mt. Prospect, IL 60056

February 08, 2023

Play Illinois, LLC
129-161943-7



© 2021 Keystone Ridge Designs, Inc.
All Rights Reserved.

