



530 South Williams Avenue ♦ Palatine, Illinois 60074
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www.saltcreekpd.com

Board of Commissioners
Wally Kleinfeldt
Joe Mazzocchi
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Mary Wagner
Director of Parks & Recreation
Diane Hilgers

February 15, 2017

Tracey Crawford
Northwest Special Recreation Association
3000 W. Central Road, Suite 205
Rolling Meadows, IL 60008

Re: Playground replacement proposed to be financed using Special Recreation Levy.

The Salt Creek Park District hereby notifies and requests approval of the NWSRA Board of Directors for the proposed expenditure of funds from the District's special recreation levy to pay the cost of the following playground replacement:

- Complete replacement of outdated playground and curbing with new accessible amenities.

<u>Item</u>	<u>Total Cost</u>	<u>ADA Costs</u>
Accessible Swing & Furnishings	\$ 9,629	\$ 6,253
Concrete Walkway & Ramps	\$ 74,645	\$ 60,751
Playground surface	\$ 6,127	\$ 3,063
Asphalt Parking Area	\$ 20,751	\$ 4,611
Totals	\$111,153	\$ 74,678

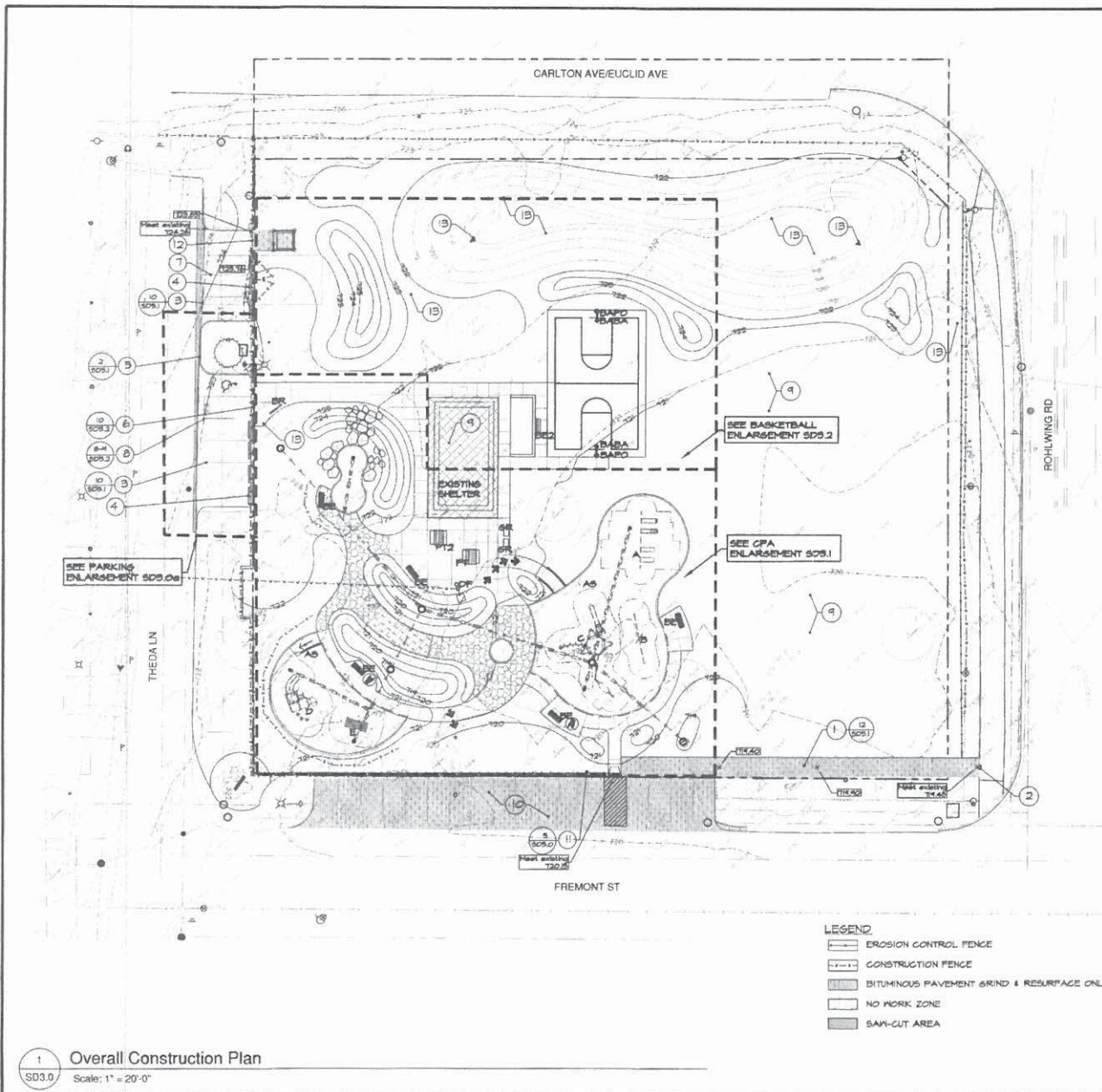
The new playground structure and park improvements including surrounding concrete walkway, additional parking, basketball surface and park furnishings in total cost \$473,902. Staff has determined that the ADA portion of the project should be \$74,678. This includes ADA swing, picnic table and water fountain. This also includes ADA compliant concrete walk ways and ramps providing access to the playgrounds, pavilion and restroom areas. See attached drawing. The playground structure was substantially completed in December of 2016. The benefits to NWSRA is that the new playground now provides updated play structures, furnishings and surrounding walkways that comply with ADA standards for camp or preschool program and is available to NWSRA for its programs and services. It meets all ADA requirements outlined by ADA guidelines.

The Salt Creek Park District requests that you review this request and present it with your approving recommendation to the NWSRA Board of Directors. If you have any questions, please contact me at 847-259-6890.

Respectfully Submitted,

Diane Hilgers, CPRP
Director of Parks and Recreation
Salt Creek Rural Park District

Item	ADA Rate	Total Cost	ADA Cost	Notes
Accessible Swings and Furnishings				
Bucket style handicap swing and Pro Guard Chains Installed	100%	\$620.00	\$620.00	
Wabash Valley Prestige Model #206 3 Seat Table Installed	100%	\$2,257.00	\$2,257.00	
MDF Model 10145SM Accessible Drinking Fountain Installed	50%	\$6,752.00	\$3,376.00	
Sub totals		\$9,629.00	\$6,253.00	
Concrete Walkways and Ramps				
Reinforced Concrete Walkways Access Ramps 5275 Sq/Ft	100%	\$43,518.75	\$43,518.75	
Stamped Concrete Walkways and seating areas 1740 Sq/Ft	60%	\$25,351.80	\$15,211.08	Rate = cost of regular concrete
Barn Plank Pavers for Walkways 210 Sq/Ft	35%	\$5,775.00	\$2,021.25	Rate = cost of regular concrete
Sub Totals		\$74,645.55	\$60,751.08	
Playground Surface				
Double tumbled Wood Chips	50%	\$6,127.50	\$3,063.75	
Sub totals		\$6,127.50	\$3,063.75	
Asphalt Parking Surface and Striping including additional Handicap Parking				
Additional Asphalt Parking Area	100%	\$7,370.00	\$7,370.00	
SubTotal		\$20,751.50	\$20,751.50	
Total Costs		\$111,153.55	\$90,819.33	



1 Overall Construction Plan
SD3.0 Scale: 1" = 20'-0"

CONSTRUCTION PLAN NOTES:

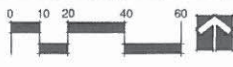
1. FURNISH AND INSTALL 6' WIDE BITUMINOUS ASPHALT PATH AS DETAILED. FINAL PATH LOCATION TO BE FIELD LOCATED, PAINTED AND MARKED IN FIELD. COORDINATE WITH THE LANDSCAPE ARCHITECT, GIVE 48 HOURS NOTICE. CONTRACTOR MUST GAIN APPROVAL FROM CLIENT AND LANDSCAPE ARCHITECT PRIOR TO COMMENCING WORK. SEE DETAIL. CROSS SLOPE ON PATH TO BE FITTED AT A MINIMUM OF 1% OR AS SHOWN ON PLAN. REPORT ANY ELEVATION DISCREPANCIES IMMEDIATELY TO THE OWNER OR LANDSCAPE ARCHITECT. SEE ALSO ALTERNATE BID ITEMS.
2. MEET CONCRETE WALK ELEVATION WITH NEW ASPHALT PATH. ALL PAVEMENT TRANSITIONS SHALL BE SMOOTH AND SUBTLE. ANY ABRUPT OR NOTICEABLE ELEVATION CHANGES SHALL BE REMOVED OR REPAIRED AT NO ADDITIONAL EXPENSE TO THE FENCE DISTRICT.
3. ASPHALT PAVEMENT. SAW CUT EXISTING THEDA LANE PAVEMENT TO PROVIDE A CLEAN VERTICAL EDGE. MEET EXISTING PAVEMENT ELEVATION WITH NEW ASPHALT PAVEMENT ELEVATION. TAKE NOTE OF EXISTING PROFILE AS TO NOT NEGATIVELY IMPACT SURFACE RUNOFF. SEE DETAIL.
4. FURNISH AND INSTALL CAR STOP (TYP.).
5. 6" X 18" CONCRETE CURB. SEE DETAIL. PROVIDE 2" VERTICAL TAPE ON EACH END WHERE CURB MEETS TURF AREA.
6. HANDICAPPED PARKING SIGN. HEIGHT AND SIZE OF SIGN TO CONFORM TO ALL LOCAL CODES AND REGULATIONS. SEE DETAIL.
7. 4" WIDE PAVEMENT STRIPING (TYP.). LOCATE MARKING PERPENDICULAR TO CENTERLINE OF PARKING LOT.
8. 4" WIDE HANDICAPPED PARKING SPACE PAVEMENT STRIPING. SEE DETAILS.
9. NO WORK AREA - CONTRACTOR SHALL WORK WITH FENCE DISTRICT STAFF TO IDENTIFY FIELD LOCATIONS FIELD TURF TO HAVE MINOR FILLING AND SHAPING TO ENSURE POSITIVE DRAINAGE AND REMOVE ANY VALLEYS. THE INTENT IS NOT TO STRIP THE ENTIRE FIELD BUT TO PROVIDE NEW TURF IN HIGH USE AREA ONLY. GIVE 48 HOURS NOTICE PRIOR TO BEGINNING THIS WORK. FURNISH AND INSTALL 1" DIA. X 4' LONG IRON PIPE AT CORNER LOCATIONS. TO DETECT CORNER MARKER PIPE SHALL BE INSTALLED FLUSH WITH FINISH GRADE.
10. EXISTING BITUMINOUS PAVEMENT. MILL TOP 1.5 INCHES AND APPLY NEW SURFACE COURSE MATCHING EXISTING ELEVATION. SEE DETAIL AND TECHNICAL SPECIFICATIONS AND ALTERNATE BID ITEMS.
11. CONSTRUCTION SIGN. SEE DETAIL AND SPECIFICATIONS.
12. MEET NEW ASPHALT PAVEMENT WITH NEW CONCRETE WALK. ALL PAVEMENT TRANSITIONS SHALL BE SMOOTH AND SUBTLE. ANY ABRUPT OR NOTICEABLE ELEVATION CHANGES SHALL BE REMOVED OR REPAIRED AT NO ADDITIONAL EXPENSE TO OWNER. SEE ALSO ALTERNATE BID ITEMS.
13. FOR STORMWATER BASIN PLANS. SEE CIVIL DRAINAGE.

2 Key Plan

SITE BENCHMARK: FERMONT BENCHMARK IS THE SOUTHWEST CORNER OF THE FIRE HYDRANT AT THE NEAREST CORNER OF THE SITE PLAT 28-18-04.

EXISTING SITE INFORMATION PROVIDED BY:
DALE FLOYD LAND SURVEYING L.L.C.
3500 KILBUCK RD, SUITE A
GENEVA, IL 60134
TEL: 815.353.1100

* SEE ALSO CONSTRUCTION PLAN GENERAL NOTES SHEET SD3.0.



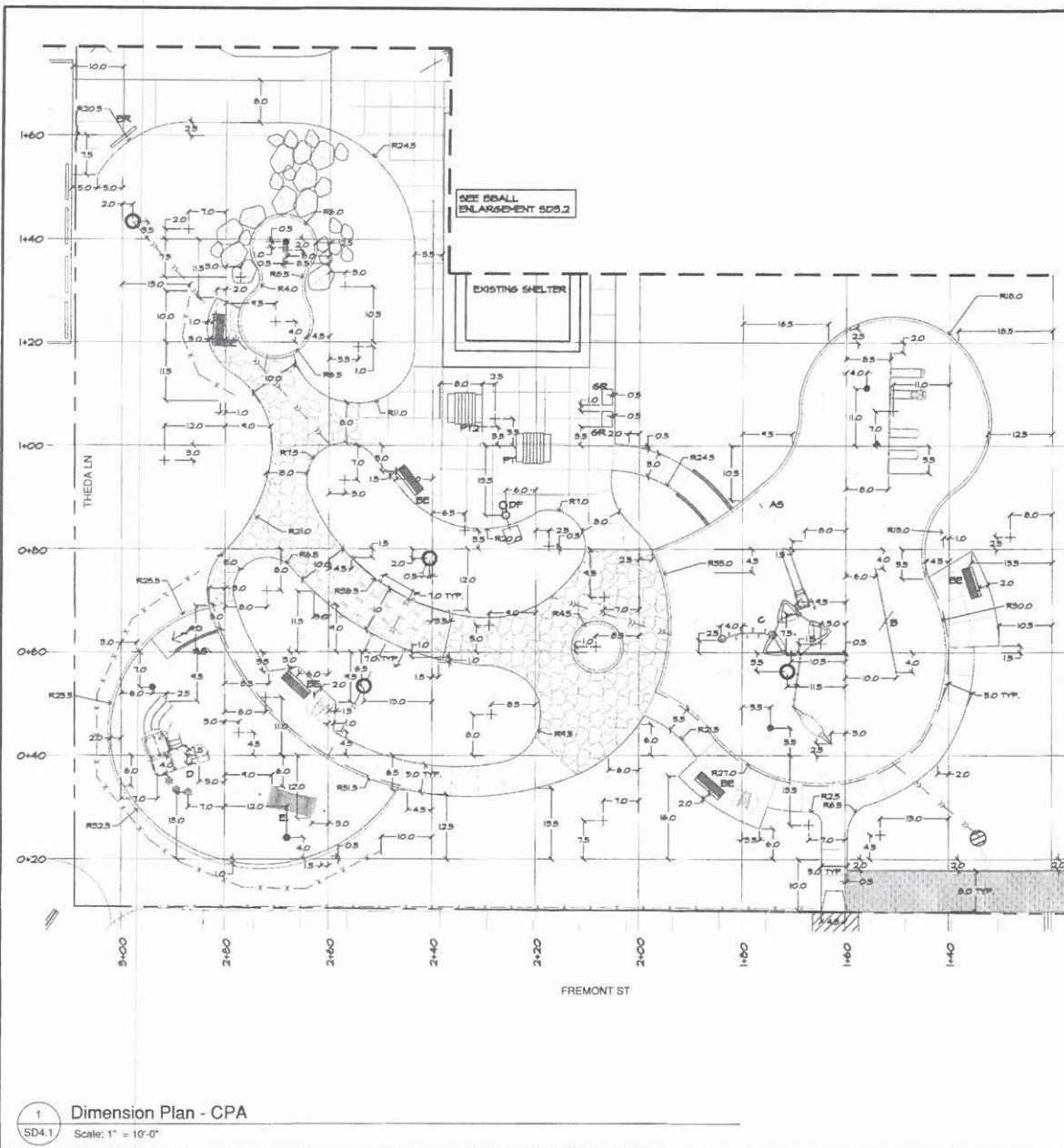
CONSTRUCTION PLAN	Date: 5.17.16
SUBMITTAL	
ISSUED FOR BID	

SOUTH PARK
2004 S. Theda Lane
Rolling Meadows, Illinois

DESIGNED BY DEGLAW	REVISIONS BY DEG
DATE: 05.22.15	DATE: 05.22.15
SCALE: 1" = 20'-0"	SCALE: 1" = 20'-0"
PROJECT NO.: PP150017.00	

SD3.0
Site Development

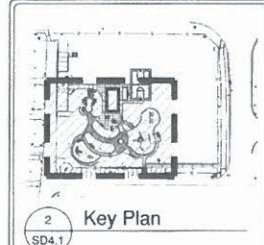
LPP15017-00 South Park, Salt Creek PDB, Construction Document (Issued for Bid) SD3.0_31_32 Construction Plan.dwg, SD3.0, 5/16/2016 1:22:01 PM, erb, ARCH expand D (36.00 x 24.00 Inches), 1:1



LAYOUT AND DIMENSION PLAN NOTES:

1. ALL DIMENSION LINES SHALL EXTEND PERPENDICULAR (90 DEGREES) UNLESS OTHERWISE NOTED.
2. ALL PLAN FEATURES SHALL BE LAID OUT AND PAINTED OR OTHERWISE MARKED IN THE FIELD BY THE CONTRACTOR AND REVIEWED BY THE OWNER OR LANDSCAPE ARCHITECT PRIOR TO CONSTRUCTION.
3. UNLESS OTHERWISE NOTED, ALL ANGLES ARE 90 DEGREES OR 45 DEGREES.
4. ALL CURB DIMENSIONS ARE GIVEN TO THE BACK OF CURB.
5. ALL EXPANSION AND CONTROL JOINTS SHALL BE LOCATED AS SHOWN IN THE DRAWINGS.
6. PAINT PATH AND SIGN APPROVAL FROM OWNER AND/OR LANDSCAPE ARCHITECT PRIOR TO COMMENCING WORK.

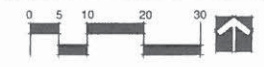
* P.O.B. - 80' INTERSECTION OF BASELINE A AND BASELINE B FOR 1403 NHT 1454 TO LOCATE P.O.B.
 * BASELINE A - EXTEND A LINE NORTHSOUTH FROM 1411 4964 TO NHT 1474.
 * BASELINE B - EXTEND A LINE EASTWEST FROM 1012 TO 1009 1473.



SITE MECHANICAL PERMITS/CONTRACTS TO THE EASTWEST HURGE LEFT OF THE FIRE HYDRANT ON THE NORTHWEST CORNER OF THE SITE. EL+128.88

EXISTING SITE INFORMATION PROVIDED BY:
 DALE FLOYD LAND SURVEYING L.L.C.
 2610 ROCK HURON RD, SUITE A
 GENEVA, IL 60134
 TEL: 630.353.7109

* SEE ALSO DIMENSION PLAN GENERAL NOTES SHEET SD4.0.



1
SD4.1 Dimension Plan - CPA
Scale: 1" = 10'-0"

DIMENSION PLAN - CPA	
DATE:	5.17.18
SUBMITTAL	
ISSUED FOR BID	

SOUTH PARK
 2004 S. Theda Lane
 Rolling Meadows, Illinois

DESIGNED BY:	LW/DEG
PLANNING	DEG
PROJECT NO.:	PP15017-00
DATE:	05.22.15
SCALE:	1" = 10'-0"

SD4.1
 Site Development

L:\PP15017-00 - South Park, Salt Creek PDB, Construction Documents\Issued for Bid\SD 4.0_4.1_4.2 Dimension Plan.dwg, SD 4.1 CPA, 5/16/2018 1:36:25 PM, erb, ARCH expand D (36.00 x 24.00 Inches), 1:1

