

Title	Apple Orchard Park	02/14/2025
	by Kelly OBrien in Member District ADA Project Request	id. 49665374
	696 W Stearns Road Bartlett, Illinois 60103 United States 630-540-4800 kobrien@bartlettparks.org	

Original Submission 02/14/2025

Score	n/a
Name	Kelly O'Brien
Job Title	Superintendent of Parks & Planning
E-mail Address	kobrien@bartlettparks.org
Phone Number	630-540-4805
Park District	Bartlett
Project Location	Apple Orchard Park
Project Status	New Alteration
Project Type	Routes and Surfaces
Routes and Surfaces- select a Project Category below:	Accessible Routes- Means of Egress Walking Surfaces
Benefits of the Project	The park district added two new pickleball courts in addition to replacing the basketball court surface at Apple Orchard Park, along with an accessible asphalt trail connecting the parking lot to the courts, ensuring access for individuals with disabilities.
Items that will become ADA Compliant	An accessible asphalt trail connecting the parking lot to the pickleball and basketball courts.

The project is designed or constructed, or applies human resources, to comply with:

The 2010 Standards for Accessible Design Agency's ADA Transition Plan

Upload Project Related Files, Photos, Videos or Audio

[Concept_Plan.pdf](#)

[Pickleball_and_Basketball_Plans.pdf](#)

[Upland_Design_Proposal.pdf](#)

[PO-ContractorEvans_Sons.pdf](#)

[Cost_Summary.xlsx](#)

Budget Table for ADA Related Expenses

[Budget Table.xlsx](#)

ADA Dollars Requested	50000
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Notes related to requested amount	The path leading to the pickleball courts is ADA compliant which also coincides with our updated ADA transition plan requirement on new construction.
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August 15, 2022

Rita Fletcher, CPRP, Executive Director
Kelly O'Brien, Superintendent of Parks
Bartlett Park District
700 S. Bartlett Road
Bartlett, IL 60103

Re: Apple Orchard West Pickleball Courts and Basketball Renovation

Dear Rita and Kelly:

Thank you for considering Upland Design to assist the Bartlett Park District with 2023 planning at Apple Orchard West for construction of pickleball courts and basketball court renovation. Enclosed is a proposal and detailed scope of services to assist the District with the process.

Please feel free to contact me with any questions or concerns.

Sincerely,

A handwritten signature in black ink that reads "Michelle Kelly".

Michelle A. Kelly, PLA, CPSI
Principal Landscape Architect

Proposal for Landscape Architectural Services

Apple Orchard West: New Pickleball Courts and Basketball Renovation **Bartlett Park District**

Project Goals: Bartlett Park District would like to renovate the existing basketball court and construct two (2) new pickleball courts at Apple Orchard West. The goal is to construct the projects in spring and early summer of 2023.

Apple Orchard West is located 696 West Stearns Road in Bartlett Illinois.
Project elements will include:

- Installation of two new pickleball courts
 - Asphalt Paving
 - Color coat surface
 - Chain Link Fencing
 - Court Nets
- Seating with shade options near courts
- Accessible path to the new courts
- Lawn and landscape restoration
- Renovation of the existing basketball court



A three-phase approach will be used:

- Phase I - Concept Development
- Phase II- Construction Documents & Bidding
- Phase III-Construction Observation

Upland Design Ltd along with engineering/permitting assistance by Engineering Resources Associates (ERA) are proposing to assist the Park District with this project.

Phase I – Concept Development

Survey and Site Visit: Topographic survey will be prepared by JLH Land Survey Inc., an Illinois Registered Land Surveyor, as part of the Upland Design team. The survey will include the existing basketball court as well as the location for the new pickleball courts. These will be used as the base for planning and construction documents for each site. A site visit with Park District staff took place in summer of 2022. Photos for office reference were taken.

Preliminary Concept Development: Upland Design will prepare one layout concept plan with pickleball court placement. Seating and shade options will be included. An access route from the existing sidewalk to the new courts along with basketball court renovations will be included in the cost estimates and concept plans

Park District Review Staff Meeting: Upland Design will meet via tele-conference with the Park District staff to review the concepts and budgets. Any adjustments to the plans will be discussed at this meeting and completed prior to the Park District Board meeting. (1 phone/tele-conference meeting)

Board Meeting: The site concepts and cost estimates will be presented at a public board

meeting by Bartlett Park District staff. Upland Design staff will attend and answer any questions and assist as requested. Based on this meeting and direction from the Park District, UplandDesign will update the plan if necessary for Park District approval prior to starting construction documents.

Phase II – Construction Document Preparation

Construction Document Preparation: Upland Design will prepare details, specifications and scaled plans for the concept approved by the Park District.

Documents will address:

- Existing Conditions and Removals
- Erosion Control and Site Protection
- Layout and Dimensioning
- Site Furniture Schedules
- Net Equipment and Fencing
- Drainage and Grading
- Landscaping and Lawn Restoration
- Construction Details

Technical specifications will be prepared to cover each area of construction and a detailed line-item bid proposal form will be developed. A review meeting with Bartlett Park District staff will take place at 85% document completion. Comments from this meeting will be incorporated into the documents. The cost estimate will be updated and reviewed for this meeting. (1 meeting)

After the review meeting, plans will be adjusted per comments and the 100% construction documents including plans, specifications and bid form will be sent to the Park District via email.

Permit Submittals: A Village of Bartlett building permit will be required for the new pickle ball courts. Since new pavement is less than 25,000 square feet, new detention should not be required. A BMP- Best Management Practice- to address drainage may be required and has been included in the scope. Engineering Resource Associates will assist with the BMP and permit submittals. There are no known wetlands, floodplain or floodway at courts or adjacent to the courts therefore no wetland delineation nor floodplain review is included. ERA will assist with permit submittals for the project.

Bidding and Bid Assistance

The bid documents will be distributed through a local plan room, Accurate Repro, and a set of plans will be available for viewing at the Park District offices. The District will place an ad in the local paper and perform other required procedures for bidding. Our staff will notify potential bidders and be available throughout the bidding period to answer questions. Upland Design will be present at the bid opening and will review the bids with staff. A summary letter will be prepared, and references called if necessary. (1 bid opening)

Contract Preparation: After project award by the Board of Commissioners, Upland Design Ltd will prepare the contract and forward it to the chosen contractor.

Phase III- Construction Observation

Upland Design will make eight site observation visits to the site during construction. We will be available by phone to answer questions throughout the construction. Additionally, we will review construction submittals, pay applications, and close-out documents prepared by the Contractor. Upland Design's role will be to determine general compliance with the contract documents and communicate with the Owner's staff during the project construction. A walk through with Park District representatives and the Contractor will take place at the completion of the project to develop a punch list of remaining items and Owner concerns. Upland will assist with project and permit closeout. (eight site visits)

Professional Fees

The work listed herein is a not to exceed lump sum cost for the services described. Any additional services which are requested shall be at the hourly rates listed herein.

Professional Fees:

JLH Land Surveying Inc.	\$ 2,000
Upland Design Ltd	\$15,800
Engineering Resource Associates	\$ 4,000

TOTAL PROFESSIONAL FEES: \$21,800

If the Park District requests additional meetings, changes to the work or additional work, we can provide these services at our listed hourly rates or an agreed upon cost. No additional fee shall be charged without written agreement from the Park District.

Reimbursable Expenses:

Items beyond the professional fees will include postage/delivery and printing of exhibits along with mileage reimbursement. Mileage reimbursement will be at current IRS rates. These will be invoiced to the Park District at Upland Design's direct cost without mark-up.

**AGREEMENT
BETWEEN OWNER and FIRM
FOR LANDSCAPE ARCHITECTURAL SERVICES
APPLE ORCHARD WEST PICKLEBALL COURTS**

Bartlett Park District
696 W. Stearns Road
Bartlett, IL 60103
Phone: 630.540.4800.....The Owner
And

Upland Design Ltd 24042
Lockport Street Suite 200
Plainfield, IL 60544
Phone: 815.254.0091.....The Firm

Owner and Firm agree as set forth below:

1. Firm's Basic Services

The Firm agrees to provide its professional services in accordance with generally accepted standards of its profession. The Firm agrees to put forth-reasonable efforts to comply with codes, laws and regulations in effect as of the date of this contract. **See Page 1-4: Proposal Dated August 15, 2022, for description of Landscape Architectural Services.**

2. Excluded Services

Scope of services set forth on page 1-4 is included in this agreement. Excluded services include but are not limited the following: Hydrologic/hydraulic modeling the floodplain/floodway, engineering of any kind, wetland mitigation, archeological services, environmental testing, subsurface conditions and material testing, boundary survey, soil borings, construction layout; construction scheduling; construction work; work-site safety, labor negotiations, permit fees, tree survey, irrigation plans or court appearances as part of these services.

Hazardous Materials: The scope of the Firm's services for this Agreement does not include any responsibility for detection, remediation, accidental release, or services relating to waste, oil, asbestos, lead, or other hazardous materials, as defined by Federal, State, and local laws or regulations.

3. Firm's Insurance

The Contract documents shall include Firm's Proof of Insurance with Owner listed as certificate holder on all policies and additional insured on general liability only.

4. Owner Responsibilities

The Owner has designated Rita Fletcher, Executive Director, as the contact person(s) for this project. The Firm will direct correspondence and information to the contact person. The Owner will provide pertinent information to the Firm in a timely manner so as not to hinder or delay the Firm performing their work in a timely and cost-effective manner throughout the project.

The Owner agrees to provide Firm with existing base information for the site and will assist the Firm with obtaining other information as requested. The Firm will rely on this information, without liability, on the accuracy and completeness of information provided by the Owner. The Owner agrees to advise Firm of any known or suspected contaminants at the Project Site and the Owner shall be solely responsible for all subsurface soil conditions.

Right of Entry: When entry to property is required for the Firm and/or sub-consultant to perform its services, the Owner agrees to obtain legal right-of-entry on the property.

5. Project Schedule

The Firm shall render its services as expeditiously as is consistent with professional skill and care. During the course of the Project, anticipated and unanticipated events may impact any Project

schedule. The Firm will attempt to make the Owner aware of events that will impact the Project schedule.

6. Compensation and Payments

The Owner shall pay to the firm the following lump sum not to exceed fee for the work described herein plus the cost of reimbursable items.

<u>Professional Fees:</u>	
JLH Land Surveying Inc.	\$ 2,000
Upland Design Ltd	\$15,800
<u>Engineering Resource Associates</u>	<u>\$ 4,000</u>
TOTAL PROFESSIONAL FEES:	\$21,800

Firm shall submit request(s) for payment to the Owner. Payment requests shall be made monthly for that portion of the project that has been completed. The Owner agrees to make the requested payment within 30 days of submission of each payment request.

Reimbursable Costs: Reimbursable items will include plotting and printing of drawings at the direct cost to Upland Design Ltd and mileage reimbursement at the current IRS reimbursement rate.

Additional Services: At the request of the Owner, additional meetings or work may be added at the professional service rates listed herein. No additional work shall be added to the contract without written authorization from the Owner.

2022 Hourly Billing Rates:

Principal Landscape Architect	\$ 214/hour
Landscape Architect/Project Manager	\$ 145/hour
Landscape Designer	\$ 128/hour
Construction Administration	\$ 132/hour
Administrative Assistant	\$ 88/hour

7. Suspension or Termination of Services

If the Owner in good faith determines that the Firm prosecutes or fails to prosecute its work in such manner as to hinder or delay the completion of the project, the Owner may serve written notice to the Firm setting forth any complaint about Firm's performance of its work. The Firm shall have seven (7) days from receipt of such written notice in which to take corrective action. If the Firm fails to take appropriate corrective action within said seven (7) day period, the Owner may exercise the following remedies:

- a. Terminate the Firm's services by a written notice effective on the date such written notice is served on the Firm; and,
- b. Order the remaining necessary work be done by another Firm, if desired.
- c. If the Owner in good faith exercises the above remedies, Owner shall be responsible to pay the Firm only for the work performed prior to termination of the contract. The above remedies shall be Owner's sole and exclusive remedies in the event the Owner terminates the Firm's services under this provision.
- d. The Firm may terminate this Contract upon seven days written notice. If terminated, Owner agrees to pay the Firm for all Basic and Approved Additional Services rendered and Reimbursable Expenses incurred up to the date of termination. Upon not less than seven days' written notice, Landscape Architect may suspend the performance of its services if Owner fails to pay the Firm in full for services rendered or expenses incurred. The Firm shall have no liability because of such suspension of service or termination due to nonpayment.

8. Indemnification

The Firm agrees, to the fullest extent permitted by law, to indemnify and hold harmless the Owner up to the amount of this contract fee for services from loss and expense, to the extent caused by Firm's negligent acts, errors or omissions in the performance of the work under this Contract. Firm shall not

be liable for special, incidental or consequential damages, including, but not limited to loss of profits, revenue, use of capital, or for any other loss of any nature, whether based on contract, tort, negligence, strict liability or otherwise, by reason of the work done under this Contract. The Owner agrees, to the fullest extent permitted by law, to indemnify and hold harmless the Firm from any damage, liability or cost from this project, to the extent caused by the Owner's negligent acts, errors or omissions and those of its other Firms, sub-consultants or consultants or anyone for whom the Owner is legally liable. In the event of joint or concurrent negligence, Firm shall bear only that portion of the loss or expense that its share of the joint or concurrent negligence bears to the total negligence (including that of the third parties) which caused the personal injury or damage.

9. Dispute Resolution

Owner and Firm agree to mediate claims or disputes arising out of or relating to this Agreement as a condition precedent to litigation. The mediation shall be conducted by an agreed upon mediation service acceptable to the parties. A demand for mediation shall be made within a reasonable time after a claim or dispute arises and the parties agree to participate in mediation in good faith. Mediation fees shall be shared equally. In no event shall any demand for mediation be made after such claim or dispute would be barred by the applicable law.

10. Ownership of Documents

Copies of the final bid documents may be retained by the Owner at the completion of the project for their records in both print and digital PDF versions. All instruments of professional service prepared by the Firm, including, but not limited to, drawings and specifications, are the property of the Firm, and these documents shall not be reused on other projects without Firm's written permission. Any reuse or distribution to third parties without such express written permission or project-specific adaptation by the Firm will be at the Owner's sole risk and without liability to the Firm or its employees, and subcontractors. Owner shall, to the fullest extent permitted by law, defend, indemnify, and hold harmless Owner from and against any and all costs, expenses, fees, losses, claims, demands, liabilities, suits, actions, and damages whatsoever arising out of or resulting from such unauthorized reuse or distribution.

The Firm reserves the right to include representations of the Project in its promotional and professional materials.

11. Governing Law

This Agreement is governed by the laws of the State of Illinois.

12. Entire Agreement and Severability

This Agreement is the entire and integrated agreement between Owner and the Firm and supersedes all prior negotiations, statements or agreements, either written or oral. This Agreement may be amended only by written instrument signed by both Owner and Firm. In the event that any term or provision of this agreement is found to be void, invalid or unenforceable for any reason, that term or provision shall be deemed to be stricken from this agreement, and the balance of this agreement shall survive and remain enforceable.

13. No Assignment

Neither party can assign this Agreement without the other party's written permission.

14. Expiration of Proposal

If this agreement is not accepted within 120 days, the offer to perform the described services is withdrawn and shall be null and void.

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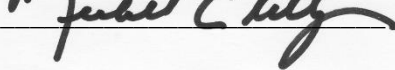
N WITNESS WHEREOF, the parties hereto have executed this agreement this ____ day of _____, 2022.

Bartlett Park District
696 W. Stearns Road
Bartlett, IL 60103

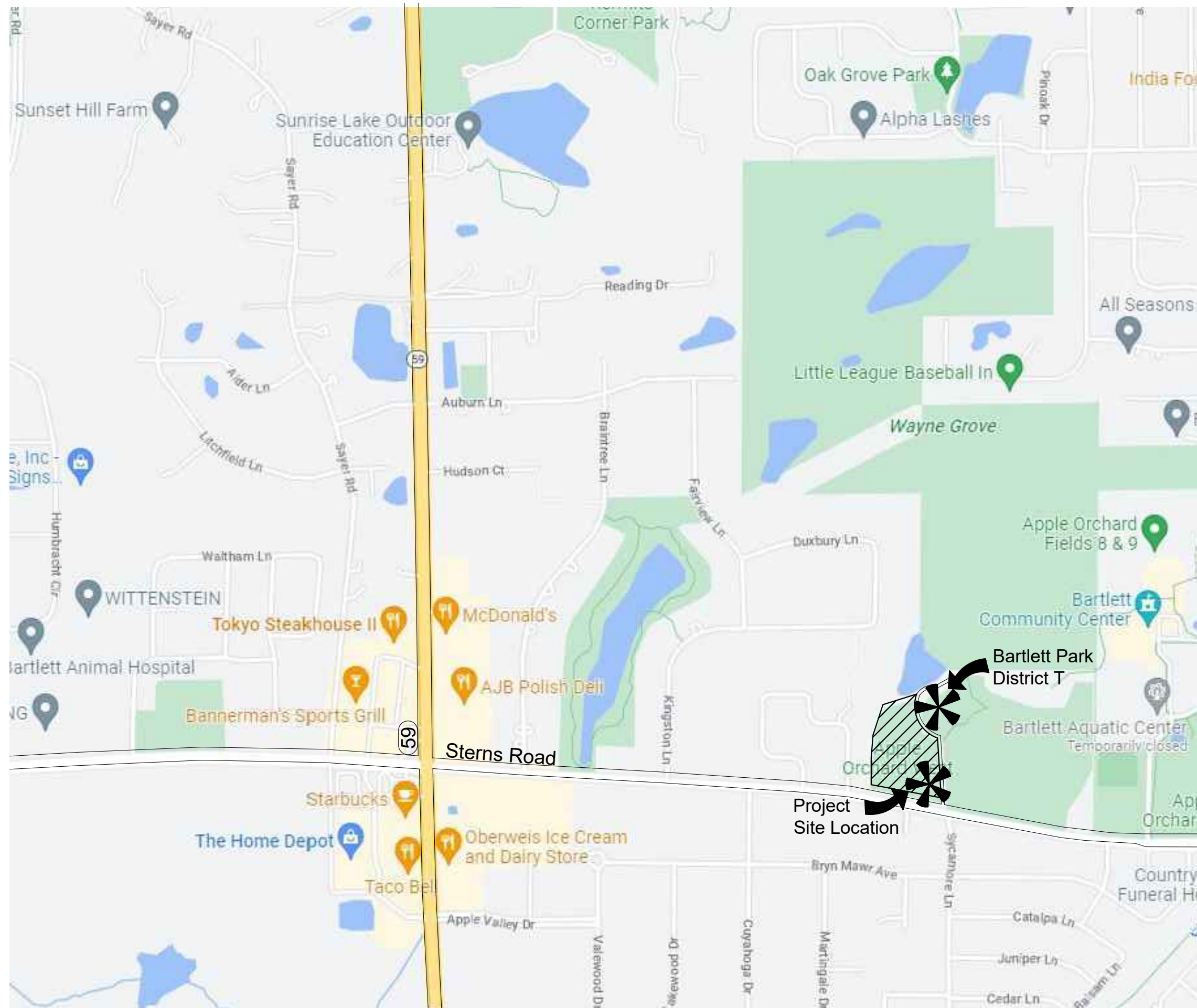
Sign: _____

By: _____

Upland Design Ltd.
24042 Lockport St., Suite 200
Plainfield, IL 60544

Sign:  _____

By: Michelle A. Kelly, President,
Upland Design Ltd



LOCATION MAP

SCALE: not to scale



LANDSCAPE ARCHITECT:

uplandDesign Ltd
 Landscape Architecture & Park Planning
 1229 N. North Branch St, #220A, Chicago, IL 60642
 24042 Lockport St, Plainfield, IL 60544
 312-350-4088 | 815-254-0091 uplandDesign.com
 IL License 060-007797

SURVEYOR:

JLH Land Surveying inc.
 910 Geneva St.
 Shorewood, Illinois 60404
 Phone: 815-729-4000
 IL License: 184-007120

CIVIL ENGINEER

Engineering Resource Associates
 3s701 West Avenue, Suite 150
 Warrenville, Illinois 60555
 IL License 184-001186

Apple Orchard West Pickleball and Basketball

696 West Stearns Road, Bartlett, Illinois 60103



Bartlett Park District

700 S Bartlett Road
 Bartlett, IL 60103

SHEET INDEX

- 1.0 Title Sheet
- 2.0 Existing Conditions & Removals Plan
- 3.0 Erosion Control Plan
- 3.0 Layout Plan
- 4.0 Dimension Plan
- 5.0 Grading Plan
- 6.0 Construction Details

This project has been prepared by and reviewed by Licensed Landscape Architects.
 Michelle A. Kelly # 157.001002
 Heath A. Wright # 157.000994
 Maria Blood # 157.001511

REVISIONS

MB/SF	85% Construction Documents	16FEB2023

ORIGINAL ISSUE DATE
Issued for Bid 21FEB2023

PROJECT NUMBER
1090

PROJECT NAME
Apple Orchard West Pickleball & Basketball

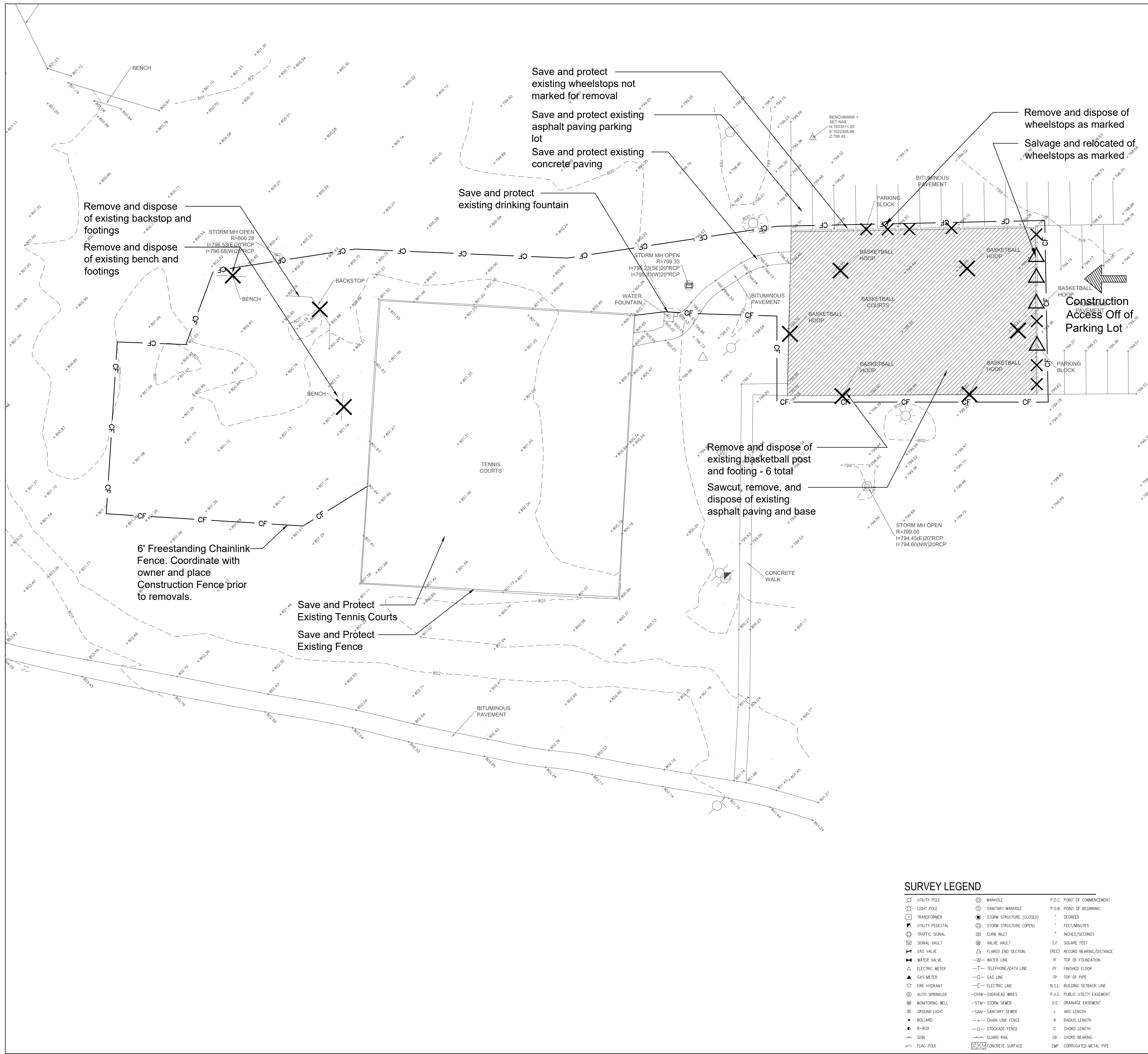
SHEET TITLE
Title Sheet

SHEET NUMBER

1.0



800.892.0123



GENERAL NOTES: EXISTING CONDITIONS & REMOVALS

- The Contractor is to locate all utilities, public and private, prior to beginning construction. Contractor will be responsible for any damages to utilities caused by their work. Contact J.U.L.I.E. 72 hours prior to construction at 1-800-982-0123 or (811) for location of utilities and contractor shall be responsible for protection of the same.
- Site conditions are shown based upon available information, contractor to verify all existing conditions prior to bidding.
- The contractor shall be responsible for the protection of all private utilities even though they may not be shown on the plans. Any utility damaged during the construction shall be repaired or replaced to the satisfaction of the Owner at the contractor's expense. No tree shall be planted within 10 lateral feet of any underground waterline, sewer line, transmission line or other utility.
- Contours and elevations shown hereon are referenced to the North American vertical datum of 1988 (navd88)
- A Topographic Survey was completed for the Owner by:
JHL Land Surveying, Inc.
910 Geneva St.
Shorewood, Illinois 60404 Phone: 815-729-4000
- The Contractor shall walk the site prior to submitting a bid to be fully familiar with site conditions.
- The Contractor shall protect and preserve all section, property or survey reference markers.
- Tree Protection Fence to be installed as shown on plans and details prior to beginning construction. (incidental to cost). Do not drive, store equipment or materials within dripline of existing trees that are to be saved. Hold necessary disturbance to a minimum.
- Contractor will be held responsible for damage to items not scheduled for removal.
- Contractor shall repair or replace all damaged sidewalks, curbs or paving to remain in place that were damaged as a result of work stated in contract documents.
- Work site safety is the responsibility of the Contractor.
- Vehicular Construction access shall be at one location to minimize damage. Construction access shall be approved by the Owner's representative.
- Construction Limits: Construction Limits are as noted on plans. Do not store equipment or stockpile materials outside of construction limits. Any areas disturbed as a result of construction shall be restored to lawn or other surface by contractor to match pre-construction condition.
- Topsoil may be stockpiled for redistribution as needed. Excess topsoil, debris and plant material to be removed off site and disposed of legally.
- Construction fence shall be installed prior to beginning construction. Construction fence to be 6' free standing chainlink per plans. (incidental to contract).
- Place erosion control measures as required to eliminate sedimentation into non-construction areas and as shown on plans and details prior to beginning construction.
- Before beginning work at the site and throughout the course of the work contractor to inspect and verify the location and condition of every item affected by the work under this contract and report discrepancies to the Owner's Representative before beginning work.
- Should discrepancies appear among the contract documents or between the contract documents and existing conditions, the contractor shall request an interpretation from the Owner's Representative before bidding. If the contractor fails to make such requests, it is presumed that both provisions were included in the bid, and the Owner's Representative shall determine which of the conflicting requirements shall govern. The contractor shall perform the work at no additional cost to the Owner in accordance with the Owner's Representative determination. Where conflicts exist between or within the contract documents between and applicable standards, codes, ordinances or manufacturers recommendations, and clarification has not been requested from the Owner's Representative prior to bidding as provided for above, the more stringent or higher quality standard shall prevail. Large scale drawings shall take precedence over small scale drawings, figured dimensions on the drawings over scaled dimensions and noted material over graphic representations.
- The contractor shall provide all work and materials which any section or part of the drawings, specifications or conditions require them to provide, regardless of whether such requirement is or is not faithfully repeated in other parts of the documents thereof to which the provisions might be appropriate.
- All necessary site work permits will be obtained by Owner. Contractor and all subcontractors shall register and pay associated fees to the Building Department. Contractor is responsible for following permit requirements including coordination of inspections and/or reinspections and associated fees.
- Contractor shall follow all permit requirements as part of the project.

PROJECT BENCHMARK

NATIONAL GEODETIC SURVEY BENCHMARK DK3213

THE STATION IS 49.5 FT (15.1 M) SOUTH OF THE CENTERLINE OF STEARNS ROAD, 20.5 FT (6.2 M) WEST OF THE CENTERLINE OF THE BUSINESS ACCESS ROAD, AND 19.0 FT (5.8 M) SOUTHEAST OF A POWER POLE. THE MONUMENT IS A 2.5 INCH (6 CM) BRASS DISK ON THE NORTH END OF A CONCRETE RETAINING WALL ALONG THE WEST SIDE OF THE BUSINESS ACCESS ROAD, 0.5 FT (0.2 M) ABOVE ROAD GRADE.

ELEVATION=799.75(NAVD88)

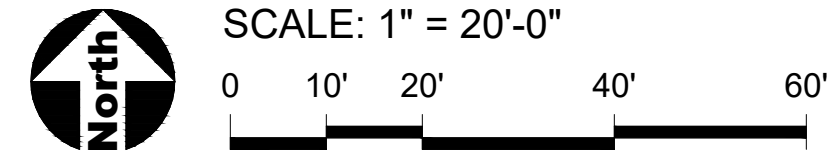
BENCHMARK 1 - SET NAIL
N: 193351.20
E: 1022308.86
ELEVATION 799.42

SURVEY LEGEND

☉ UTILITY POLE	⊙ MANHOLE	P.O.C. POINT OF COMMENCEMENT
☼ LIGHT POLE	⊙ SANITARY MANHOLE	P.O.B. POINT OF BEGINNING
⊠ TRANSFORMER	⊙ STORM STRUCTURE (CLOSED)	° DEGREES
⊠ UTILITY PEDESTAL	⊙ STORM STRUCTURE (OPEN)	' FEET/MINUTES
⊠ TRAFFIC SIGNAL	⊠ CURB INLET	" INCHES/SECONDS
⊠ SIGNAL VAULT	⊙ VALVE VAULT	S.F. SQUARE FEET
⊠ GAS VALVE	⊠ FLARED END SECTION	(REC) RECORD BEARING/DISTANCE
⊠ WATER VALVE	—W— WATER LINE	TF TOP OF FOUNDATION
⊠ ELECTRIC METER	—T— TELEPHONE/CATV LINE	FF FINISHED FLOOR
⊠ GAS METER	—G— GAS LINE	TP TOP OF PIPE
⊠ FIRE HYDRANT	—E— ELECTRIC LINE	B.S.L. BUILDING SETBACK LINE
⊠ AUTO SPRINKLER	—OHW— OVERHEAD WIRES	P.U.E. PUBLIC UTILITY EASEMENT
⊠ MONITORING WELL	—STM— STORM SEWER	D.E. DRAINAGE EASEMENT
⊠ GROUND LIGHT	—SAN— SANITARY SEWER	L ARC LENGTH
⊠ BOLLARD	—x— CHAIN LINK FENCE	R RADIUS LENGTH
⊠ B-BOX	—D— STOCKADE FENCE	C CHORD LENGTH
⊠ SIGN	—G— GUARD RAIL	CB CHORD BEARING
⊠ FLAG POLE	⊠ CONCRETE SURFACE	OMP CORRUGATED METAL PIPE

REMOVALS LEGEND

- Remove and Dispose of Existing Asphalt Paving and Base
- CF — Construction Fence
- Remove and Dispose of Item as Marked
- Salvage and Relocate Item as Marked



700 S Bartlett Road
Bartlett, Illinois 60103
Phone: 630-540-4800

PROJECT
Apple Orchard West Pickleball and Basketball

696 West Stearns Road
Bartlett, Illinois 60102

PROJECT TEAM

uplandDesign Ltd
Landscape Architecture & Park Planning
Chicago, Illinois 312-350-4088
Plainfield, Illinois 815-254-0091
uplandDesign.com

SURVEYOR
JLH Land Surveying, Inc.
910 Geneva Street
Shorewood, Illinois 60404
Phone: 815-729-4000

CIVIL ENGINEER
Engineering Resource Associates
3s701 West Avenue, Suite 150
Warrenville, Illinois 60555
IL License 184-001186

REVISIONS

MB/SF	85% Construction Documents	16FEB2022

NOT FOR CONSTRUCTION

ORIGINAL ISSUE DATE
Issued for Bid 21FEB2023

PROJECT NUMBER
1090

SHEET TITLE
Existing Conditions & Removals Plan

SHEET NUMBER

2.0

PROJECT
**Apple Orchard West
Pickleball and Basketball**

696 West Stearns Road
Bartlett, Illinois 60102

PROJECT TEAM

uplandDesign Ltd
Landscape Architecture & Park Planning
Chicago, Illinois 312-350-4088
Plainfield, Illinois 815-254-0091
uplandDesign.com

SURVEYOR
JLH Land Surveying, Inc.
910 Geneva Street
Shorewood, Illinois 60404
Phone: 815-729-4000

CIVIL ENGINEER
Engineering Resource Associates
3s701 West Avenue, Suite 150
Warrenville, Illinois 60555
IL License 184-001186

REVISIONS

MB/SF 85% Construction Documents 16FEB2022

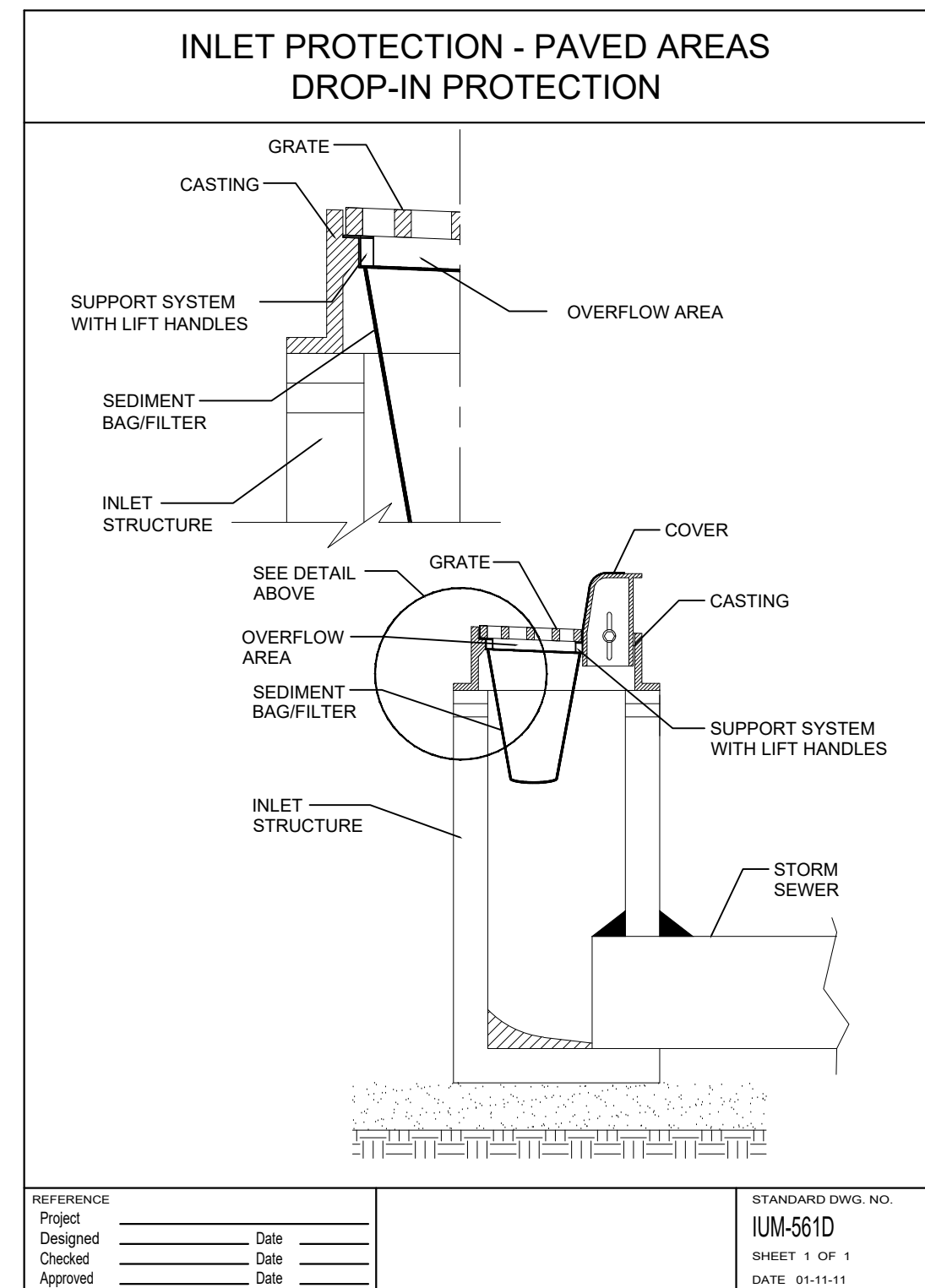
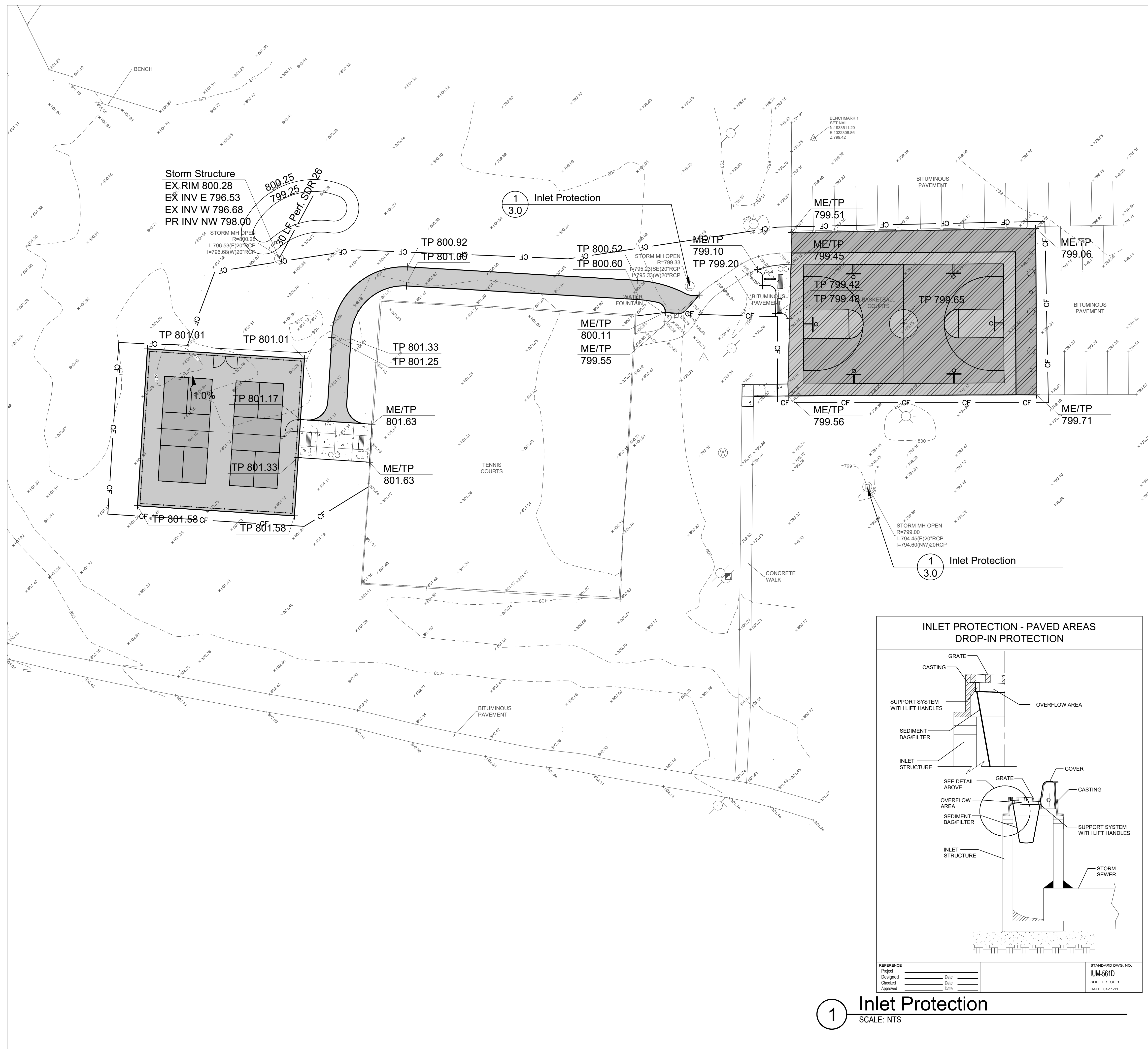
ORIGINAL ISSUE DATE
Issued for Bid 21FEB2023

PROJECT NUMBER
1090

SHEET TITLE
**Erosion
Control Plan**

SHEET NUMBER

3.0

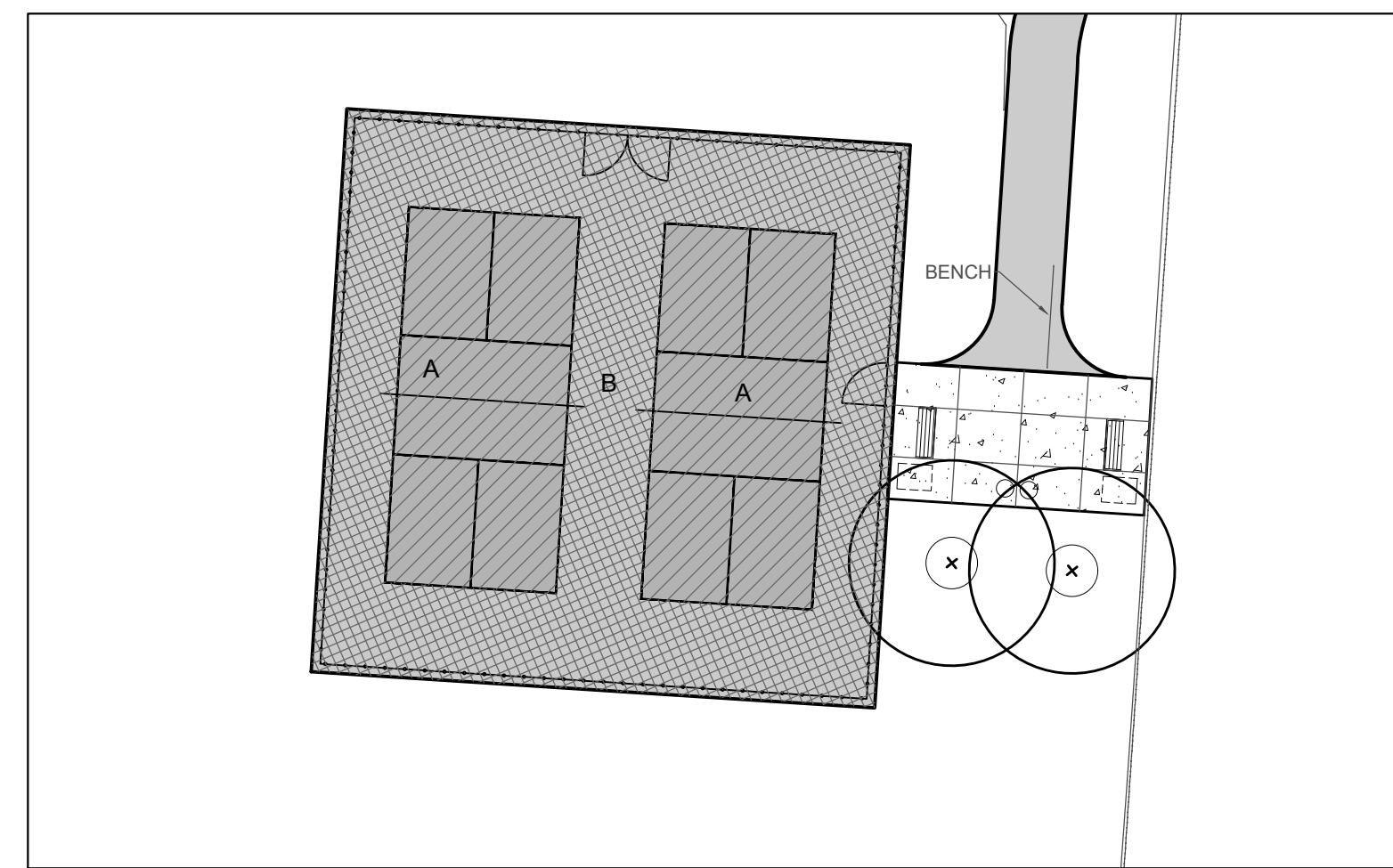


1 Inlet Protection
SCALE: NTS

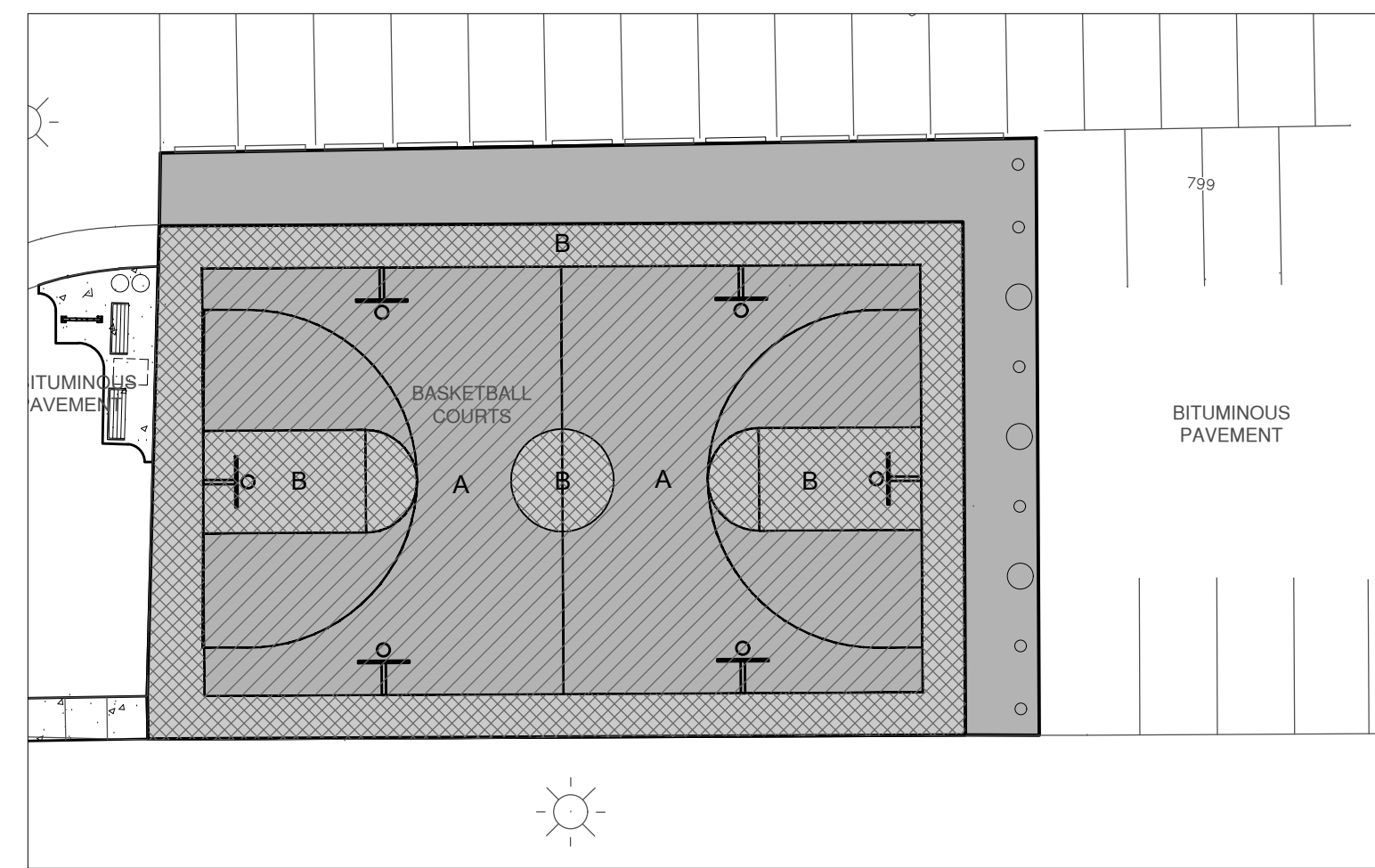


SCALE: 1" = 20'-0"





Pickleball Surfacing Plan SCALE: 1" = 20'-0"
0 10' 20' 40' 60'



Basketball Surfacing Plan SCALE: 1" = 20'-0"
0 10' 20' 40' 60'

COLOR LEGEND

- Surface Color A: Blue
- Surface Color B: Green

GENERAL NOTES: LAYOUT

1. It is the responsibility of the Contractor to perform layout of all project elements and points for review by Owner prior to construction. (This work is considered incidental to the project and not paid as a separate bid item).
2. The contractor shall be responsible for all materials and quantities as required to complete the work in accordance with the plans and specifications. The contractor will notify the Owner's Representative in writing of any discrepancies or changes required to complete the work before any action may be taken. All changes or change orders must be approved by the Owner's Representative and Owner before any changes are executed.
3. Contractor shall follow Village of Bartlett permit requirements as part of the project.

REFERENCED SPECIFICATIONS AND CODES

1. The Standard Specifications for Road and Bridge Construction (SSRBC), adopted April 1, 2016 adopted by the Illinois Department of Transportation, and all amendments thereto the design manual, highway standards, and the culvert manual, also prepared by the Illinois Department of Transportation.
2. The Americans with Disabilities Act and the Illinois Accessibility Code.
3. The Illinois Procedures and Standards for Urban Soil Erosion and Sedimentation Control, and IEPA Standards and Specifications for Soil Erosion and Sedimentation Control.
4. U.S. Soil Conservation Service Field Engineering Handbook
5. All codes and ordinances of the Village of Bartlett, United States Army Corp of Engineers, Illinois Department of Natural Resources, Dupage County Soil and Water Conservation Districts, and all agencies having jurisdiction.
6. All requirements of the Occupational Safety and Health Administration.
7. The cited standard specifications, codes and permits, with these construction plans and details, are all to be considered part of the work, incidental items or accessories necessary to complete this work may not be specifically noted but are considered a part of these improvements.
8. In case of conflict, the more restrictive provision shall apply.



700 S Bartlett Road
Bartlett, Illinois 60103
Phone: 630-540-4800

PROJECT
Apple Orchard West Pickleball and Basketball

696 West Stearns Road
Bartlett, Illinois 60102

PROJECT TEAM

uplandDesign Ltd
Landscape Architecture & Park Planning
Chicago, Illinois 312-350-4088
Plainfield, Illinois 815-254-0091
uplandDesign.com

SURVEYOR
JLH Land Surveying, Inc.
910 Geneva Street
Shorewood, Illinois 60404
Phone: 815-729-4000

CIVIL ENGINEER
Engineering Resource Associates
3s701 West Avenue, Suite 150
Warrenville, Illinois 60555
IL License 184-001186

REVISIONS

MB/SF	85% Construction Documents	16FEB2022

ORIGINAL ISSUE DATE
Issued for Bid 21FEB2023

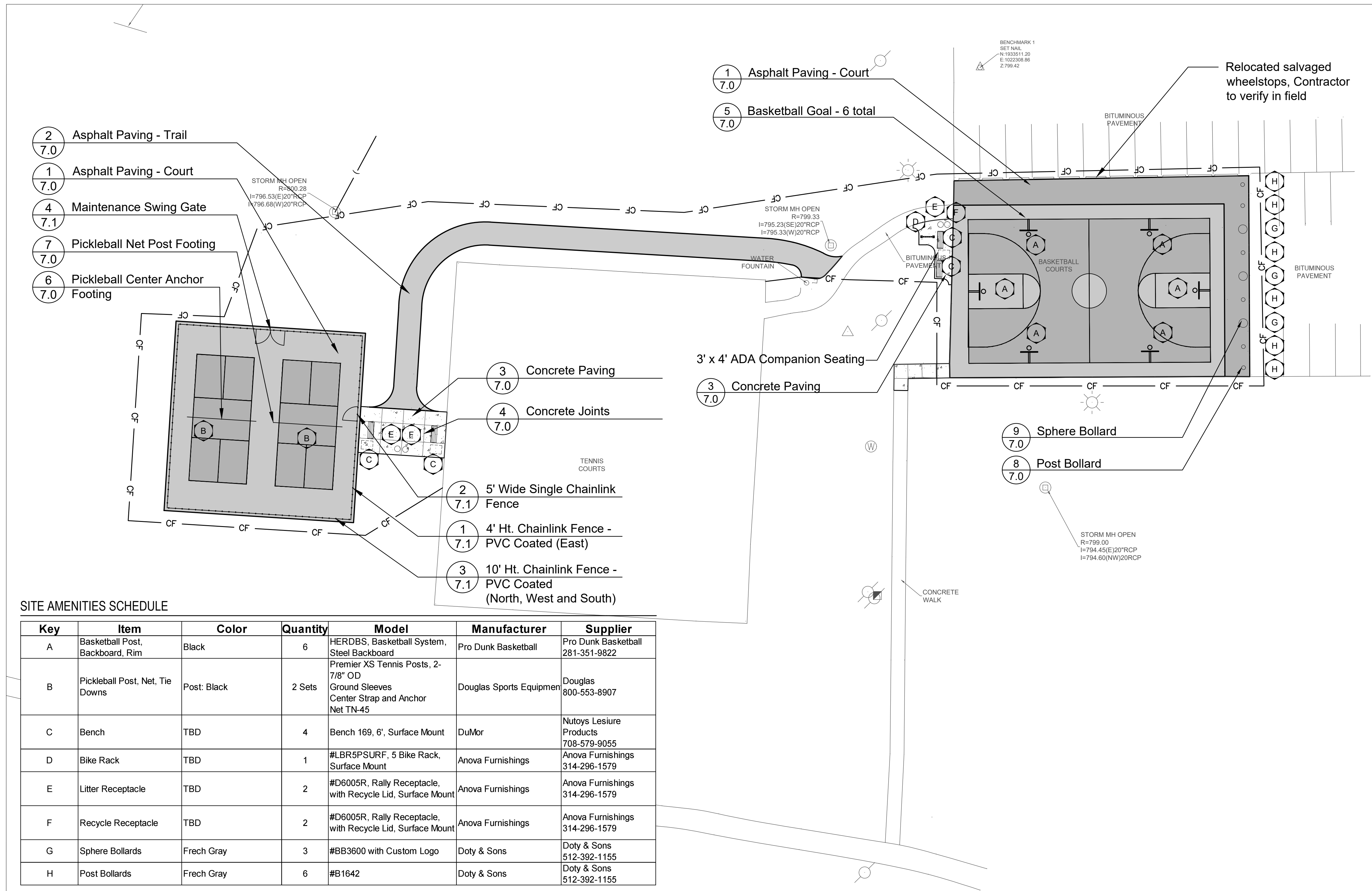
PROJECT NUMBER
1090

SHEET TITLE

Layout Plan

SHEET NUMBER

4.0

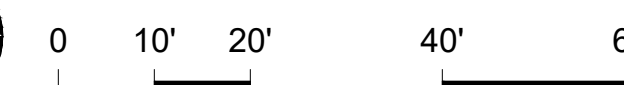


SITE AMENITIES SCHEDULE

Key	Item	Color	Quantity	Model	Manufacturer	Supplier
A	Basketball Post, Backboard, Rim	Black	6	HERDBS, Basketball System, Steel Backboard	Pro Dunk Basketball	Pro Dunk Basketball 281-351-9822
B	Pickleball Post, Net, Tie Downs	Post: Black	2 Sets	Premier XS Tennis Posts, 2-7/8" OD Ground Sleeves Center Strap and Anchor Net TN-45	Douglas Sports Equipment	Douglas 800-553-8907
C	Bench	TBD	4	Bench 169, 6', Surface Mount	DuMor	Nutoys Lesiure Products 708-579-9055
D	Bike Rack	TBD	1	#LBR5PSURF, 5 Bike Rack, Surface Mount	Anova Furnishings	Anova Furnishings 314-296-1579
E	Litter Receptacle	TBD	2	#D6005R, Rally Receptacle, with Recycle Lid, Surface Mount	Anova Furnishings	Anova Furnishings 314-296-1579
F	Recycle Receptacle	TBD	2	#D6005R, Rally Receptacle, with Recycle Lid, Surface Mount	Anova Furnishings	Anova Furnishings 314-296-1579
G	Sphere Bollards	Frech Gray	3	#BB3600 with Custom Logo	Doty & Sons	Doty & Sons 512-392-1155
H	Post Bollards	Frech Gray	6	#B1642	Doty & Sons	Doty & Sons 512-392-1155

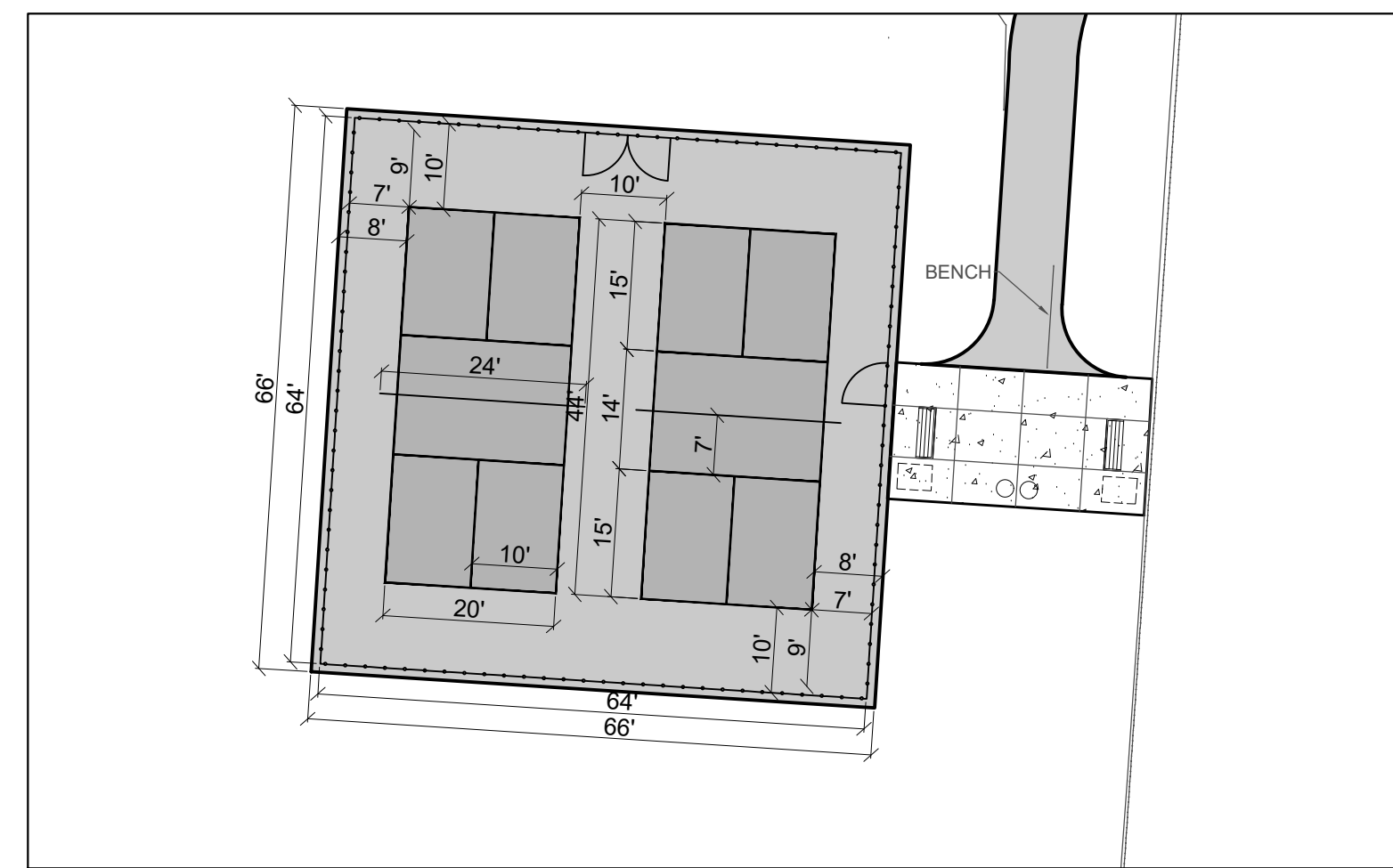


SCALE: 1" = 20'-0"

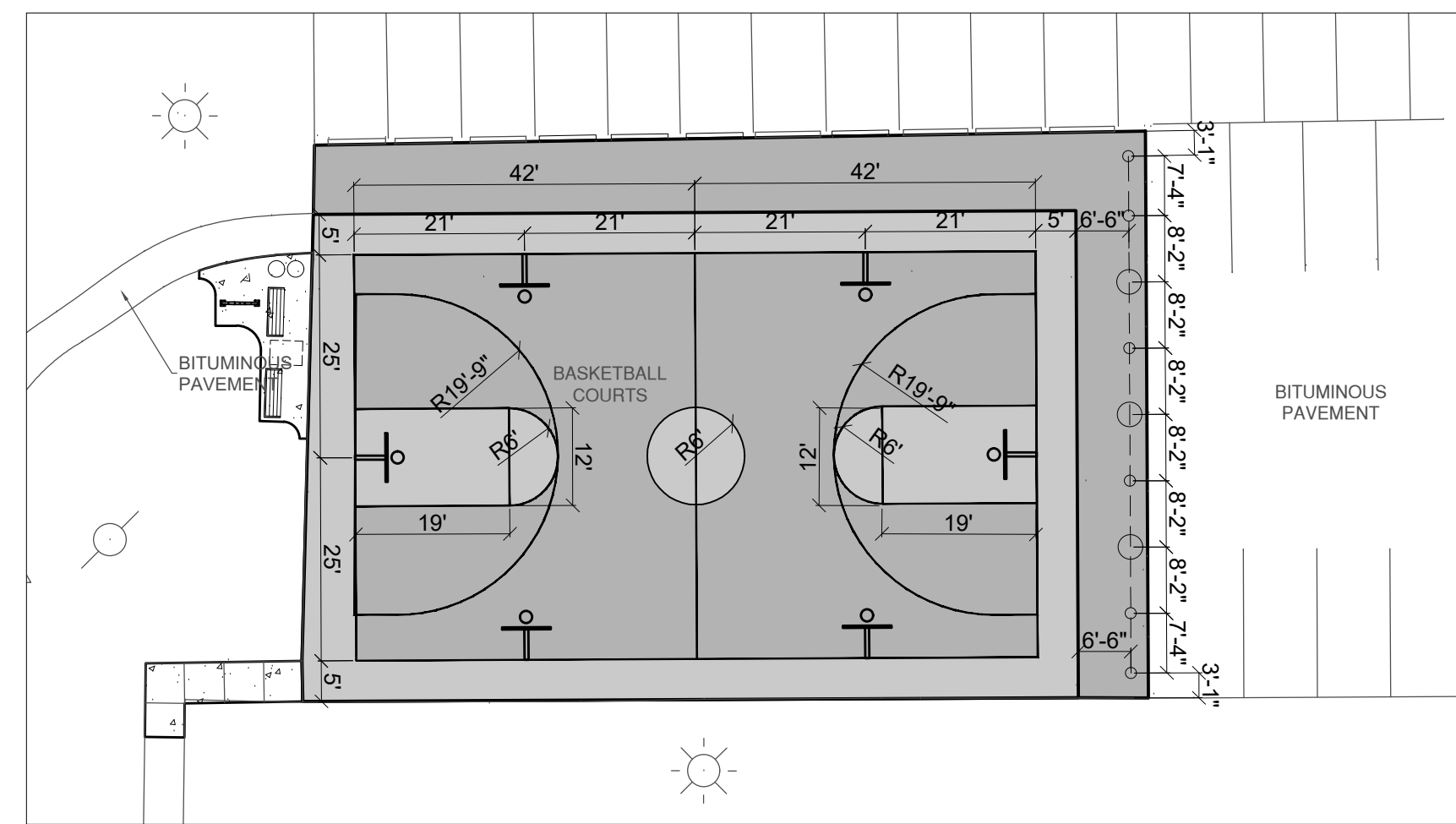


LEGEND

- Concrete Paving
- Asphalt Paving
- EJ Concrete Expansion Joints
- Chainlink Fence
- CF Construction Fence



Pickleball Dimension Plan SCALE: 1" = 20'-0"
0 10' 20' 40' 60'



Basketball Dimension Plan SCALE: 1" = 20'-0"
0 10' 20' 40' 60'

GENERAL NOTES: DIMENSION

1. Layout of equipment is to center of post.
2. Paving radii shall be formed completely and shall smoothly transition into tangents and adjoining lines. Dimensions are to face of curb and edge of pavement unless otherwise specified.
3. Dimensions are in feet or degrees. Dimensions are perpendicular & parallel unless otherwise noted.
4. See Layout Plan, Sheet 4.0 for additional general notes and referenced specifications and codes.
5. Contractor shall perform all construction layout for the project. Contractor will be provided with an electronic file in AutoCAD format to assist with layout. Neither the Owner nor their representative shall be responsible for setting additional layout points.



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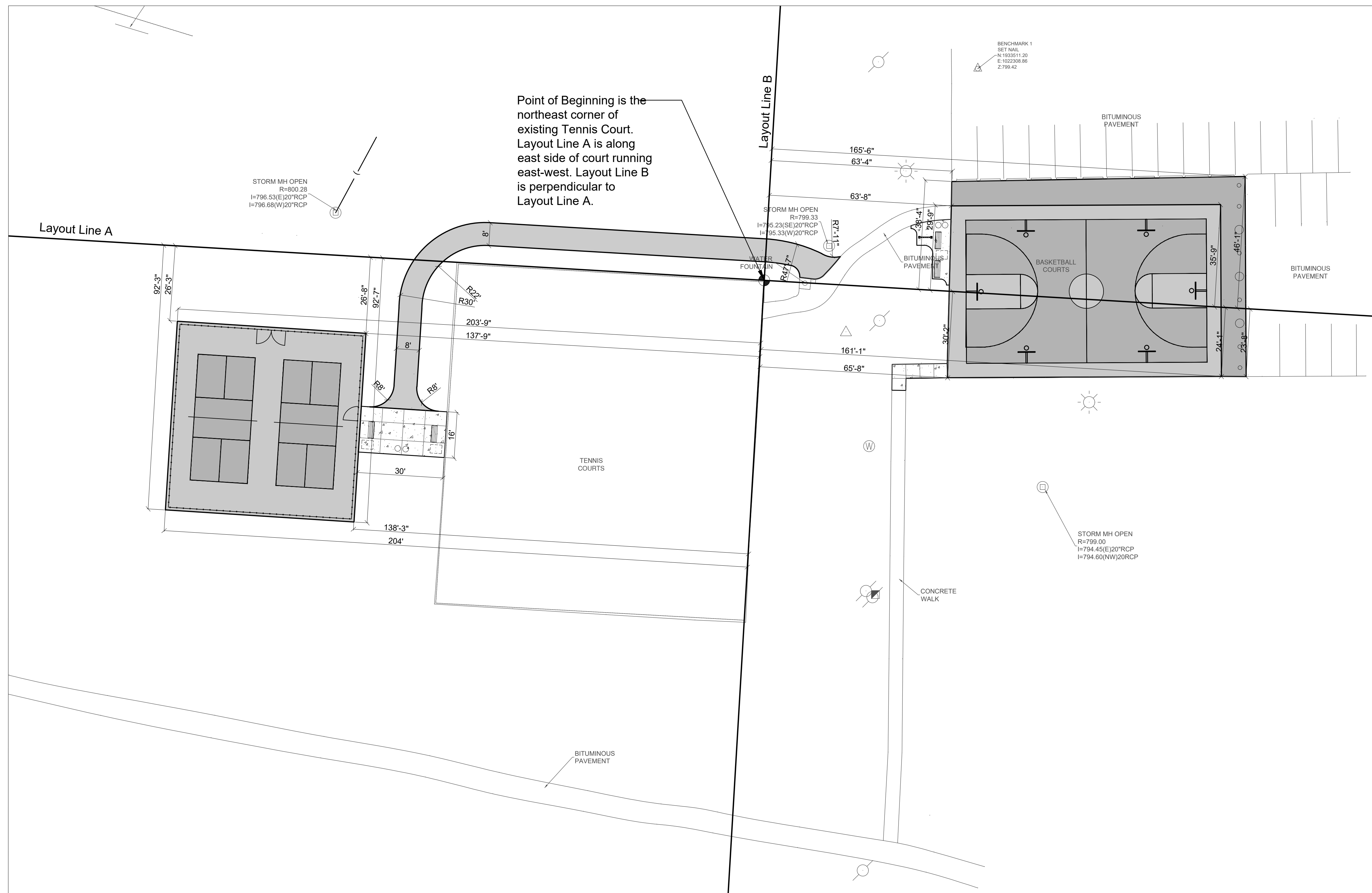
PROJECT NUMBER
1090

SHEET TITLE

Dimension Plan

SHEET NUMBER

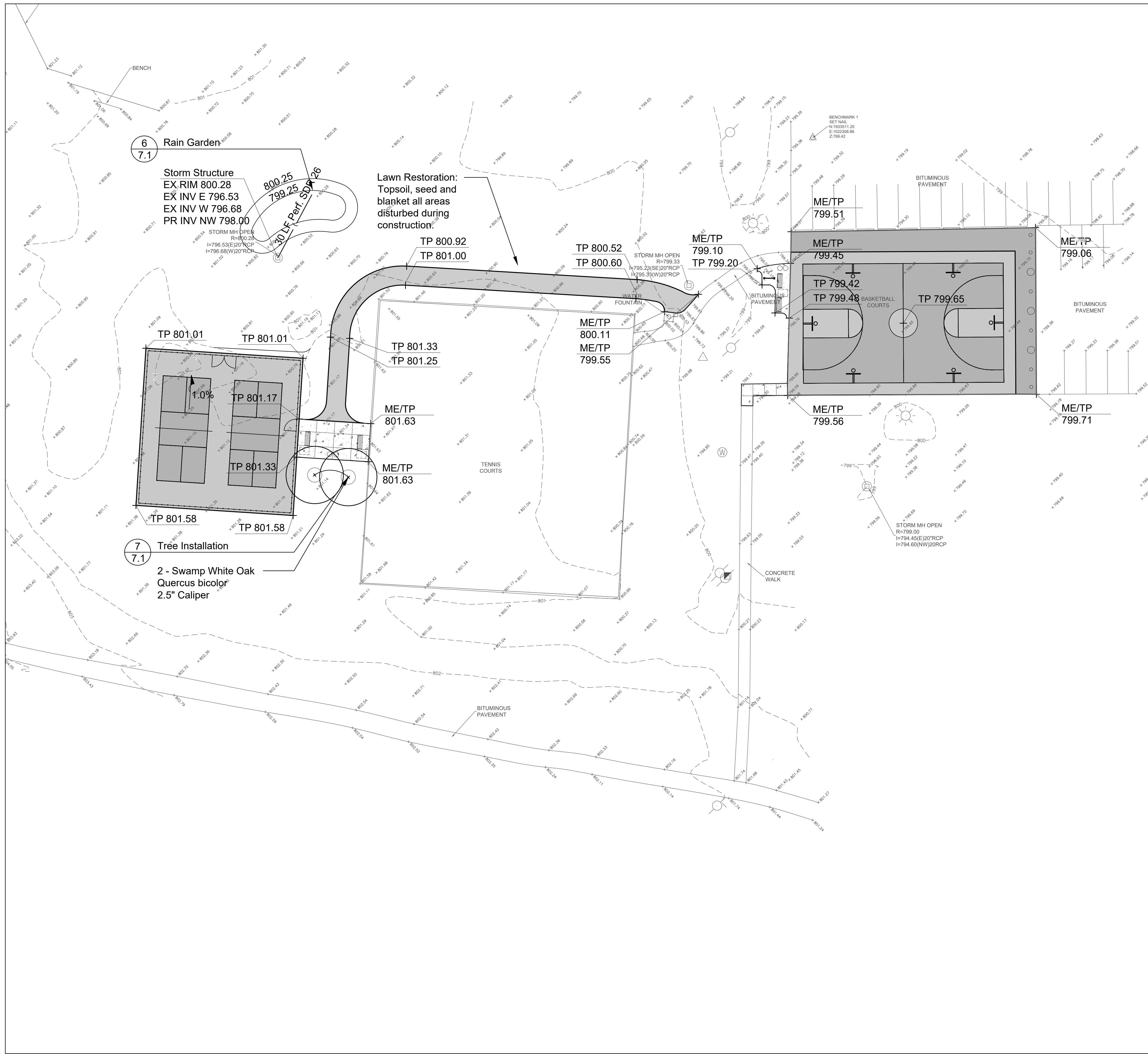
5.0



LEGEND

- Concrete Paving
- Asphalt Paving
- EJ Concrete Expansion Joints
- Chainlink Fence
- Construction Fence
- Point of Beginning

North SCALE: 1" = 20'-0"
0 10' 20' 40' 60'



GENERAL NOTES: GRADING

1. Finished surfaces to be smooth and even with no abrupt or awkward changes in grade. Paving to meet adjacent grades flush and smooth.
2. Contractor shall restore all areas disturbed as a result of construction.
3. All walks, drives and paved areas are to follow ADA per incorporated specifications. Any deviation shall be removed and reinstalled to follow this law.
4. All Accessible Route paving shall not exceed 4.5% in any direction. Cross slopes shall be less than 2%. Contractor shall slope all walks and slabs to eliminate ponding. ADA Turning Radius paving shall be less than 2% in all directions.
5. This work shall include the excavation, stockpile, and placement of topsoil and suitable excavated material along with removal of all excess topsoil and debris off site and dispose of legally.
6. Follow the Illinois Procedures and Standards for Urban Soil Erosion and Sedimentation Control, IEPA Standards and Specifications for Soil Erosion and Sedimentation Control, and U.S. Soil Conservation Service Field Engineering Handbook.
7. Transitions between paving types (i.e. concrete to asphalt) shall be smooth. Transitions not to exceed 1/8" vertical or horizontal difference.

GENERAL NOTES: LANDSCAPE

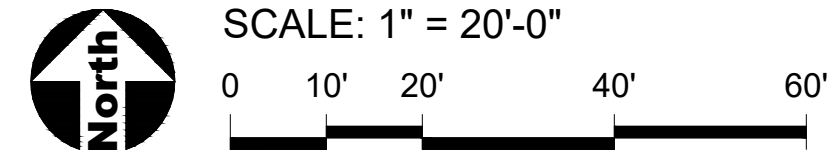
1. Final grade of planting beds shall be as per grading plan.
2. The landscape contractor shall be responsible for making themselves familiar with all underground utilities and structures.
3. All existing plant material and trees shall be saved and protected unless otherwise noted. Contractor to protect new and existing trees and landscaping from damage and shall restore all areas disturbed as a result of construction.
4. Plant material shall be supplied from Northern Illinois nursery stock, shall be dug the planting season it is installed, and shall conform to the American Association of Nurseryman's standards.
5. Plant material shall be size and type specified. Substitution of plant material shall be on a case by case basis and approved in writing by the Owner's Representative. In no case shall plant material be smaller than indicated in the plans.
6. Do not willfully proceed with plantings as designed when it is obvious that obstructions and/or grade differences exist that may not have been known during the design process. Such conditions shall be immediately brought to the attention of the Owner's Representative.
7. All plant material shall be inspected and approved by the Owner's Representative prior to the installation of any and all plant material.
8. Plant locations shall be flagged in field with Owner's Rep. Final location of all plant material shall be subject to approval of the Owner's Representative prior to digging any holes. The landscape contractor is responsible for providing Owner's Representative with 48 hour minimum advance notice prior to planting.
9. Plants shall be watered on the day they are planted and maintained with watering until final acceptance of the project.
10. Apply a pre-emergent as per manufacturer's specification prior to installing mulch.
11. Beds and tree rings (6' diameter) shall have 3" of hardwood shredded mulch applied and a 4" deep spade edge at lawn. Trees that are not located in beds, shall have a tree ring.
12. Landscape plant material shall be guaranteed for 12 months from final acceptance. Any plant 1/3 dead or more shall be replaced under the guarantee.
13. Contractor to prepare landscape beds by roto-tilling 2" of Mushroom Compost into new beds. Do not add compost nor roto-fill within drip line of existing trees.
14. Lawn Seeding shall be under favorable weather conditions, and shall follow dates in specification.
15. Turf mixes shall be installed and lawn established at all disturbed areas.
16. Do not overseed into mulch beds and paving.
17. Contractor shall restore all areas disturbed as a result of construction.

LEGEND

- 681 --- Existing Contour Line
- 681 — Proposed Contour Line
- + 685.35 Existing Spot Elevation
- + 689.66 Proposed Spot Elevation
- 2% Drainage Flow Direction
- CL — Construction Limits / Construction Fence
- + ○ Shade Tree

INDEX OF ACRONYMS AND ABBREVIATIONS

- HP - High Point
- INV - Pipe Invert Elevation
- LP - Low Point
- ME - Match Existing Elevation
- RIM - Top of Rim Elevation
- TC - Top of Curb
- TP - Top of Pavement
- TW - Top of Wall



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910 Geneva Street
Shorewood, Illinois 60404
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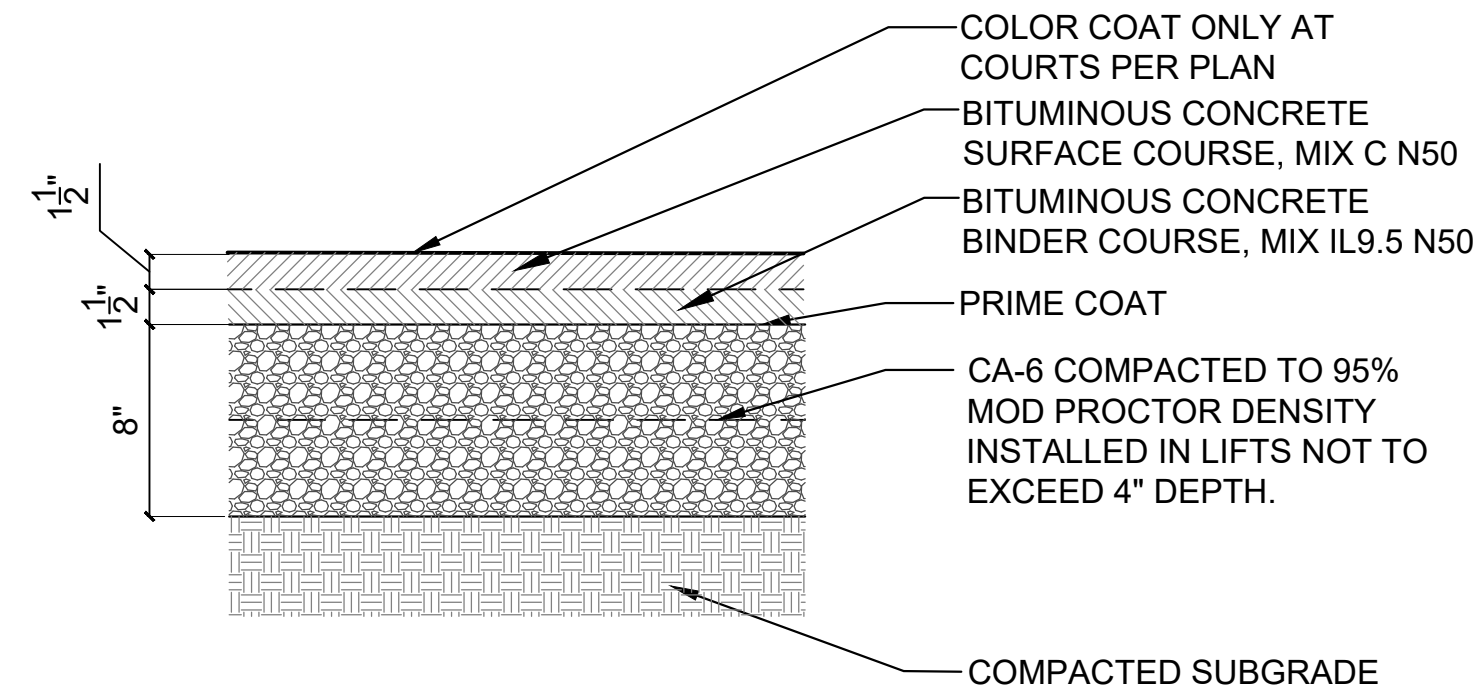
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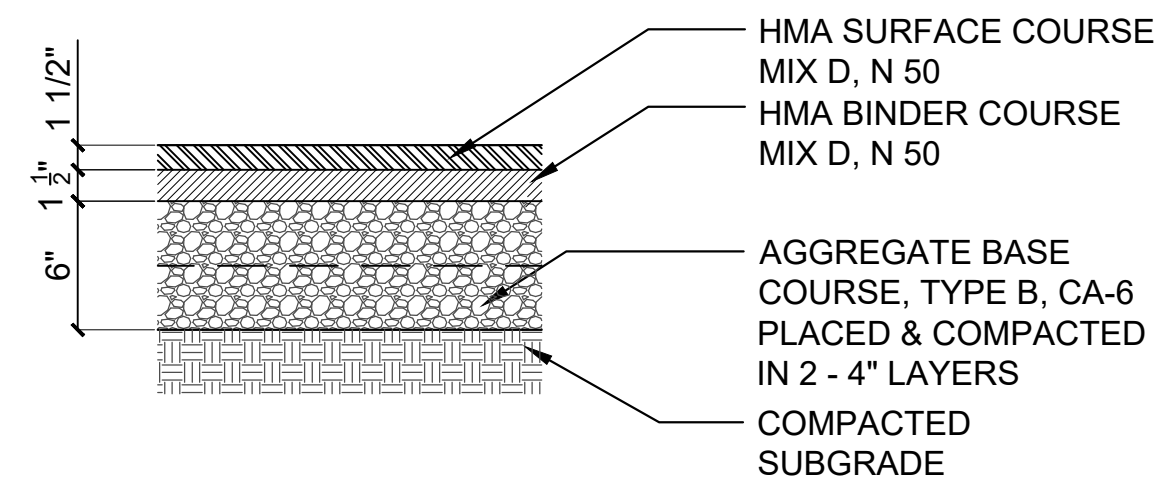
PROJECT NUMBER
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SHEET TITLE
Grading Plan

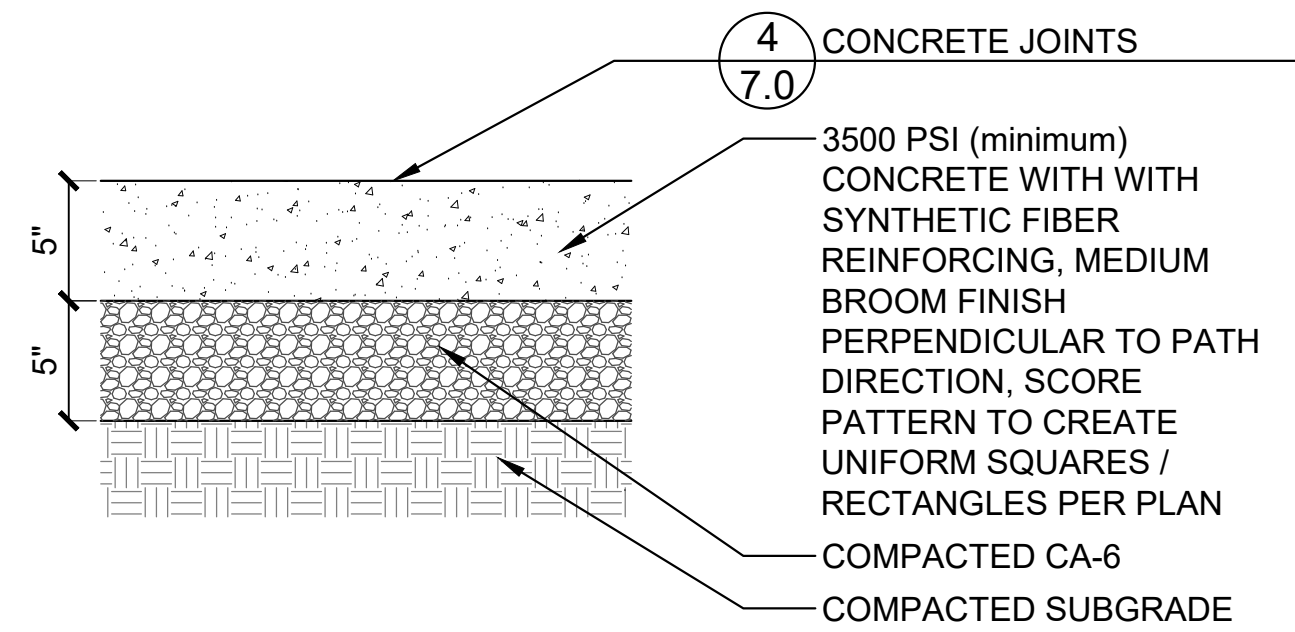
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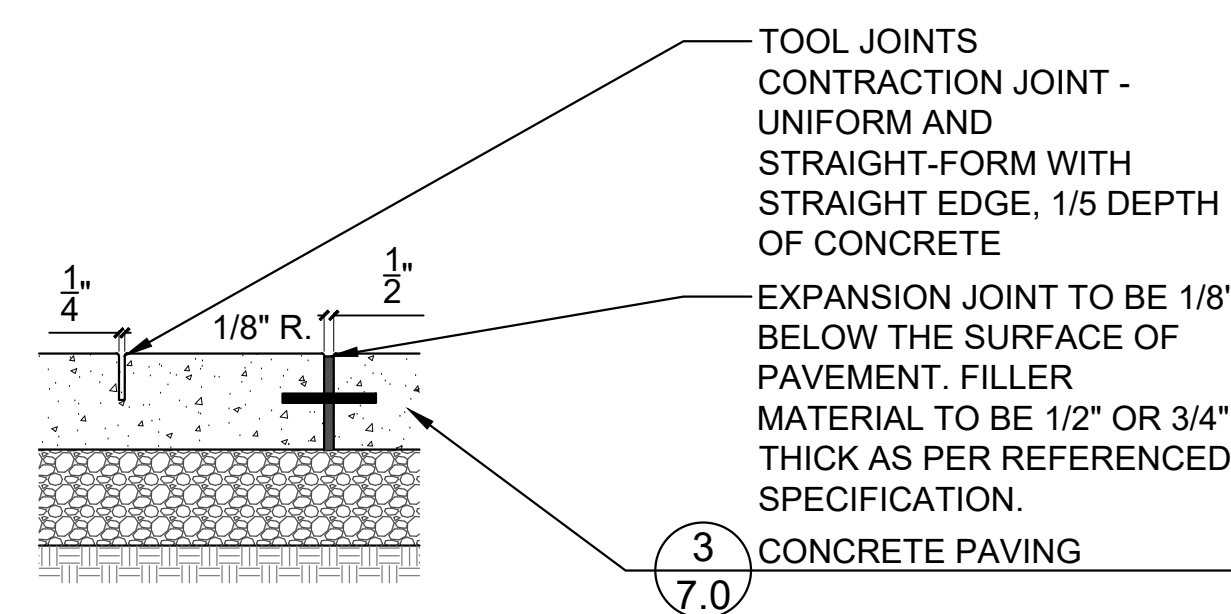
1 Asphalt Paving - Court
SCALE: 1 1/2"=1'-0" d-asph-court_8



2 Asphalt Paving - Trail
SCALE: 1"=1'-0" asphalt_paving_trail8_1_12



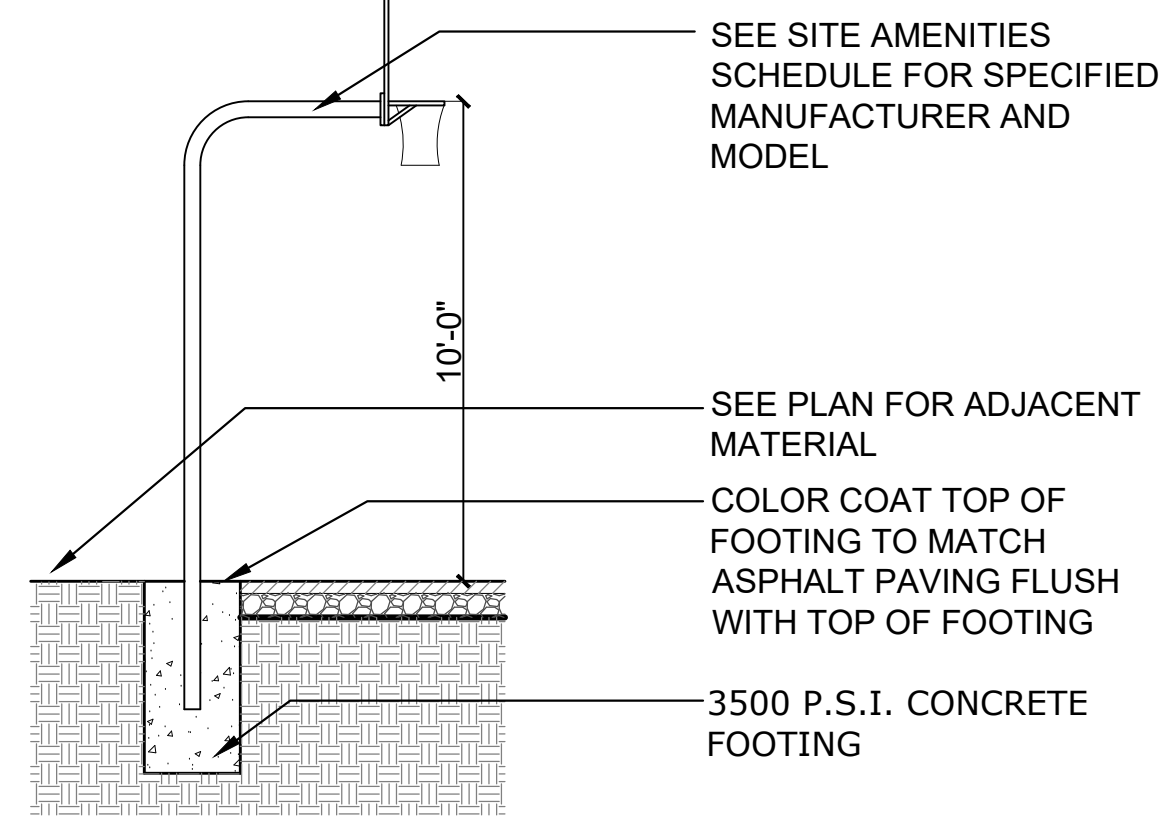
3 Concrete Paving
SCALE: 1 1/2" = 1'-0" d-conc pav-5_8



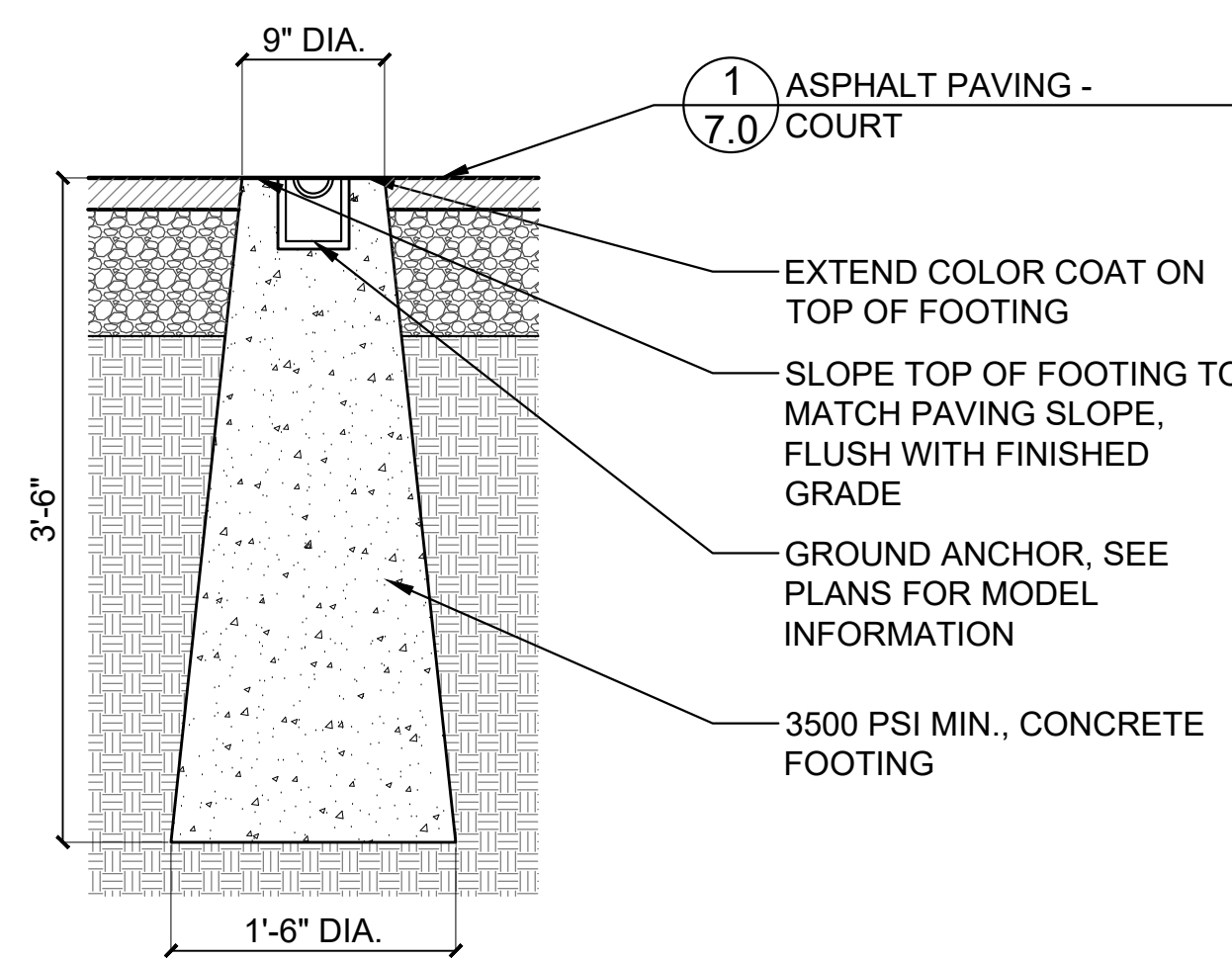
- NOTES:
1. JOINTS PLAN TAKES PRIORITY OVER NOTES EXCEPT FOR MAXIMUM SPACING.
 2. CONTRACTION JOINTS TO BE PLACED 10' O.C. MAXIMUM
 3. EXPANSION JOINTS TO BE PLACED 30' O.C. MAXIMUM
 4. PLACE EXPANSION JOINTS BETWEEN NEW CONCRETE POURS AND INSTALL 8" EPOXY COATED BARS, 12" O.C.
 5. CURB JOINTS TO MATCH CONCRETE PAVING WHERE APPLICABLE
 6. INSTALL SMOOTH DOWELS AT EXPANSION JOINTS
 7. NO 'CALIFORNIA JOINTS'

4 Concrete Joints
SCALE: 1 1/2"=1'-0" d-conc_joints_8.dwg

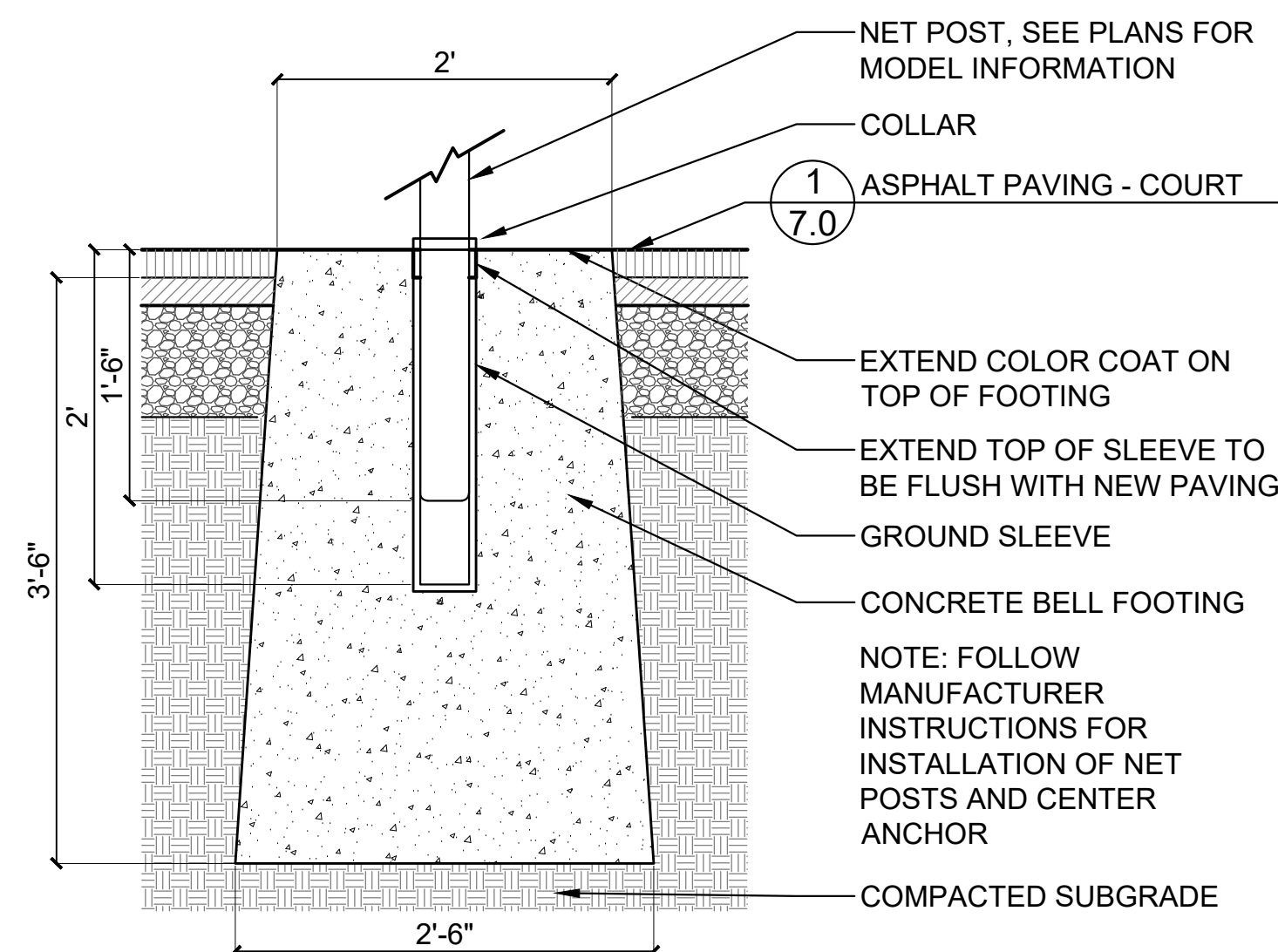
- NOTES:
- 1) SEE MANUFACTURER'S SPECIFICATION FOR DETAILED INSTRUCTIONS.
 - 2) COORDINATE WITH MANUFACTURER OF BASKETBALL GOAL FOR CONCRETE FOUNDATION DIAMETER



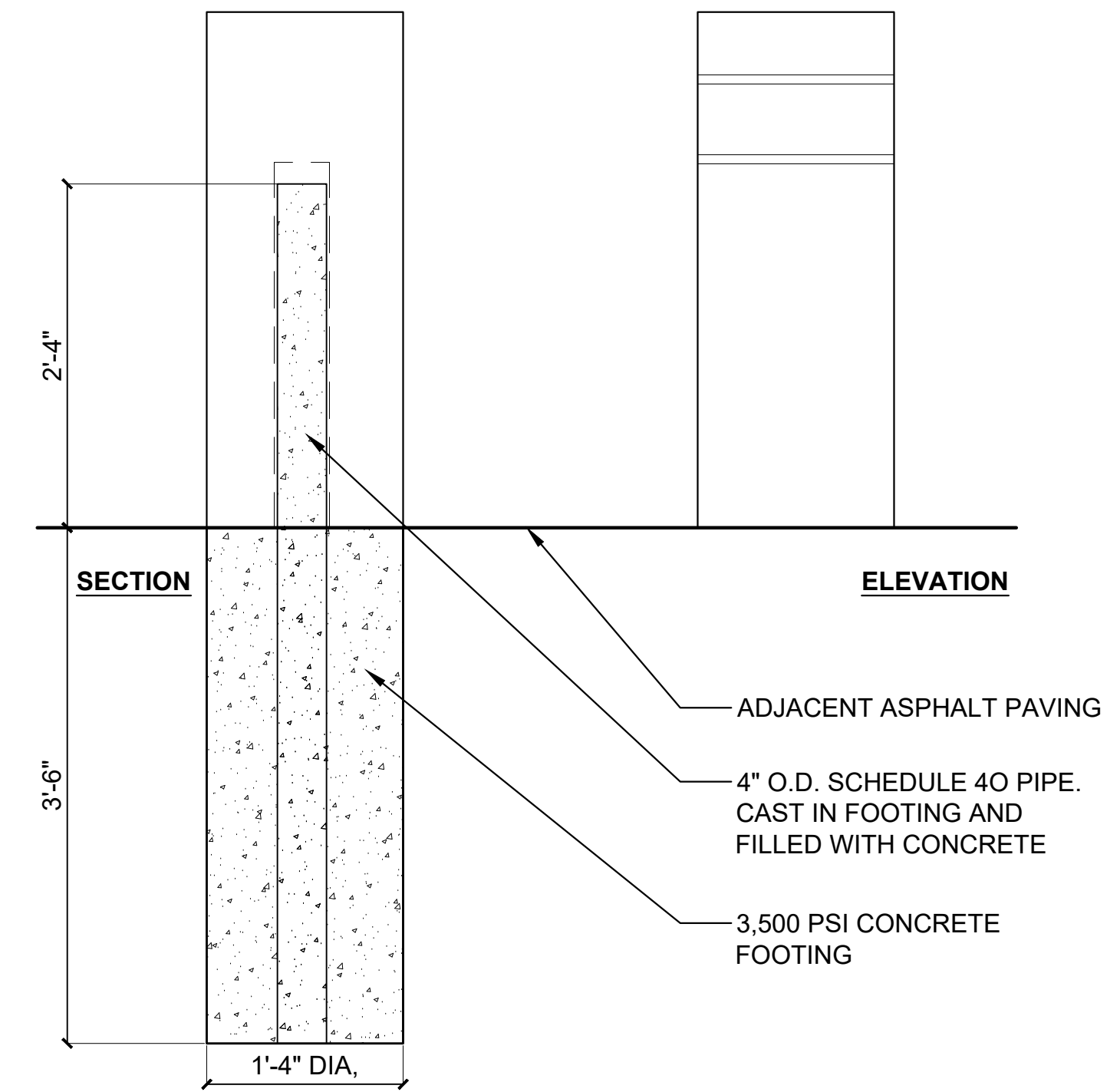
5 Basketball Goal
SCALE: 1/4"=1'-0" d-bball-goal_48



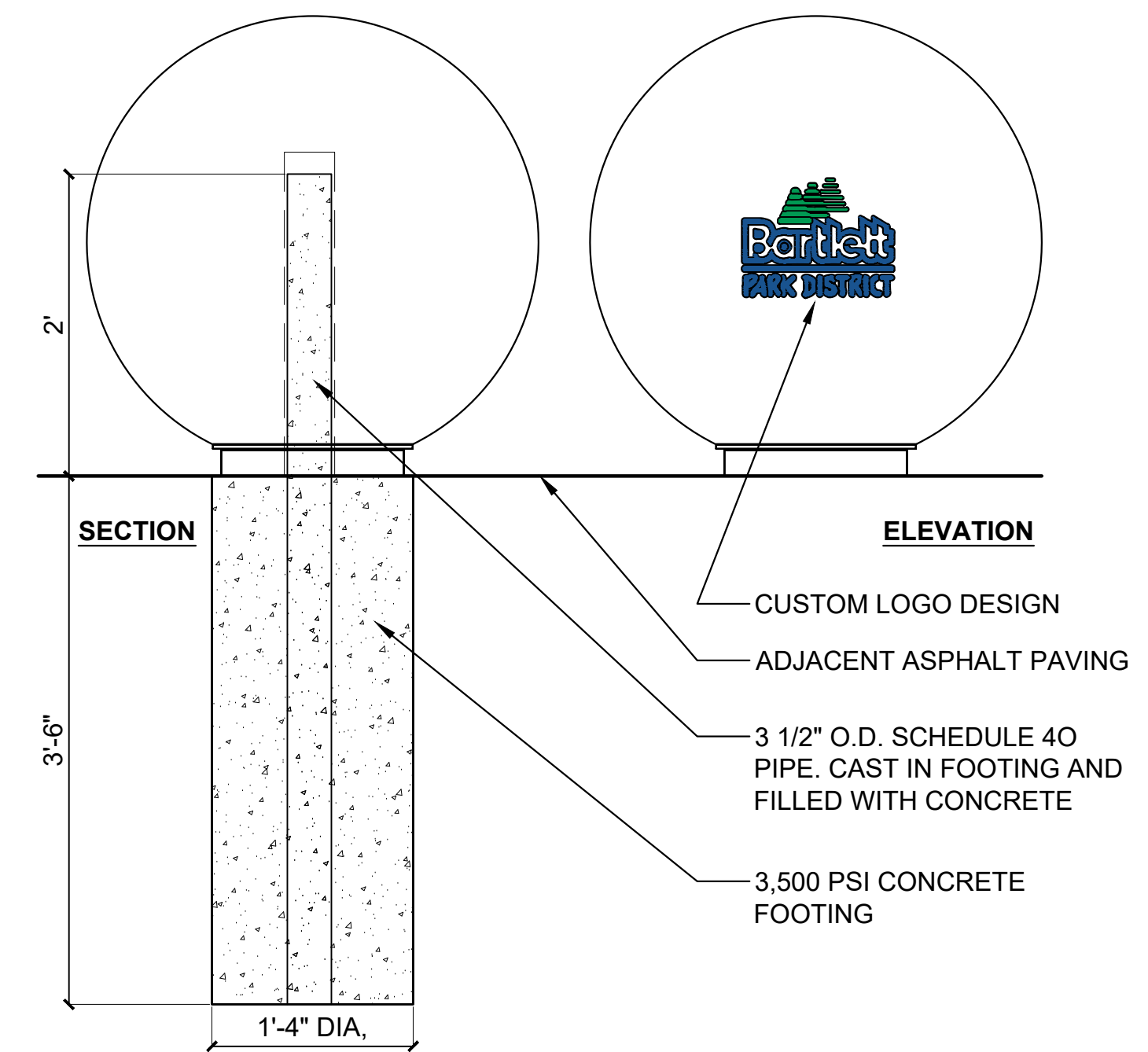
6 Pickleball Center Anchor Footing
SCALE: 1"=1'-0" d-tennis anchor-footing_12



7 Pickleball Net Post
SCALE: 1"=1'-0" d-tennis-footing-ex_12



8 Post Bollard
SCALE: 1"=1'-0" d-bollard-post_12



9 Sphere Bollard
SCALE: 1"=1'-0" d-bollard-sphere_12

PROJECT
Apple Orchard West Pickleball and Basketball

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PROJECT TEAM

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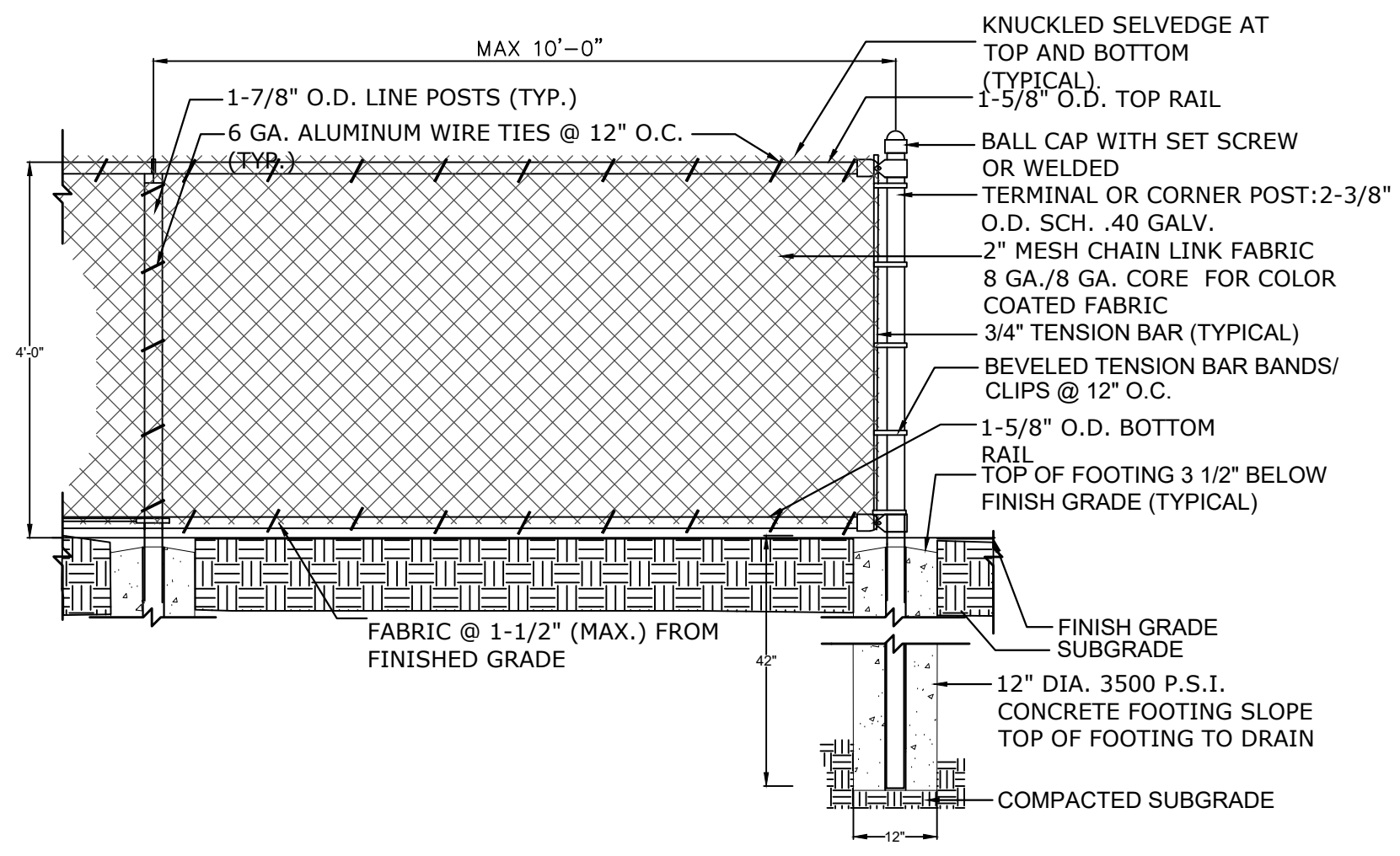
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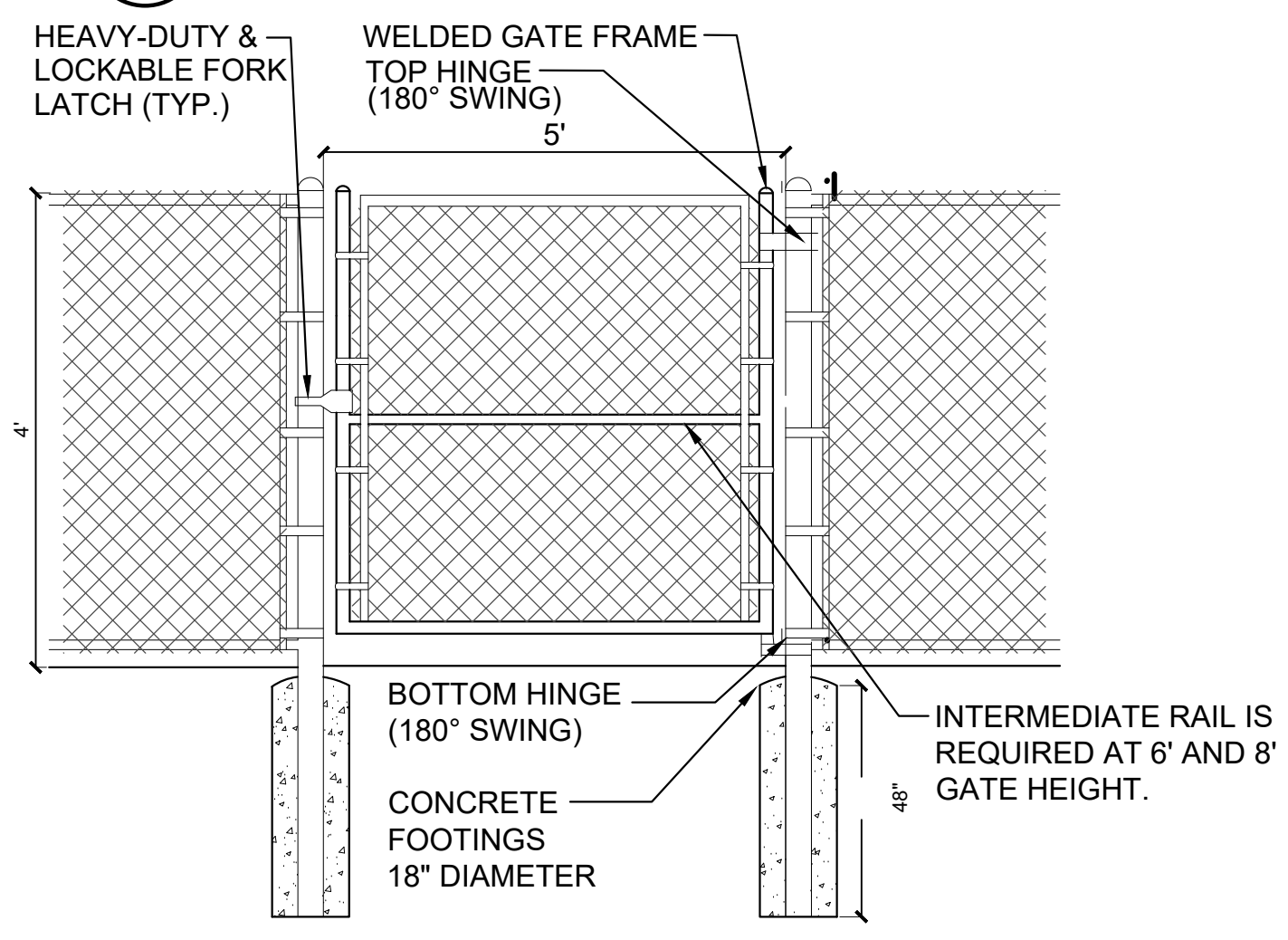
PROJECT NUMBER
1090

SHEET TITLE
Construction Details

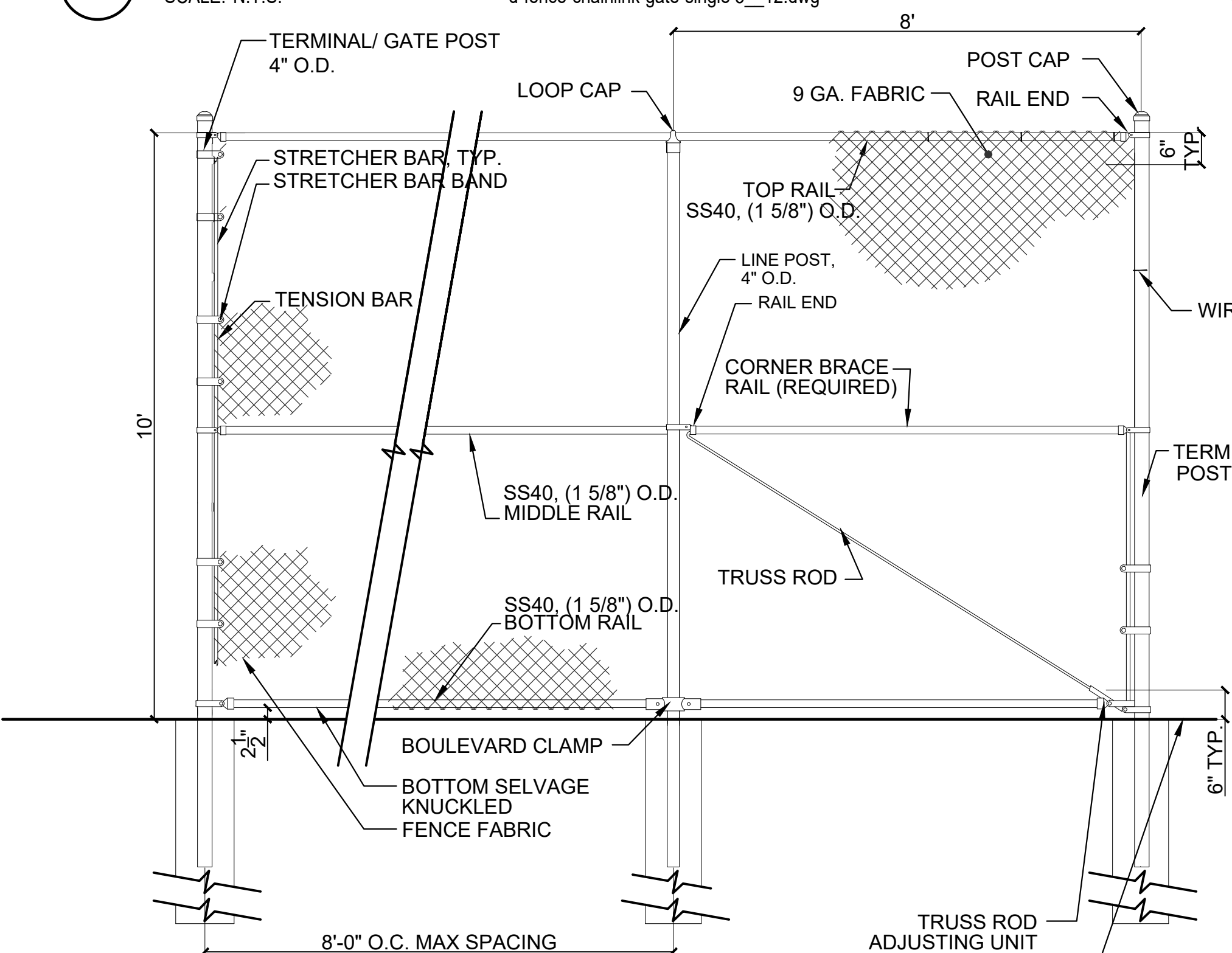
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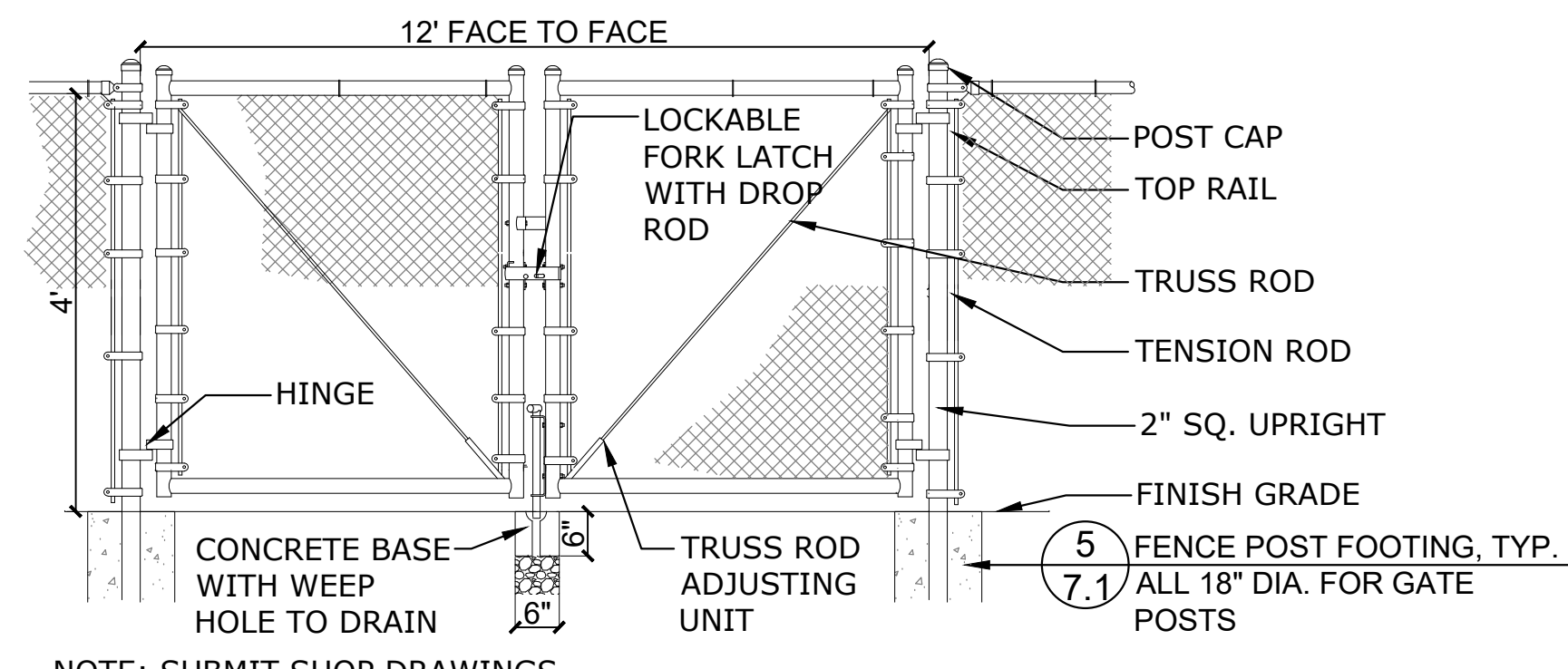
1 4' Chainlink Fence - PVC Coated
SCALE: Not to Scale
4-PVC-Coated-Chainlink



2 5' Wide Single Chainlink Fence Gate
SCALE: N.T.S.
d-fence-chainlink-gate-single 5_12.dwg



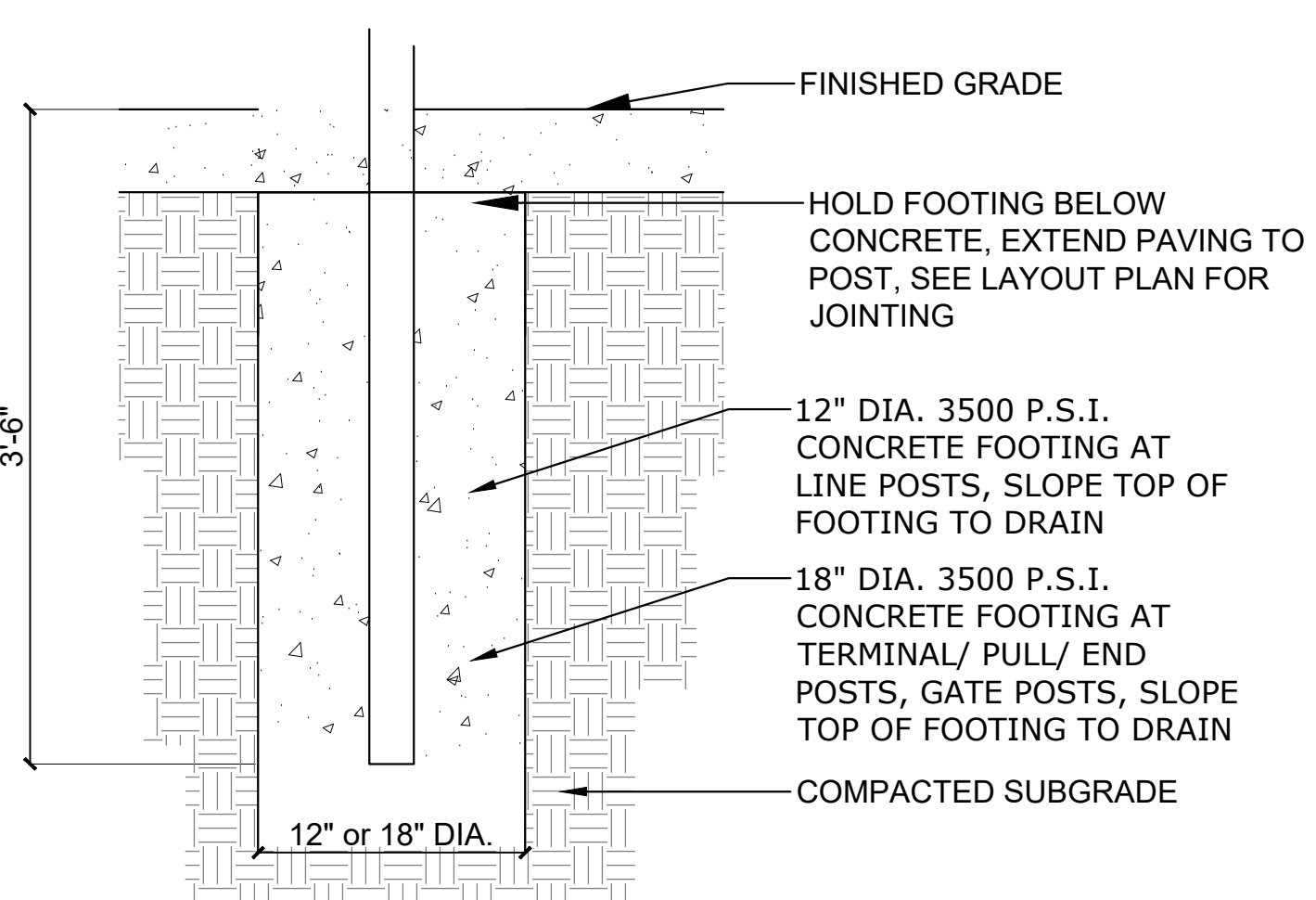
3 4' Chainlink Fence - PVC Coated
SCALE: 1/2"=1'-0"



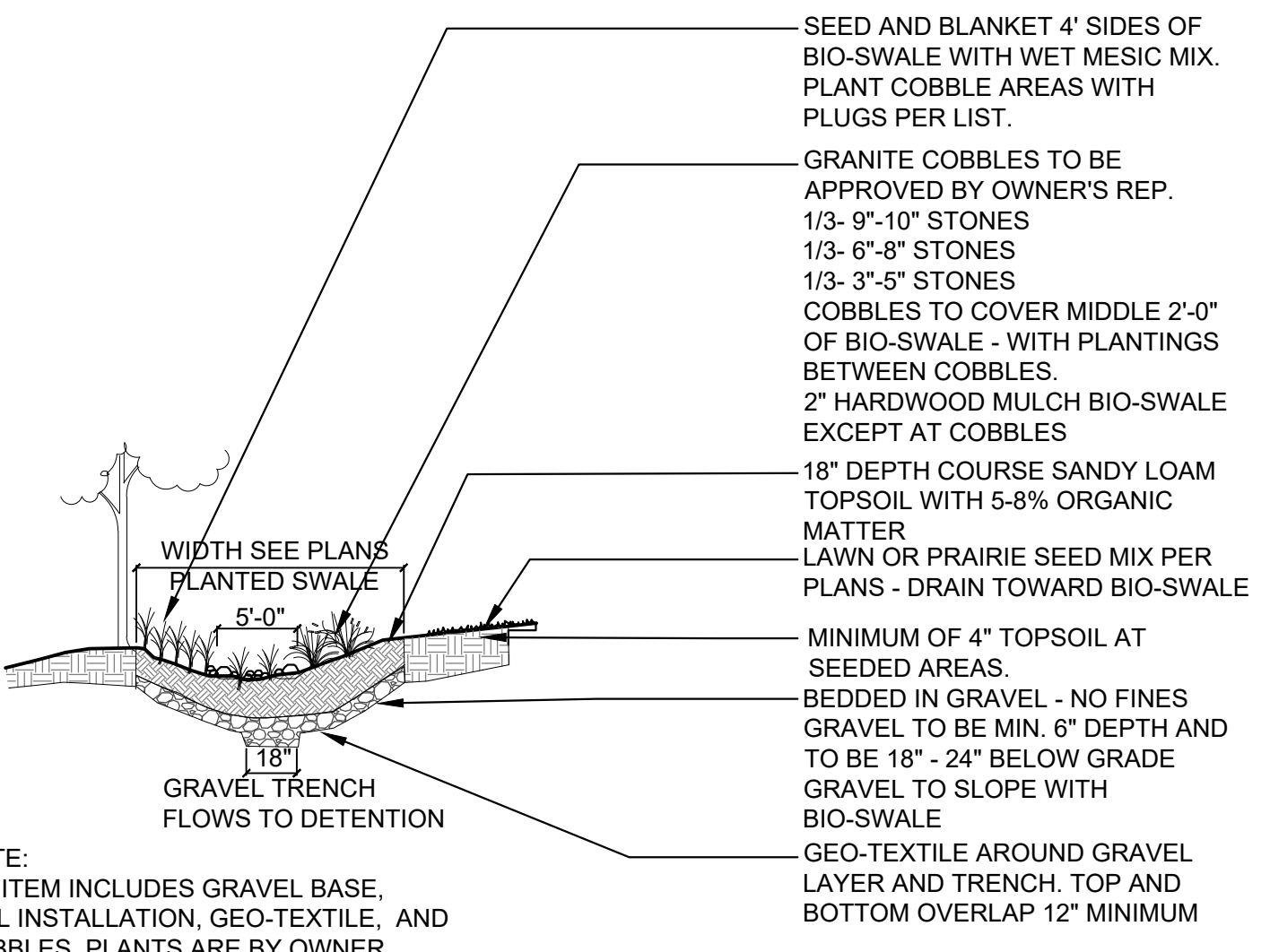
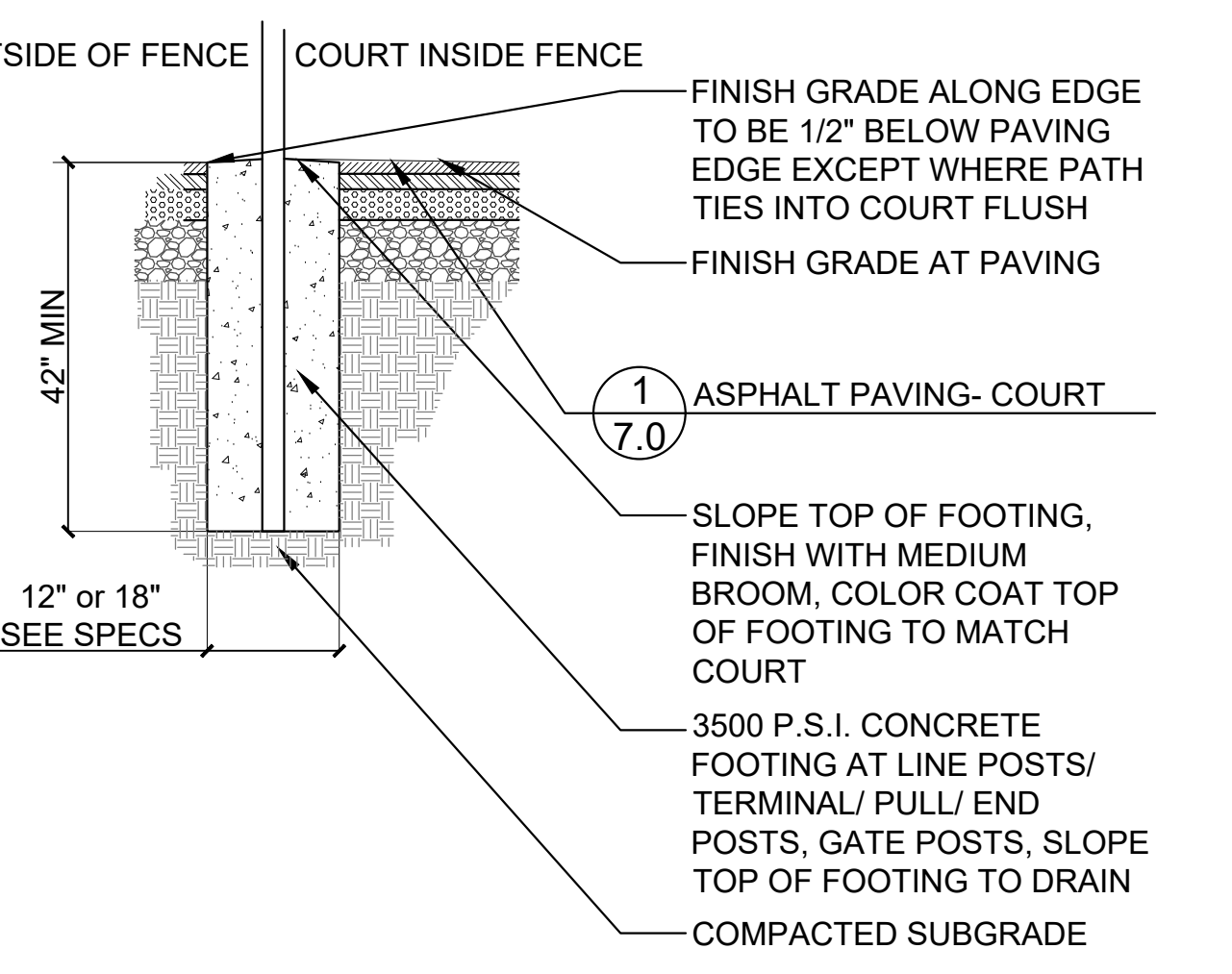
NOTE: SUBMIT SHOP DRAWINGS

GENERAL NOTES:
1) ALL FENCING IS TO BE GROUNDED AND CONFORM TO THE REQUIREMENTS OF THE CURRENT MUNICIPAL CODE OF CHICAGO RELATING TO ELECTRICAL INSPECTIONS.
2) ALL COMPONENTS SHALL BE FUSE BONDED AND GALVANIZED.

4 Maintenance Swing Gate
SCALE: 1/2"=1'-0"
d-fence-chainlink-gate-double 12_24.dwg

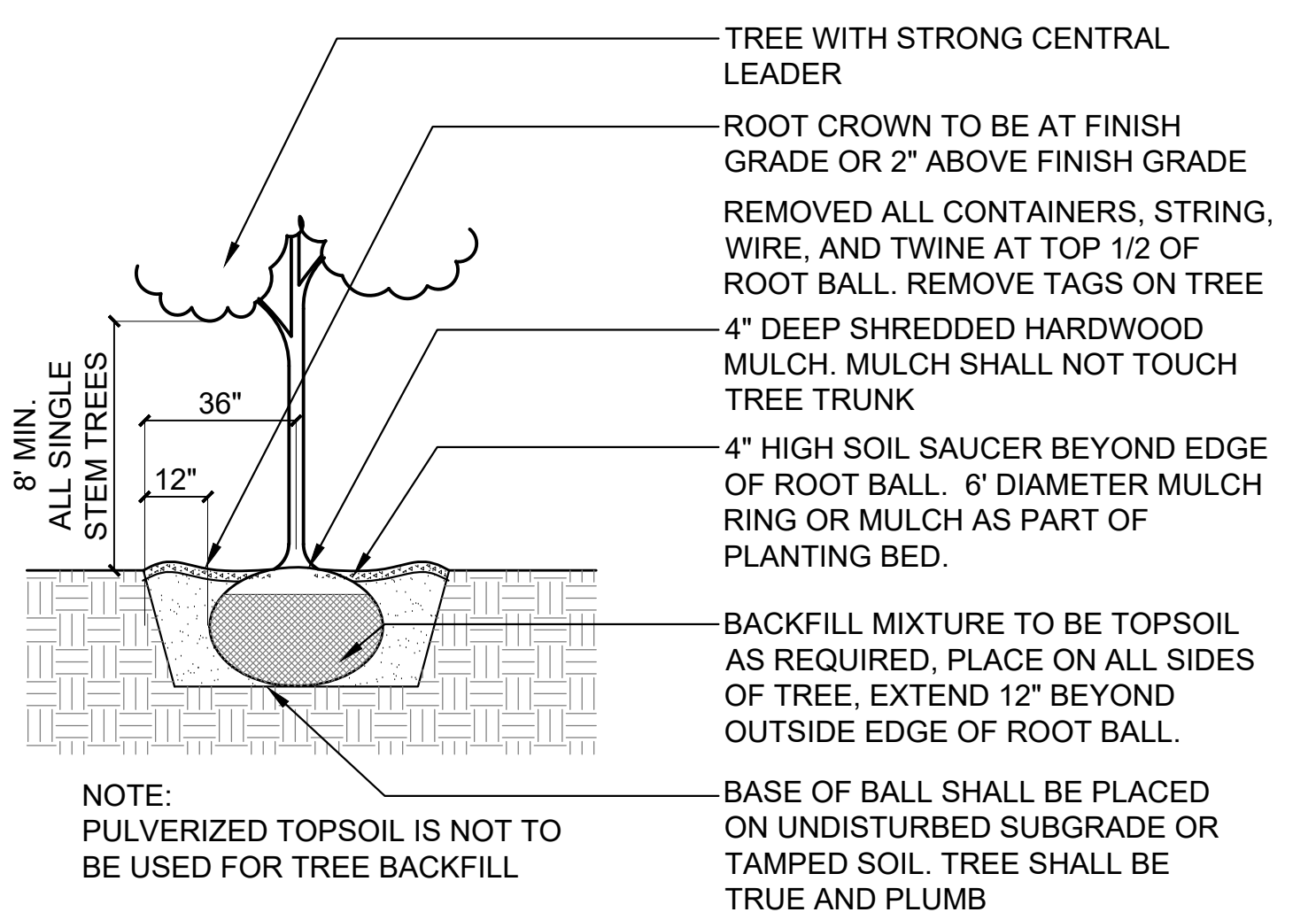


5 Fence Post Footing
SCALE: 1"=1'-0"
d-fence-footing at conc_12.dwg-copy.dwg

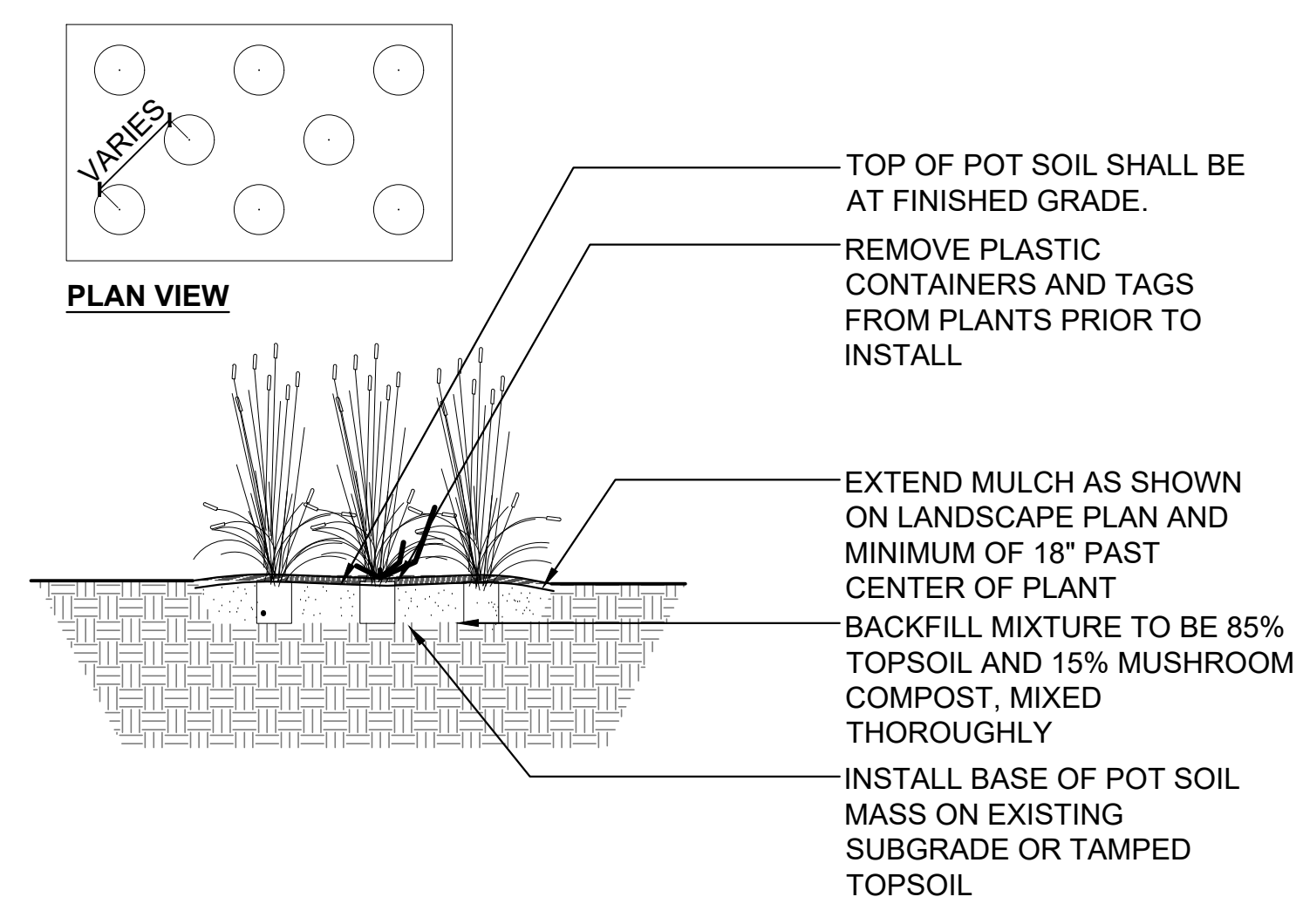


NOTE: BID ITEM INCLUDES GRAVEL BASE, SOIL INSTALLATION, GEO-TEXTILE, AND COBBLES. PLANTS ARE BY OWNER

6 Bio-Swale Section
SCALE: Not to Scale
1090 apple orchard west pickleball & basketball.dwg



7 Tree Installation
SCALE: N.T.S.
d-plant-tree_12



8 Perennial & Ornamental Grass Installation
SCALE: 1"=1'-0"
d-perennials



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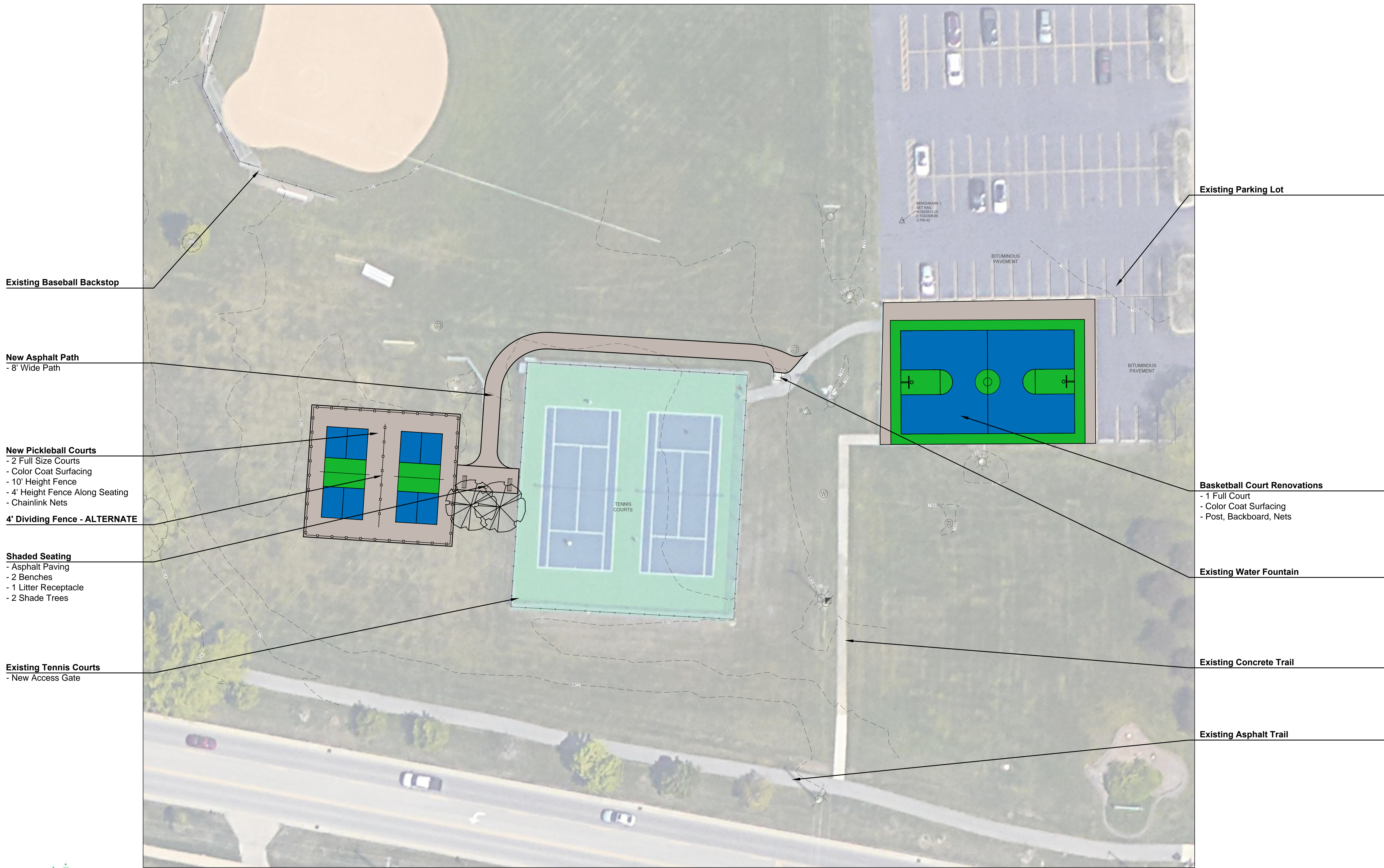
SHEET NUMBER

**Apple Orchard West Pickleball and Basketball
Bartlett Park District**



Bid Opening March 7, 2023 at 1:30pm

BID TABULATION						ADA Compliance Fund	
NUMBER	ITEM	QTY	UNIT	Evans and Sons			
1	Site Preparation, Removals &	1	LS	\$ 25,171.00	\$ 25,171.00	40%	\$10,068.00
2	Stabilized Construction Fence	1	LS	\$ 2,225.00	\$ 2,225.00		
3	Silt Fence	430	LF	\$ 4.10	\$ 1,763.00		
4	Inlet Protection	3	EA	\$ 100.00	\$ 300.00		
5	Undercut, Removals and Placement of PGE (to be used only with	100	CY	\$ 85.00	\$ 8,500.00	30%	\$2,550.00
6	Asphalt Paving - Court	1278	SY	\$ 34.50	\$ 44,091.00	40%	\$17,636.00
7	Asphalt Paving - Sport Color Court	1116	SY	\$ 15.50	\$ 17,298.00		
8	Asphalt Paving - Trail	228	SY	\$ 46.50	\$ 10,602.00	100%	\$10,602.00
9	Concete Paving	660	SF	\$ 11.20	\$ 7,392.00	40%	\$2,957.00
Site Furniture shall be purchased and fully installed by Contractor.					\$	-	
10	Basketball Post, Backboard, Rim	6	EA	\$ 5,939.00	\$ 35,634.00		
11	Pickleball Post, Net, Toe Downs and	2	SETS	\$ 4,117.00	\$ 8,234.00		
12	Bench	4	EA	\$ 2,120.00	\$ 8,480.00		
13	Bike Rack	1	EA	\$ 700.00	\$ 700.00		
14	Litter Receptacle	2	EA	\$ 946.00	\$ 1,892.00		
15	Recycle Receptacle	2	EA	\$ 946.00	\$ 1,892.00		
16	Sphere Bollard	3	EA	\$ 2,205.00	\$ 6,615.00		
17	Post Bollard	6	EA	\$ 1,413.00	\$ 8,478.00		
18	4' Chainlink Fence - PVC Coated	60	LF	\$ 123.00	\$ 7,380.00		
19	10' Chainlink Fence - PVC Coated	182	LF	\$ 130.00	\$ 23,660.00		
20	Single Chainlink Fence Gate - PVC	1	EA	\$ 974.00	\$ 974.00		
21	Maintenance Swing Gate - PVC	1	EA	\$ 3,104.00	\$ 3,104.00		
22	4" Perf. SDR26 Underdrainage	30	LF	\$ 33.00	\$ 990.00		
23	Rain Garden Gravel Base, Geo-Textile and Cobbles	1	LS	\$ 12,500.00	\$ 12,500.00		
24	Shade Tree	2	EA	\$ 484.00	\$ 968.00		
25	Perennials and Ornamental Grasses	192	EA	\$ 22.00	\$ 4,224.00		
26	Lawn restoration and establishment including core aeration, seeding, fertilizing, and blanket cover at all	1	LS	\$ 2,134.00	\$ 2,134.00		
Base Bid Total					\$ 245,201.00		\$43,813.00



Existing Baseball Backstop

New Asphalt Path
- 8' Wide Path

New Pickleball Courts
- 2 Full Size Courts
- Color Coat Surfacing
- 10' Height Fence
- 4' Height Fence Along Seating
- Chainlink Nets

4' Dividing Fence - ALTERNATE

Shaded Seating
- Asphalt Paving
- 2 Benches
- 1 Litter Receptacle
- 2 Shade Trees

Existing Tennis Courts
- New Access Gate

Existing Parking Lot

Basketball Court Renovations
- 1 Full Court
- Color Coat Surfacing
- Post, Backboard, Nets

Existing Water Fountain

Existing Concrete Trail

Existing Asphalt Trail



PICKLEBALL CONCEPT PLAN

