

Title	Maple Park	11/01/2021
	by Jim Holder in Member District ADA Project Request	id. 21686880
	ADAProjects@palatineparks.org	

Original Submission	11/01/2021
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Name	James E Holder
Job Title	Superintendent of Parks & planning
E-mail Address	adaprojects@palatineparks.org
Phone Number	847-705-5131
Park District	Palatine
Project Location	Maple Park
Project Status	Alteration
Project Type	Recreation Facilities and Amenities Routes and Surfaces
Recreation Facilities and Amenities- select a Project Category below:	Benches- Picnic Tables Exercise Machines- Equipment Playgrounds- Play Components
Routes and Surfaces- select a Project Category below:	Accessible Routes- Means of Egress Curb Ramps Parking Spots Play Surfaces Sidewalks Walking Surfaces
Benefits of the Project	Allows individuals with mobility issues to access all the amenities within the park from the parking lot.
Items that will become ADA Compliant	Baseball field dugouts, outdoor fitness area, playground, basketball courts, picnic shelter, portable toilets, and pre-school building.

The project is designed or constructed, or applies human resources, to comply with:

**The 2010 Standards for Accessible Design
The Illinois Accessibility Code
Agency's ADA Transition Plan**

Upload Project Related Files, Photos, Videos or Audio

[_Maple_ADA_cost_worksheet.pdf](#)

[06_OS_20-2150_Project_Billing_Report.pdf](#)

[09_2021-08-02_Record_Drawings_Maple_Park_Palatine_Combined.pdf](#)

[DJI_0147.JPG](#)

[DJI_0178.JPG](#)

[DJI_0182.JPG](#)

[DJI_0186.JPG](#)

[Exofit_P.O._2-9-21.pdf](#)

[MDF_Invoice.pdf](#)

[Parkreation_-_PO_Paperwork_5-24-21.pdf](#)

[Playcore_signed_order_form.pdf](#)

[Playground_Plans_151290_-_01REV2_Maple_Park-Model_002.pdf](#)

[Rubbercycle_PO_signed.pdf](#)

[PA4.pdf](#)

Budget Table for ADA Related Expenses

[Budget Table.xlsx](#)

ADA Dollars Requested	279159.0
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Notes related to requested amount	Cost was determined by actual costs and percent of the playground and pathways.
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	Total Cost		% ADA		ADA Funds
Asphalt path paving	\$ 52,316.00		63%		\$ 32,697.50
Path ex	\$ 28,800.00		63%		\$ 18,144.00
Concrete Paving	\$ 72,012.50		100%		\$ 72,012.50
Depressed curbs	\$ 840.00		100%		\$ 840.00
Detectable warnings	\$ 360.00		100%		\$ 360.00
Playground	\$ 78,208.67		28%		\$ 21,898.43
Playground install	\$ 38,800.00		28%		\$ 10,864.00
Playground surfacing	\$ 99,350.00		100%		\$ 99,350.00
Fitness Eq	\$ 1,899.00		100%		\$ 1,899.00
Fitness surfacing	\$ 15,334.00		100%		\$ 15,334.00
ADA drinking Fountain	\$ 9,250.00		33%		\$ 3,083.03
ADA picnic table	\$ 1,029.00		100%		\$ 1,029.00
		TLSF	\$/SF	ADA SF	
ADA parking Spot	\$ 30,887.00	6765	\$ 4.57	361	\$ 1,648.22
Total ADA funds requested					\$ 279,159.67

IL Department of Natural Resources
"Open Space Lands Acquisition & Development Grant Program"

PROJECT BILLING REPORT

Project #: OS 20-2150
 Project Sponsor: Palatine Park District
 Project Title: Maple Park Redevelopment
 Time Period: 8/10/2020 to 8/09/2022

CONCISE / QUANTIFIED DESCRIPTION OF COMPLETED PROJECT or PORTIONS COMPLETED TO DATE

This description should describe all of the project components completed to date according to the approved project description.

The Maple Park Redevelopment Project included amenities and improvements indicated the Park District's Master Plan and input from two public meetings. The following INDR approved items that were included the OSLAD redevelopment projects are completed:

- *New outdoor fitness equipment with an accessible route and safety surfacing.
- *Installed concrete surface to baseball field to provide accessible dugout and spectator areas.
- *Replacement of existing basketball courts, playground, shelter, parking lot, park lighting, drinking fountain and ADA accessible pathways throughout the entire park.
- *A new connection to the regional Palatine Trail, and added .04 miles of trail, trail head signage, and a bike repair station.
- *Drainage improvements that includes a detention area with native plantings and an informational sign identifying the various plant life found within it.
- *Creek shoreline stabilization
- *Landscaping improvements throughout the park

GENERAL COST BREAKDOWN OF COMPLETED MAJOR PROJECT COMPONENTS

Approved Project Component	Quantity	Estimated Cost	Actual Costs
Playground & Surfacing	Lump Sum	\$188,250	\$264,518.75
Picnic Shelter & Concrete Pad	Lump Sum	\$82,500	\$91,194.38
Fitness Equipment & Surfacing	Lump Sum	\$40,000	\$36,615.00
Basketball Court	Lump Sum	\$58,400	\$60,619.98
Drinking Fountain	Lump Sum	\$7,000	\$9,270.00
Parking Lot & Lighting	Lump Sum	\$34,700	\$45,907.00
Baseball Field ADA Improvement	Lump Sum	\$22,200	\$17,074.98
Creek Shoreline Stabilization	Lump Sum	\$12,700	\$16,150.00
Loop Trail w/bike repair station	Lump Sum	\$167,400	\$169,957.40
Native Plantings & Signage	Lump Sum	\$34,400	\$33,250.00
Landscaping Improvements	Lump Sum	\$63,000	\$89,170.00
Continued on next page		TOTALS:	
		\$710,950	\$883,727.49

Actual Costs Total should match the Total on the Project Billing Summary

Prepared by: (signature)

Title: Superintendent of Parks & Planning Date: October 11, 2021

J.U.L.I.E

JOINT
UTILITY
LOCATION
INFORMATION FOR
EXCAVATION
CALL 811



Know what's below.
Call before you dig.

NOTE: CONSTRUCTION MEANS, METHODS AND JOB
SITE SAFETY IS THE SOLE AND EXCLUSIVE
RESPONSIBILITY OF THE CONTRACTOR

STANDARD SYMBOLS

FEATURE	EXISTING	PROPOSED
BUFFALO BOX		
BUSH/SHRUB		
CATCH BASIN		
CLEANOUT		
COMBINE SEWER LINE		
CONTOUR		
CULVERT		
DITCH/SWALE		
ELECTRIC LINE		
ELECTRIC MANHOLE		
FENCE		
FIRE HYDRANT		
FLARED END SECTION		
GAS LINE		
GAS MANHOLE		
GAS VALVE		
INLET		
LIGHT POLE		
OVERHEAD WIRES		
POWER POLE		
R.O.W LINE		
R.O.W MARKER		
SANITARY FORCEMAIN LINE		
SANITARY SEWER LINE		
SANITARY SEWER MANHOLE		
SIGN		
SPOT ELEVATION		
STORM SEWER LINE		
STORM SEWER MANHOLE		
TELEPHONE LINE		
TELEPHONE MANHOLE		
TELEPHONE BOX/PEDESTAL		
TREE-CONIFEROUS (SIZE/TAG#)		
TREE-DECIDUOUS (SIZE/TAG#)		
VALVE BOX		
VALVE VAULT		
WATER VALVE		
WATERMAIN LINE		

DRAINAGE STATEMENT

TO THE BEST OF OUR KNOWLEDGE AND BELIEF THE DRAINAGE OF THE SURFACE WATERS WILL NOT BE CHANGED BY CONSTRUCTION OF THIS SUBDIVISION (DEVELOPMENT), OR ON THIS SITE, OR ANY PART THEREOF, OR THAT IF SUCH SURFACE WATER DRAINAGE WILL BE CHANGED, REASONABLE PROVISIONS HAVE BEEN MADE FOR THE COLLECTION AND DIVERSION OF SUCH SURFACE WATERS INTO PUBLIC AREAS, OR DRAINS WHICH THE PROPERTY OWNER HAS A RIGHT TO USE, AND THAT SUCH SURFACE WATERS WILL BE PLANNED FOR IN ACCORDANCE WITH GENERALLY ACCEPTED ENGINEERING PRACTICES SO AS TO REDUCE THE LIKELIHOOD OF DAMAGE TO THE ADJOINING PROPERTY BECAUSE OF CONSTRUCTION OF THE SUBDIVISION (DEVELOPMENT), OR THIS SITE.

Dated this 2ND day of DECEMBER A.D., 2020

Engineer

BENCHMARK.

ELEVATIONS SHOWN HEREON ARE OBTAINED VIA GPS USING TRIMBLE VRS@NOW™ (NO PUBLISHED MONUMENT VERIFIED)
DATUM: NAVD88

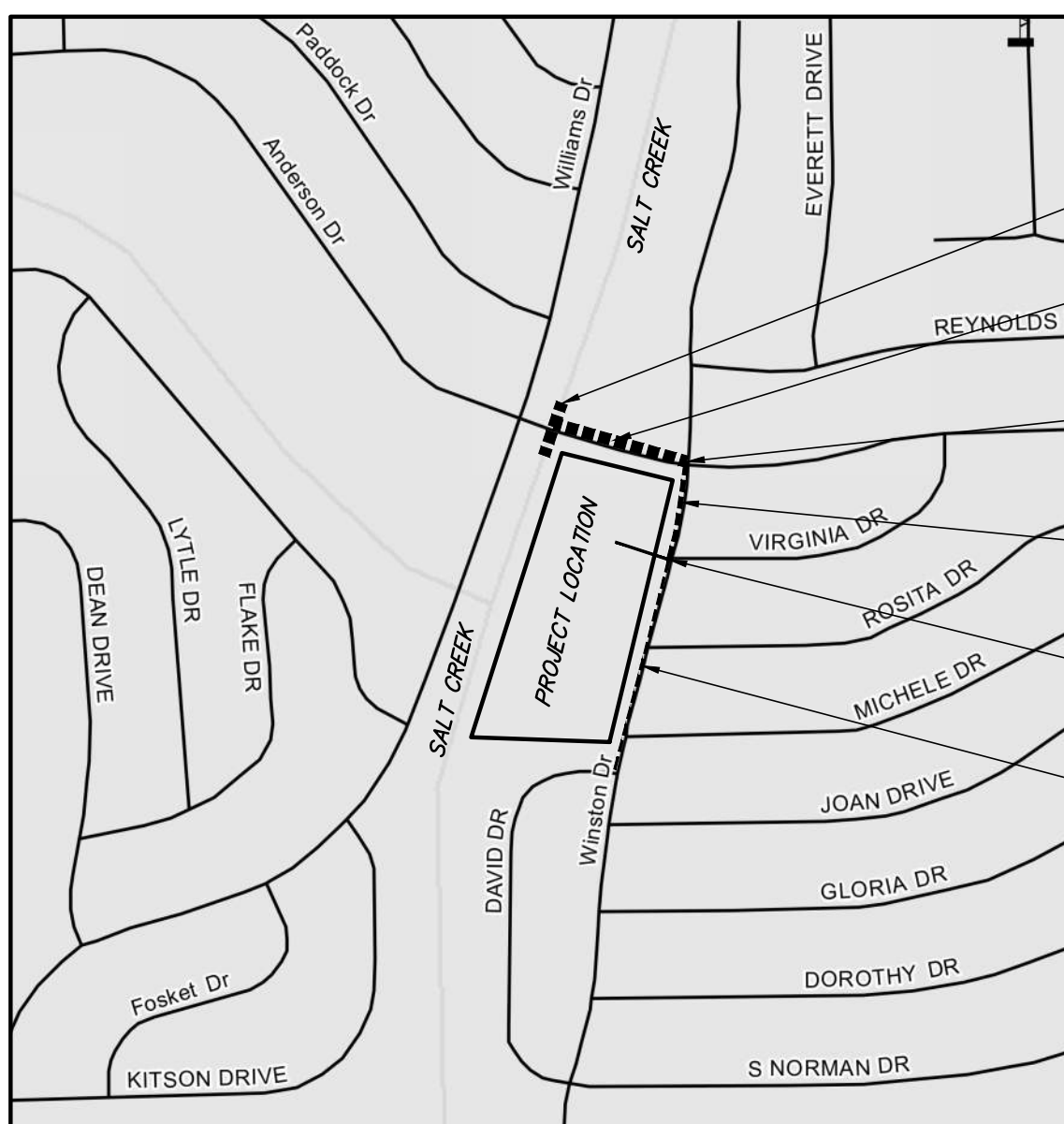
SITE BENCHMARK: MUELLER FLANGEBOLT ON FIRE HYDRANT ON NORTHWEST SIDE OF MAPLE PARK PRE-SCHOOL BUILDING: 90'4"± SOUTH OF THE CENTERLINE OF EAST ANDERSON DRIVE AND 170'4"± WEST OF THE CENTERLINE OF NORTH WINSTON DRIVE.

TOPOGRAPHIC SURVEY BY:

GEWALT HAMILTON ASSOCIATES, INC.
625 FOREST EDGE DRIVE
VERNON HILLS, ILLINOIS 60061
TELEPHONE: 847-478-9700

PROFESSIONAL DESIGN FIRM LICENSE.

GEWALT HAMILTON ASSOCIATES, INC.
DESIGN FIRM - LAND SURVEYOR/PROF ENG
LICENSE NUMBER: 184.000922-0010
EXPIRES: 4/30/2021



MWRD DRAINAGE MAP

LOCATION MAP (Not to Scale)

VILLAGE OF PALATINE STORM SEWER OUTLET INTO SALT CREEK BOX CULVERT
ANDERSON DR STORM SEWER - 42" RCP OWNED BY VILLAGE
ANDERSON DR AND WINSTON DR EXISTING RESTRICTOR OWNED BY VILLAGE
WINSTON DR STORM SEWER - 18" RCP OWNED BY VILLAGE
PROPOSED SITE OUTLET STORM SEWER CONNECTION - 18" RCP OWNED BY VILLAGE
WINSTON DR STORM SEWER - 15" RCP OWNED BY VILLAGE

EXISTING UTILITIES: WHEN THE PLANS OR SPECIAL PROVISIONS INCLUDE INFORMATION PERTAINING TO THE LOCATION OF UNDERGROUND UTILITY FACILITIES, SUCH INFORMATION REPRESENTS ONLY THE OPINION OF THE ENGINEER AS TO THE LOCATION OF SUCH UTILITIES AND IS ONLY INCLUDED FOR THE CONVENIENCE OF THE BIDDER. THE ENGINEER AND OWNER ASSUME NO RESPONSIBILITY WHATEVER IN RESPECT TO THE SUFFICIENCY OR ACCURACY OF THE INFORMATION SHOWN ON THE PLANS RELATIVE TO THE LOCATION OF UNDERGROUND UTILITY FACILITIES OR THE MANNER IN WHICH THEY ARE TO BE REMOVED OR ADJUSTED. IT SHALL BE THE CONTRACTOR'S RESPONSIBILITY TO DETERMINE THE ACTUAL LOCATION OF ALL SUCH FACILITIES. HE SHALL ALSO OBTAIN FROM THE RESPECTIVE UTILITY COMPANIES, DETAILED INFORMATION RELATIVE TO THE LOCATION OF THEIR FACILITIES AND THE WORKING SCHEDULES OF THE UTILITY COMPANIES FOR REMOVING OR ADJUSTING THEM.



PLANS PREPARED FOR:

PALATINE PARK DISTRICT
250 E. WOOD STREET
PALATINE, ILLINOIS 60067
TELEPHONE: 847-991-0333

COORDINATING/PERMITTING AGENCIES:

VILLAGE OF PALATINE	847-358-7500
ILLINOIS ENVIRONMENTAL PROTECTION AGENCY DIVISION OF WATER POLLUTION CONTROL NATIONAL POLLUTANT DISCHARGE ELIMINATION SYSTEM (NPDES)	217-782-0610
ILLINOIS DEPARTMENT OF NATURAL RESOURCES OFFICE OF WATER RESOURCES	847-608-3100
U.S. ARMY CORPS OF ENGINEERS	312-846-5530
METROPOLITAN WATER RECLAMATION DISTRICT LOCAL SEWER SECTION MWRD FIELD OFFICE	312-751-5600 708-588-4055

SIGNED: DONALD E. DIXON P.E.

DATE: 08-02-21

ILLINOIS LICENSE NO.: 062-051136

EXPIRATION DATE: NOVEMBER 30, 2021

RECORD DRAWINGS COMPLETED JULY, 2021

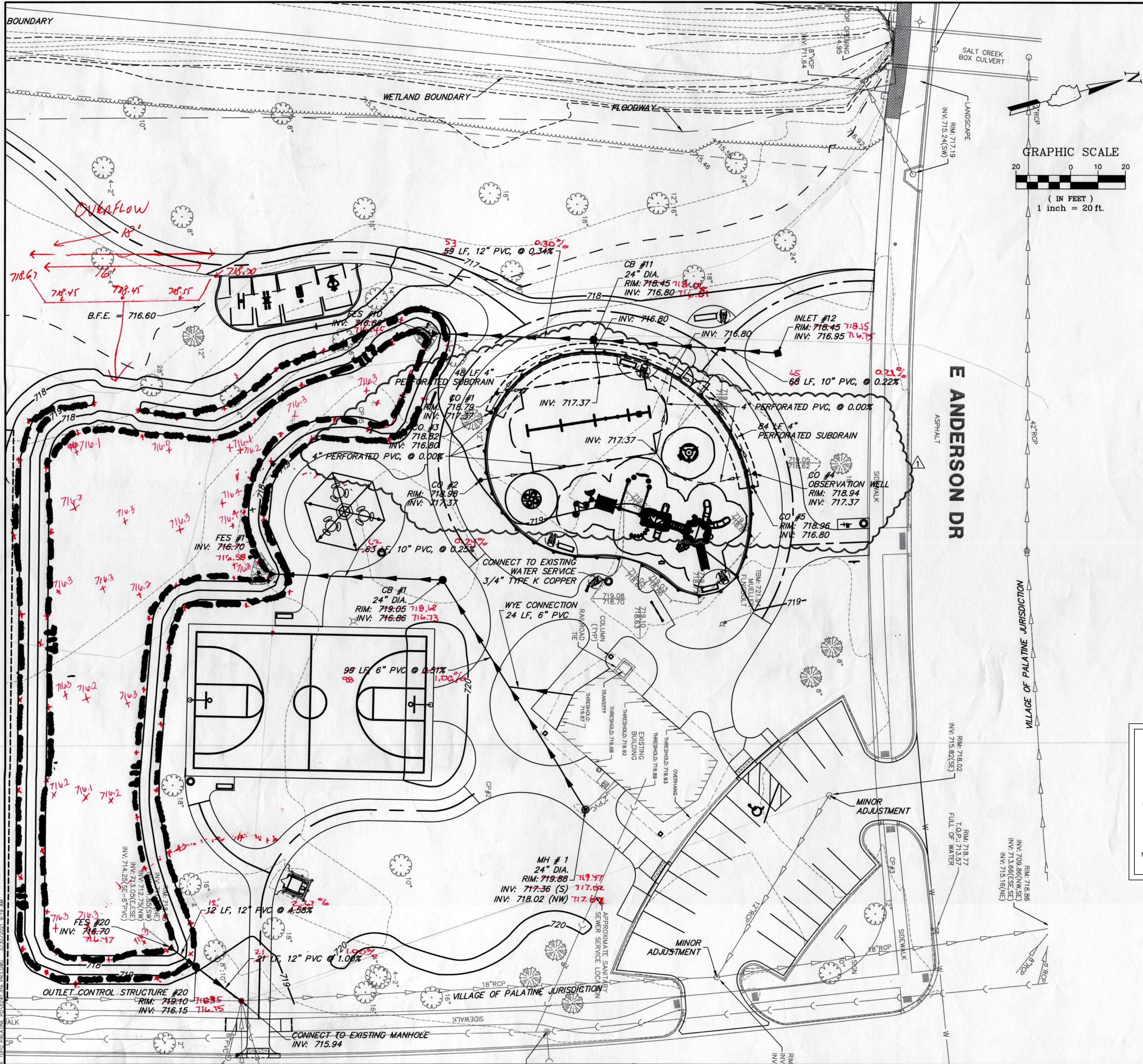


625 Forest Edge Drive ■ Vernon Hills, IL. 60061
TEL 847.478.9700 ■ FAX 847.478.9701

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TITLE SHEET
MAPLE PARK OSLAD GRANT IMPROVEMENTS
PALATINE PARK DISTRICT
VILLAGE OF PALATINE, ILLINOIS

FILE: 5241.316 DT.dwg	SHEET NUMBER:
DRAWN BY: JEH	GHA PROJECT #
DATE: 03-11-21	5241.316
CHECKED BY: DED	SCALE:
DATE: 03-11-21	N.A.
3 JEH 08-02-21 RECORD DRAWINGS	OF 18 SHEETS
NO. BY DATE REVISION	
NO. BY DATE REVISION	



- UTILITY PLAN NOTES**
1. The contractor shall verify the exact location and elevation of existing utilities prior to initiating work. Any discrepancies found between the information noted on the plans and actual field conditions, or any conflicts with proposed improvements shall be reported to the engineer immediately. The contractor shall not proceed any further until given written clarification on how to proceed.
 2. Install storm sewer as shown. Refer to Storm Sewer requirement table on General Notes Sheet for pipe material, joint, frame and grate, stone bedding and testing requirements.
 3. Contractor shall provide the following as-constructed documents at the conclusion of the project:
 - a. Storm Sewer
 - As-constructed locations of structures, service connections, cleanouts.
 - Rim and invert elevations.
 - Color video with transcript required for new sewer lines installed.
 5. All connections to existing structures shall be machined cored holes.
 6. Refer to Details Sheet for Rip-Rap sizing details.
 7. Existing storm structures to remain within the redevelopment area have been noted with 'Adjust Rim' or 'Adjust MH'. 'Adjust Rim' requires removal of frame, additional or removal of concrete rings and reinstallation of frame. 'Adjust MH' requires removal of frame, flattop or cone, and first barrel section, installation of new shorter barrel section and reinstallation of flattop or cone and frame.

- UTILITY PLAN LEGEND**
- EXISTING STORM SEWER
 - EXISTING SANITARY SEWER
 - W — EXISTING WATERMAIN
 - PROPOSED STORM SEWER
 - PROPOSED UNDERDRAIN
 - PROPOSED STORM MANHOLE
 - PROPOSED STORM CATCHBASIN
 - PROPOSED STORM INLET
 - ▴ PROPOSED FLARED END SECTION

RECORD DRAWINGS

THESE DRAWINGS HAVE BEEN PREPARED ON THE BASIS OF VISIBLE, MEASURABLE SURFACE AND SUBSURFACE EVIDENCE AND MAY CONTAIN INFORMATION COMPILED AND FURNISHED BY OTHERS. THE OWNER, CONTRACTOR, AND ENGINEER CONDUCTED FIELD OBSERVATION, MEASUREMENTS, AND DOCUMENTATION TO SUPPLEMENT THE INFORMATION ON THESE DRAWINGS. GEWALT HAMILTON ASSOCIATES, INC. SHALL NOT BE RESPONSIBLE FOR ANY ERRORS OR OMISSIONS RESULTING FROM INFORMATION PROVIDED BY OTHERS.

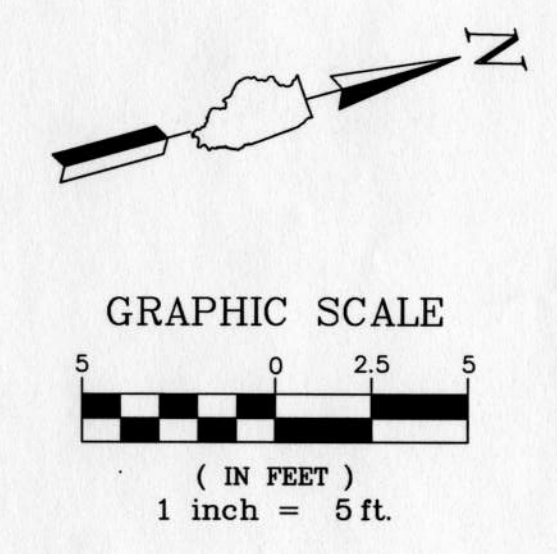
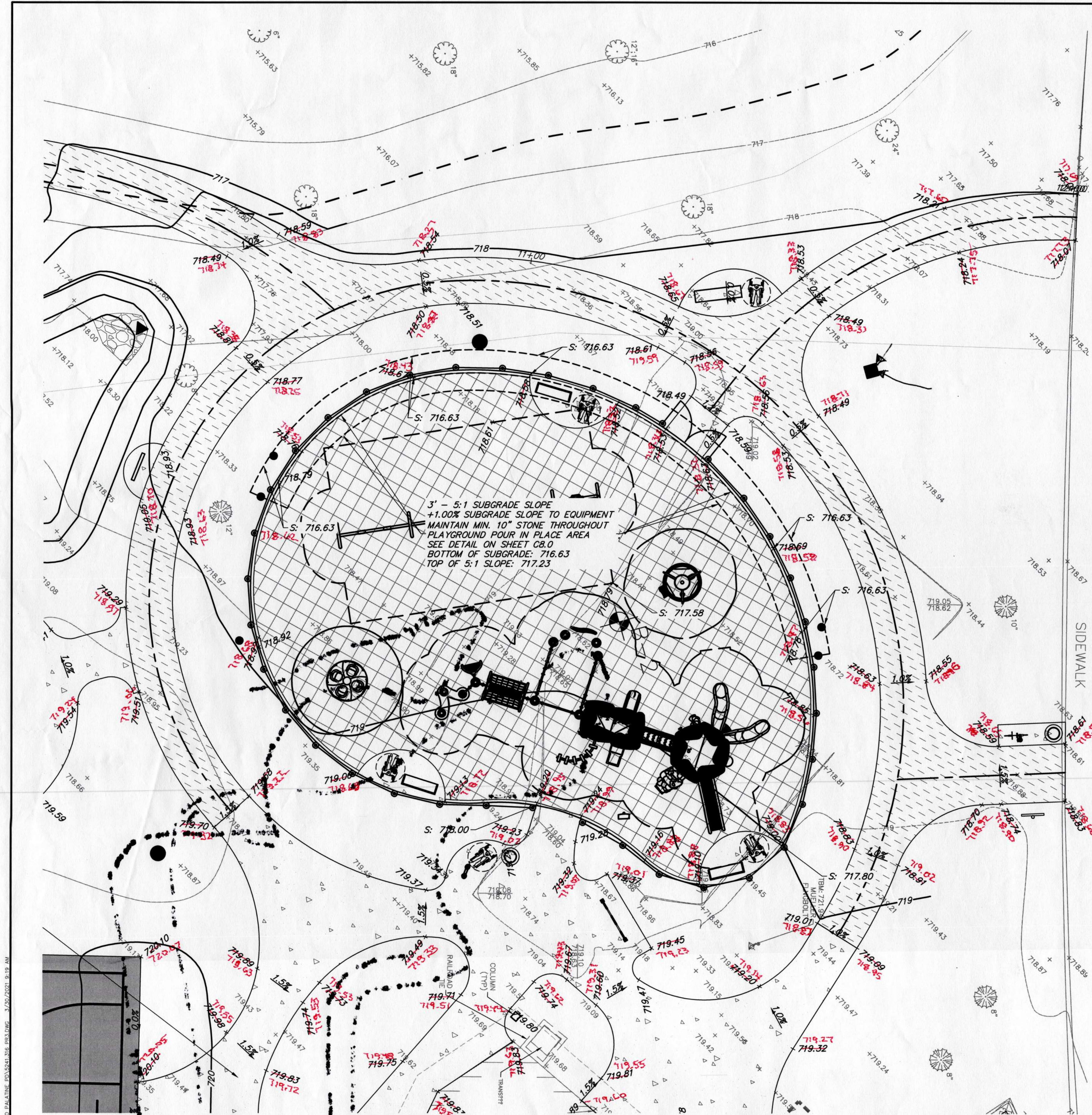
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UTILITY PLAN
MAPLE PARK OSLAD GRANT IMPROVEMENTS
PALATINE PARK DISTRICT
VILLAGE OF PALATINE, ILLINOIS

								FILE: 5241.316 PR3.dwg		SHEET NUMBER	
								DRAWN BY: JEH		GHA PROJECT #	
								DATE: 03-30-21		5241.316	
1 JEH 03-30-21 UNDERDRAIN REVISIONS								CHECKED BY: DED		SCALE	
NO. BY DATE REVISION				NO. BY DATE REVISION				DATE: 03-30-21		1"=20'	
										C4.0	
										OF 18 SHEETS	



- GRADING PLAN NOTES**
- Prior to starting any construction, provide soil erosion and sediment control devices as shown on the plans and as required per IEPA NPDES guidelines. Refer to notes and details throughout the entire plan set.
 - Prior to starting any excavation work, provide tree protection, preservation and root pruning as shown on the plans and notes throughout the entire plan set.
 - Contractor shall refer to subsurface soil exploration report.
 - Refer to General Notes for grading, compaction and proof roll requirements.
 - Handicap accessible parking spaces shall be constructed between 1.0% and 1.90% maximum slopes in any one direction. Illinois accessibility code permits a maximum constructed slope of 2.00%.
 - Crushed concrete meeting IDOT certifications for the design plan gradations for non-porous pavement and sidewalk stone base, structural fill, and trench backfill will be permitted.
 - Crushed concrete may not be used for underdrain trench or porous fill conditions.
 - The contractor shall import or export soil as necessary to construct the site to specified plan grades. Such work is considered incidental to the contract and no additional compensation shall be allowed for such work. Minor adjustments to grades can be accommodated with Project Engineer approval.
 - The Contractor shall include all associated costs with the removal, transport, disposal, testing and certification of "Uncontaminated Soil" as defined under 415 ILCS 5/3.160 including any fees, taxes, or surcharges charged by or through the operator(s) of Clean Construction or Demolition Debris Fill Operations or Uncontaminated Soil Fill Operations for the acceptance of Uncontaminated Soil.
 - All structures shall be adjusted to meet finished turf and pavement grades.
 - Refer to soil erosion and sediment control notes and details for seed and blanket requirements for temporary stabilization.
 - Refer to geometric plan or landscape plan for final restoration requirements.
 - Contractor shall provide the following as-constructed documents at the conclusion of the project:
 - Stormwater Basins and swales impounding water
 - Top of berm, overflow, and bottom of basin elevations
 - Structure and flared end sections elevations within basin
 - Control structure restrictor size and elevation.
 - As-constructed volumes within respective basins up to overflow elevation.
 - Lawn or open space areas
 - Spot elevations at a maximum 50 foot grid.
 - Spot elevation top and bottom of berms or swales
 - Spot elevations and ridge / high and low points.
 - Parking lot and hard surfaces
 - Top of curb and flowline elevations at similar locations to proposed grading.
 - Spot elevations at summit / high and low points.
 - ADA parking stalls, sidewalk ramps, and ADA Routes
 - Provide 6 spot elevations within the parking stall 3 along the front and rear of the stall at 8 foot spacing along the stall pavement markings.
 - Provide 4 spot grades per square at landings and any tapers or ramps.
 - Provide spot elevations along route at maximum 10 foot spacing on both sides of the path to confirm cross and longitudinal slopes requirements have been met.

GRADING LEGEND

- TOP OF CURB FLOW LINE
- PROPOSED SPOT ELEVATION
- CONTOUR
- STRUCTURE ADJUSTMENT
- SUMMITS
- SLOPES
- SWALES
- OVERLAND FLOW ROUTE
- DETECTABLE WARNINGS
- B6.12 CURB & GUTTER (REGULAR)
- B6.12 CURB & GUTTER (DEPRESSED)
- B6.12 CURB & GUTTER (REVERSE PITCH)
- B6.24 CURB & GUTTER (REGULAR)
- BARRIER CURB

RECORD DRAWINGS

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GRADING ENLARGEMENTS
MAPLE PARK OSLAD GRANT IMPROVEMENTS
PALATINE PARK DISTRICT
VILLAGE OF PALATINE, ILLINOIS

				FILE: 5241.316 PR3.dwg		SHEET NUMBER:	
				DRAWN BY: JEH		GHA PROJECT #	
				DATE: 03-30-21		5241.316	
				CHECKED BY: DED		SCALE:	
				DATE: 03-30-21		1" = 10'	
1 JEH 03-30-21 UNDERDRAIN REVISIONS						C5.3	
NO. BY DATE		REVISION		NO. BY DATE		REVISION	
						OF 18 SHEETS	



Project Type (From above)	Media File #/Name	Project Category Cost	ADA Portion of Project Cost	% ADA Dollars Requested
Rec amenities & Routes Access routes, playground surfaces,	all above	956927	279159	29.17%
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Total Project Cost	956927			
Total ADA Portion of Project Cost	279159			
Total % of ADA Dollars Requested	29.17%			