

Title	Community Center	06/20/2023
	by Stephen Bessette in Member District ADA Project Request	id. 41203853
	1919 Walnut Ave Hanover Park, Illinois 60133 IL United States 16305462130 s.bessette@hpparks.org	

Original Submission 06/20/2023

Name	Steve Bessette
Job Title	Superintendent of Parks, Planning & Maintenance
E-mail Address	s.bessette@hpparks.org
Phone Number	16305462130
Park District	Hanover Park
Project Location	Community Center
Project Status	New
Project Type	Routes and Surfaces
Routes and Surfaces- select a Project Category below:	Doors-Doorways-Gates
Benefits of the Project	We are currently redeveloping our racquetball courts into fitness spaces and therefore need to reconfigure the door-ways to ADA specs in order to expand access for our guests.
Items that will become ADA Compliant	Doorway size and threshold.
The project is designed or constructed, or applies human resources, to comply with:	The 2010 Standards for Accessible Design The Illinois Accessibility Code ASTM Standard for Accessible Exercise Equipment Agency's ADA Transition Plan

Upload Project Related Files, Photos, Videos or Audio

[Community_Center_Man_Doors_Hanover_Park_IL_-_Structural_Drawings.pdf](#)

[Hanover_Park_IL_Structural_Calculations.pdf](#)

[18B8B2CC-8B0D-4A69-B157-66132CD0D30A.jpeg](#)

[1919_Walnut_Ave_Hanover_Park_Mason_Estimate.pdf](#)

[Quote_Steve_HP_Park_District_Glass_Door.pdf](#)

[The_W-T_Group_J2300018_Community_Cen_J2300018-01_05-17-2023.pdf](#)

Budget Table for ADA Related Expenses

[Budget Table.xlsx](#)

ADA Dollars Requested	15520.0
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Notes related to requested amount	Amount requested includes materials, engineering and construction.
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GENERAL STRUCTURAL NOTES

- THE WALL IS DESIGNED TO BE SELF-SUPPORTING AND STABLE AFTER THE LINTEL IS FULLY INSTALLED. IT IS SOLELY THE CONTRACTOR'S RESPONSIBILITY TO DETERMINE ERECTION PROCEDURES AND SEQUENCE, AND TO ENSURE THE STABILITY OF THE BUILDING AND ITS COMPONENT PARTS, AND THE ADEQUACY OF TEMPORARY OR INCOMPLETE CONNECTIONS, DURING ERECTION. THIS INCLUDES THE ADDITION OF ANY SHORING OR BRACING THAT MIGHT BE NECESSARY. SUCH MATERIAL IS NOT SHOWN ON THE DRAWINGS. IF APPLIED, THEY SHALL BE REMOVED AS CONDITIONS PERMIT, AND SHALL REMAIN THE CONTRACTOR'S PROPERTY. THE ENGINEER HAS NO EXPERIENCE IN AND TAKES NO RESPONSIBILITY FOR CONSTRUCTION MEANS AND METHODS OR JOB SITE SAFETY DURING CONSTRUCTION. PROCESSING AND / OR APPROVING SUBMITTALS MADE BY THE CONTRACTOR WHICH MAY CONTAIN INFORMATION RELATED TO CONSTRUCTION METHODS OR SAFETY ISSUES, OR PARTICIPATION IN MEETINGS WHERE SUCH ISSUES MIGHT BE DISCUSSED, SHALL NOT BE CONSIDERED AS VOLUNTARY ASSUMPTION BY THE ENGINEER OF ANY RESPONSIBILITY FOR SAFETY PROCEDURES.
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- EQUIPMENT FRAMING LOADS, OPENINGS AND STRUCTURE IN ANY WAY RELATED TO HVAC, PLUMBING, OR ELECTRICAL REQUIREMENTS ARE SHOWN FOR BIDDING PURPOSES ONLY. CONTRACTORS SHALL COORDINATE THIS INFORMATION WITH THE INVOLVED TRADES BEFORE PROCEEDING WITH SUCH PORTION OF THE WORK. EXCESS COST RELATED TO VARIATION IN THESE REQUIREMENTS SHALL BE BORNE BY THE APPROPRIATE CONTRACTOR.
- SHOULD ANY OF THE DETAILED INSTRUCTIONS SHOWN ON THE PLANS CONFLICT WITH THESE STRUCTURAL NOTES, OR WITH EACH OTHER, THE STRICTEST PROVISION SHALL GOVERN.
- GOVERNING CODE: INTERNATIONAL BUILDING CODE (IBC) 2021
- DESIGN LOADS:
DEAD LOADS USED IN DESIGN ARE AS FOLLOWS:
A. FLOOR DEAD LOAD = 191 PSF
B. 12" CMU WALL DEAD LOAD = 132 PSF
LIVE LOADS USED IN DESIGN ARE AS FOLLOWS:
A. FLOOR LIVE LOAD = 100 PSF

EXISTING CONDITION NOTES

- EXISTING BUILDING INFORMATION SHOWN IS DIAGNOSTIC AND BASED UPON HAND MEASURED FIELD DIMENSIONS OF VISIBLE ELEMENTS ONLY. CONTRACTOR SHALL FIELD VERIFY THAT THE EXISTING CONSTRUCTION ADJACENT TO THIS CONSTRUCTION, OR TO WHICH THIS CONSTRUCTION SHALL BE CONNECTED, IS AS INDICATED ON THESE DRAWINGS. THE CONTRACTOR SHALL BE RESPONSIBLE FOR VERIFICATION OF ALL MEASUREMENTS ON SITE PRIOR TO ORDERING ANY MATERIALS OR PERFORMING ANY WORK. NO EXTRA CHARGE OR COMPENSATION SHALL BE ALLOWED DUE TO DIFFERENCE BETWEEN ACTUAL DIMENSIONS AND DIMENSIONS INDICATED ON THE CONSTRUCTION DRAWINGS. ANY SUCH DISCREPANCY IN DIMENSION WHICH MAY INADVERTENTLY OCCUR SHALL BE SUBMITTED TO THE ARCHITECT FOR CONSIDERATION BEFORE THE CONTRACTOR PROCEEDS WITH THE WORK IN THE AFFECTED AREA.
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REPAIRS AND REPLACEMENTS NOTES

- IN THE EVENT OF DAMAGE, THE CONTRACTOR SHALL PROMPTLY MAKE ALL REPLACEMENTS AND REPAIRS AT NO ADDITIONAL COST TO THE CLIENT AND/OR BUILDING OWNER.
- EXISTING INTERIOR OR EXTERIOR FACADES REMOVED FOR WALL OPENINGS OR ANY OTHER REMODELING WORK SHALL BE REPLACED TO MATCH THE EXISTING CONDITIONS.
- CUTTING AND PATCHING, WHERE EXISTING ELEMENTS OF THE BUILDING ARE REQUIRED TO BE CUT TO FIT, ALTERED OR REMOVED, THE CONTRACTOR SHALL TAKE ALL NECESSARY PRECAUTIONS TO PREVENT DAMAGE TO OTHER PORTIONS OF THE EXISTING BUILDING, INCLUDING, BUT NOT LIMITED TO, THE SHORING, BRACING AND SUPPORT REQUIRED TO MAINTAIN STRUCTURAL INTEGRITY. UPON COMPLETION OF THE WORK, ALL EXISTING MATERIALS, SYSTEMS AND ASSEMBLIES SHALL BE REPLACED, REPAIRED, OR REFIT TO MATCH OR EXCEED THE FIT, FINISH AND PERFORMANCE OF PREVIOUS CONDITIONS. DO NOT PROCEED WITH WORK UNTIL UNSATISFACTORY CONDITIONS WHICH AFFECT SAFETY, STRUCTURAL INTEGRITY OR WATER TIGHTNESS OF THE BUILDING ARE CORRECTED.
- PROTECTIONS: PROTECT WITH TEMPORARY BARRICADES, COVERINGS, OR OTHER PROTECTIONS TO PREVENT INJURY OR DAMAGE TO PERSONS OR PROPERTY. THE CONTRACTOR SHALL BE RESPONSIBLE FOR REPAIRING ANY DAMAGE CAUSED BY HIS/HER OPERATIONS.

MASONRY NOTES

- SPECIFICATIONS:
A. MASONRY CONSTRUCTION AND MATERIALS SHALL CONFORM TO ALL REQUIREMENTS OF TMS 402/602-16 BUILDING CODE REQUIREMENTS AND SPECIFICATIONS FOR MASONRY STRUCTURES.
- MATERIALS:
A. CONCRETE BLOCK: ASTM C90. MINIMUM NET AREA COMPRESSIVE STRENGTH OF C.M.U. = 2600 PSI.
B. MORTAR: ASTM C270 (USING THE PROPERTY SPECIFICATION METHOD, PARAGRAPH 3.2), TYPE "S", MINIMUM COMPRESSIVE STRENGTH = 1800 PSI.
C. BOND BEAM AND CORE FILL: ASTM C476, COARSE OR FINE TYPE, PLACED PER ACI 530, TABLE 5.
D. JOINT REINFORCING: HOT DIPPED GALVANIZED FINISH, 9 GAUGE MINIMUM SIDE WIRES AND CROSS WIRES.
E. BAR REINFORCING: ASTM A615, GRADE 60, UNLESS NOTED OTHERWISE.
F. WIRE TIES AND ANCHORS: RECTANGULAR TYPE, 3/16" DIAMETER WIRE TIES (HOT DIPPED GALVANIZED).
G. f_m OF MASONRY SHALL MEET OR EXCEED 2250 PSI.
H. MATCH BLOCK SIZE AND TYPE WITH EXISTING WALL CONSTRUCTION.
- CONSTRUCTION AND REINFORCING:
A. LAY WITH COMPLETELY FILLED MORTAR JOINTS.
B. EXTENT OF EACH TYPE OF REINFORCED UNIT MASONRY WORK IS INDICATED ON DRAWINGS AND IN SCHEDULES.
C. LAY MASONRY UNITS PRIOR TO EACH GROUT POUR, BUT DO NOT CONSTRUCT MORE THAN 12" ABOVE MAXIMUM GROUT POUR HEIGHT.
D. PROVIDE STANDARD GALVANIZED 9 GAUGE HORIZONTAL REINFORCING AT 16" O.C. IN WALLS. PROVIDE TRUSS TYPE JOINT REINFORCEMENT FOR ALL CONCRETE MASONRY. UNLESS OTHERWISE NOTED, STOP ALL HORIZONTAL JOINT REINFORCING AT CONTROL JOINTS.

SERVICEABILITY CRITERIA

- SERVICEABILITY CRITERIA FOR DEFLECTION:

CONSTRUCTION	D+L
MEMBERS SUPPORTING MASONRY	l/600

LINTEL NOTES

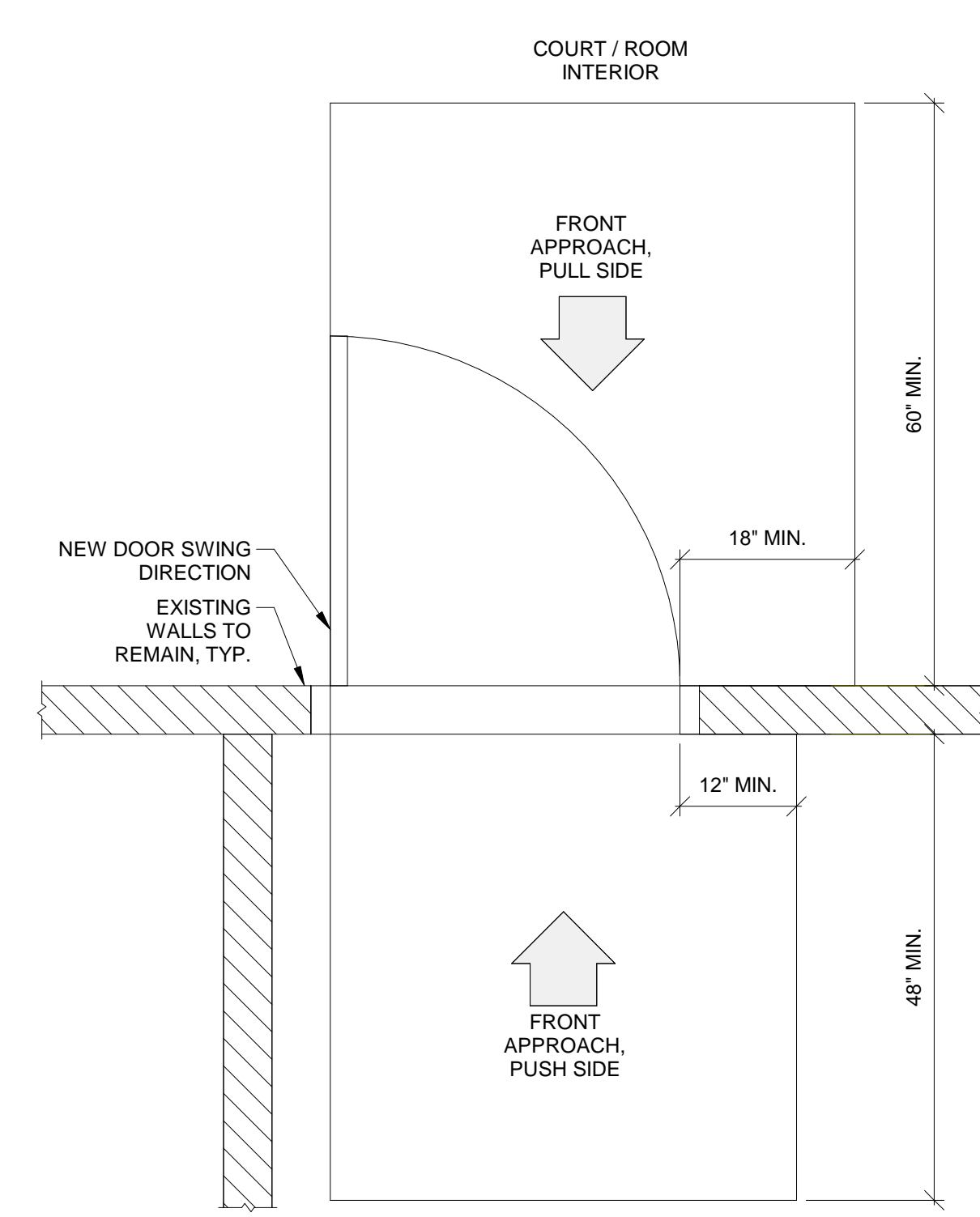
- LINTELS SHALL BE PROVIDED FOR ALL OPENINGS AS INDICATED ON THE DRAWINGS. IN ADDITION, LINTELS ARE REQUIRED FOR MECHANICAL, ELECTRICAL, OR PLUMBING OPENING IN A MASONRY WALL WITH A WIDTH GREATER THAN 12".
- LINTELS SHALL HAVE A MINIMUM BEARING OF 8 INCHES ON EACH SIDE, UNLESS OTHERWISE NOTED.
- ALL STRUCTURAL STEEL W SHAPES SHALL BE ASTM 992 ($F_y = 50$ KSI).
- ALL STRUCTURAL ANGLES & PLATES SHALL BE A572 ($F_y = 50$ KSI).
- ALL WELDING ELECTRODES SHALL BE E70XX.
- ALL DETAILING, FABRICATION AND ERECTION SHALL CONFORM TO AISC SPECIFICATIONS AND CODES, LATEST EDITION, AND SHALL BE PERFORMED BY AWS QUALIFIED WELDERS.
- ALL WELDING WORK SHALL CONFORM TO THE AWS "STRUCTURAL WELDING CODE - STEEL", LATEST EDITION, AND SHALL BE PERFORMED BY AWS QUALIFIED WELDERS.
- THE CONTRACTOR SHALL SUBMIT DETAILED, COORDINATED AND CHECKED SHOP DRAWINGS FOR ALL STRUCTURAL STEEL TO THE ENGINEER FOR REVIEW PRIOR TO THE START OF FABRICATION AND / OR ERECTION.
- SHOP AND FIELD TESTING AND INSPECTION, OF STRUCTURAL STEEL FABRICATION AND ERECTION WORK, INCLUDING WELDED CONNECTIONS SHALL BE AS FOLLOWS:
A. ALL STRUCTURAL STEEL FABRICATION AND ERECTION SHALL BE VISUALLY INSPECTED.
B. ALL WELDERS SHALL BE AWS QUALIFIED.
C. ALL WELDS SHALL BE AWS / AISC PREQUALIFIED.
D. ALL WELD SHALL BE VISUALLY INSPECTED PER AWS D1.1 WELD MEASUREMENTS SHALL BE PERFORMED FOR 15 PERCENT OF ALL WELDS ON A RANDOM BASIS.
E. THE OWNER'S STRUCTURAL STEEL TESTING LABORATORY SHALL PERFORM ALL FIELD INSPECTION AND TESTING AS OUTLINED ABOVE AND MONITOR THE CONTRACTOR'S INSPECTION AND TESTING AS OUTLINED ABOVE FOR ALL SHOP WORK. IF THE CONTRACTOR'S QUALITY CONTROL PROGRAM IS NOT AISC CERTIFIED, THE OWNER'S STRUCTURAL STEEL TESTING LABORATORY SHALL ALSO PERFORM ALL SHOP TESTING AND INSPECTION WORK.
F. THE STRUCTURAL STEEL FABRICATOR AND ERECTION SHALL SCHEDULE ALL WORK TO ALLOW THE ABOVE INSPECTION AND TESTING REQUIREMENTS TO BE COMPLETED.
- THE CONTRACTOR SHALL BE RESPONSIBLE FOR THE CONTROL OF ALL ERECTION PROCEDURES AND SEQUENCES ESPECIALLY WITH RELATION TO TEMPERATURE DIFFERENTIALS AND ERECTION TOLERANCES.
- THERE SHALL BE NO FIELD CUTTING OF STRUCTURAL STEEL MEMBERS, FOR THE WORK OF OTHER TRADES, WITHOUT THE PRIOR REVIEW OF THE ARCHITECT.
- SPECIFICATION: WELDING PERSONNEL AND PROCEDURES SHALL BE QUALIFIED PER AWS D1.1 UNLESS SPECIFICALLY SHOWN OTHERWISE. DESIGN, FABRICATION AND ERECTION TO BE GOVERNED BY:
A. AISC SPECIFICATION FOR STRUCTURAL STEEL BUILDINGS.
B. AISC CODE OF STANDARD PRACTICE.
C. STRUCTURAL WELDING CODE, AWS D1.1 OF THE AMERICAN WELDING SOCIETY.
- PAINT: DO NOT PAINT STEEL OR ANCHOR BOLTS WHICH WILL BE GALVANIZED, ENCASED IN CONCRETE, OR ANY STEEL NOT EXPOSED TO VIEW IN THE FINISHED STRUCTURE, EXCEPT COLUMNS AND PORTIONS OF BEAMS EMBEDDED IN OR BUILT WITHIN EXTERIOR WALLS WHICH SHALL BE PAINTED WITH TWO (2) COATS OF PRIMER.
- GALVANIZING: ALL SHELF ANGLES, ALL LINTELS IN EXTERIOR WALLS, ALL EXTERIOR STEEL EXPOSED TO THE ELEMENTS, AND ALL ITEMS INDICATED ON THE DRAWINGS AS "GALVANIZED" SHALL BE HOT-DIPPED GALVANIZED. EXTERIOR STEEL EXPOSED TO THE ELEMENTS THAT IS TO BE FIELD WELDED SHALL BE HOT DIPPED GALVANIZED WITH A COLD GALVANIZING COMPOUND APPLIED TO THE ENTIRE EXPOSED FIELDWELDED SURFACE WITHIN 24 HOURS OF FIELD WELDING. COLD GALVANIZED COMPOUND SHALL BE APPLIED WITH A BRUSH PER MANUFACTURER'S RECOMMENDATIONS.

SPECIAL INSPECTION AND TESTING (IBC 2021 - 1704-1706)

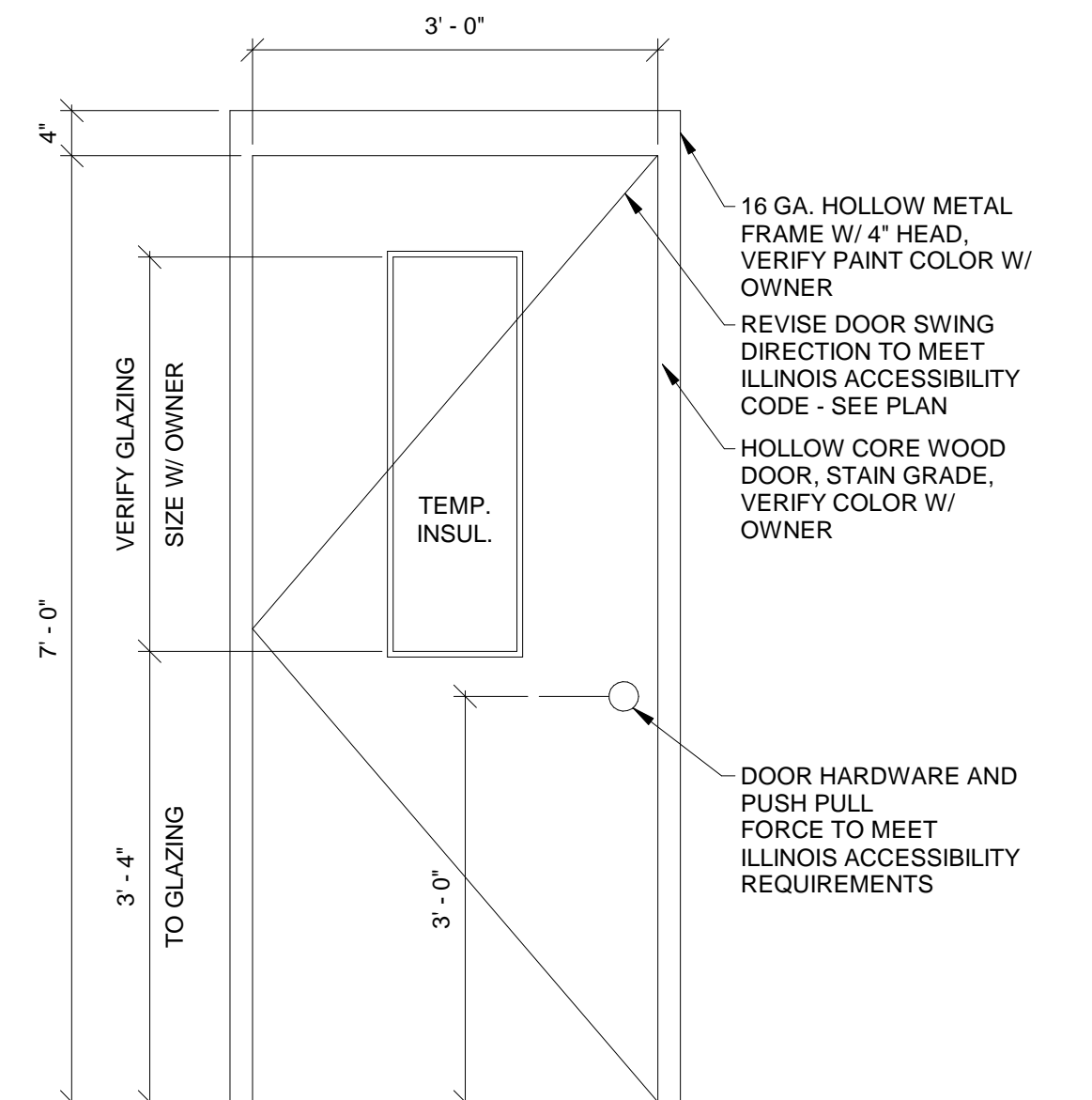
- ALL TESTS AND INSPECTIONS SHALL BE PERFORMED BY AN INDEPENDENT TESTING AND INSPECTION AGENCY. THE SPECIAL INSPECTOR FROM THIS TESTING AGENCY SHALL OBSERVE THE WORK FOR CONFORMANCE TO THE DESIGN DRAWINGS AND SPECIFICATIONS.
- THE SPECIAL INSPECTOR SHALL FURNISH INSPECTION REPORTS TO THE BUILDING OFFICIAL, THE ENGINEER AND ARCHITECT OF RECORD, AND ALL OTHER DESIGNATED INDIVIDUALS. ALL DISCREPANCIES SHALL BE BROUGHT TO THE ATTENTION OF THE CONTRACTOR FOR CORRECTION, THEN TO THE PROPER DESIGN AUTHORITY AND TO THE BUILDING OFFICIAL, IF NOT CORRECTED.
- THE SPECIAL INSPECTOR SHALL SUBMIT A FINAL SIGNED REPORT STATING WHETHER THE WORK REQUIRING SPECIAL INSPECTION WAS, TO THE BEST OF THE INSPECTOR'S KNOWLEDGE, IN CONFORMANCE WITH THE APPROVED DESIGN DRAWINGS, SPECIFICATIONS, SOILS REPORT, AND APPLICABLE WORKMANSHIP PROVISIONS OF THE INTERNATIONAL BUILDING CODE.
- JOB SITE VISITS BY THE STRUCTURAL ENGINEER OF RECORD DOES NOT CONSTITUTE AN OFFICIAL SPECIAL INSPECTION.
- THE FOLLOWING ITEMS MARKED "X" REQUIRE SPECIAL INSPECTIONS: (REFER TO IBC DESIGNATED ABOVE FOR FURTHER INFORMATION)

F	VERIFICATION AND INSPECTION	INSPECTION FREQUENCY	
		CONTINUOUS	PERIODIC
1	MASONRY CONSTRUCTION - LEVEL C - 1705.4		
1	PRIOR TO CONSTRUCTION:		
a	REVIEW MATERIAL CERTIFICATES, MIX DESIGNS, TEST RESULTS AND CONSTRUCTION PROCEDURES		X
2	AS CONSTRUCTION BEGINS:		
a	PROPORTIONS OF SITE-PREPARED MORTAR		X
b	PLACEMENT OF MASONRY UNITS & CONSTRUCTION OF MORTAR JOINTS		X
3	PRIOR TO GROUTING:		
a	GROUT SPACE PRIOR TO GROUTING	X	
b	GRADE, TYPE, AND SIZE OF REINFORCEMENT		X
c	PROPORTIONS OF SITE-PREPARED GROUT		X
4	DURING MASONRY CONSTRUCTION:		
a	SIZE AND LOCATION OF STRUCTURAL ELEMENTS		X
5	MINIMUM TESTING:		
a	VERIFICATION OF SLUMP FLOW AND VISUAL STABILITY INDEX (VSI) FOR SELF-CONSOLIDATING GROUT		
b	VERIFICATION OF f_m		
c	VERIFICATION OF PROPORTION OF MATERIALS IN PREMIXED OR PREBLENDED MORTAR AND GROUT		

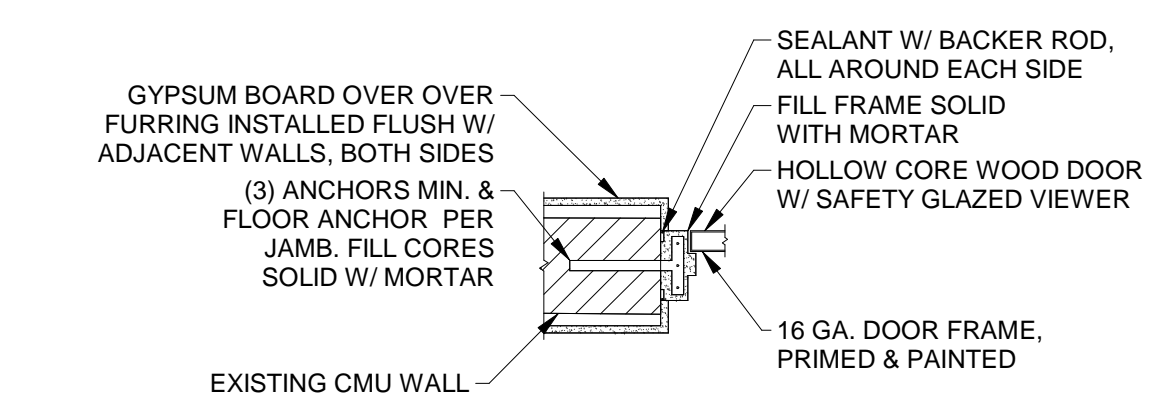
MK.	SIZE	OPENING LENGTH	LINTEL PLATE	LINTEL PLATE CONNECTION	BEARING PLATE	BEARING PLATE CONNECTION	WALL BEARING EA. END	SECTION
L1	2L6x4x3/8 LLV	3'-4"	11" X 3/8" X OPENING LENGTH	1/4" FILLET WELD 2" LONG @ 12" O.C.	11" X 3/8" X 8"	1/4" FILLET (8" LONG)	8" MIN.	



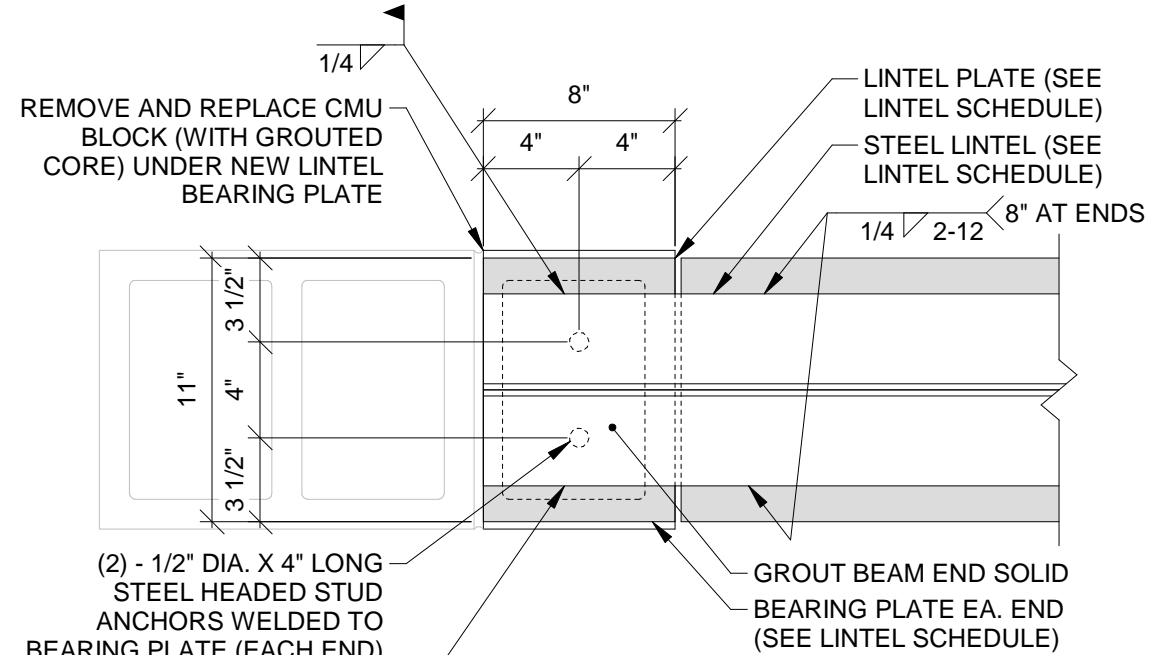
4 DOOR PLAN
3/4" = 1'-0"



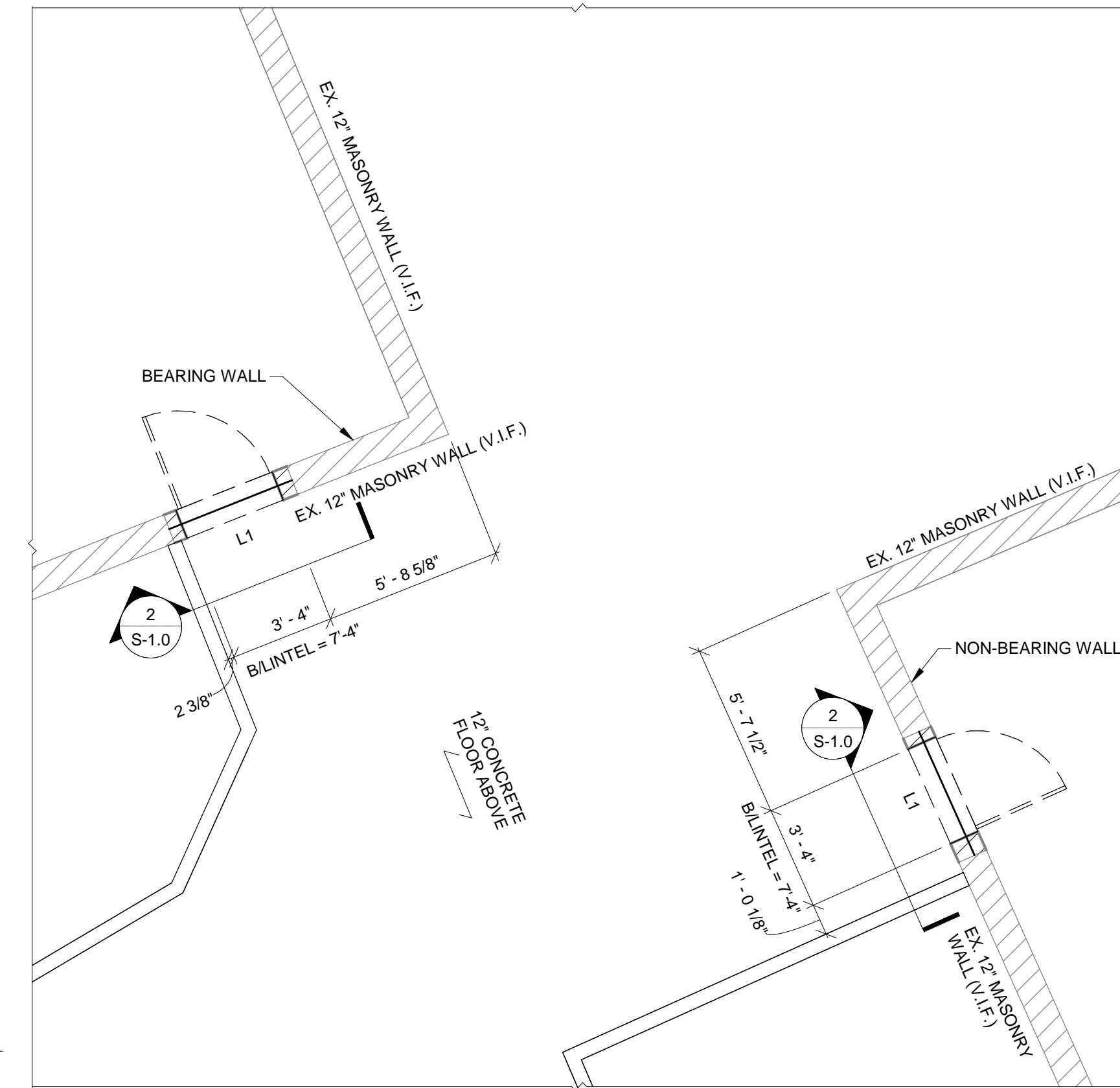
5 DOOR ELEVATION
3/4" = 1'-0"



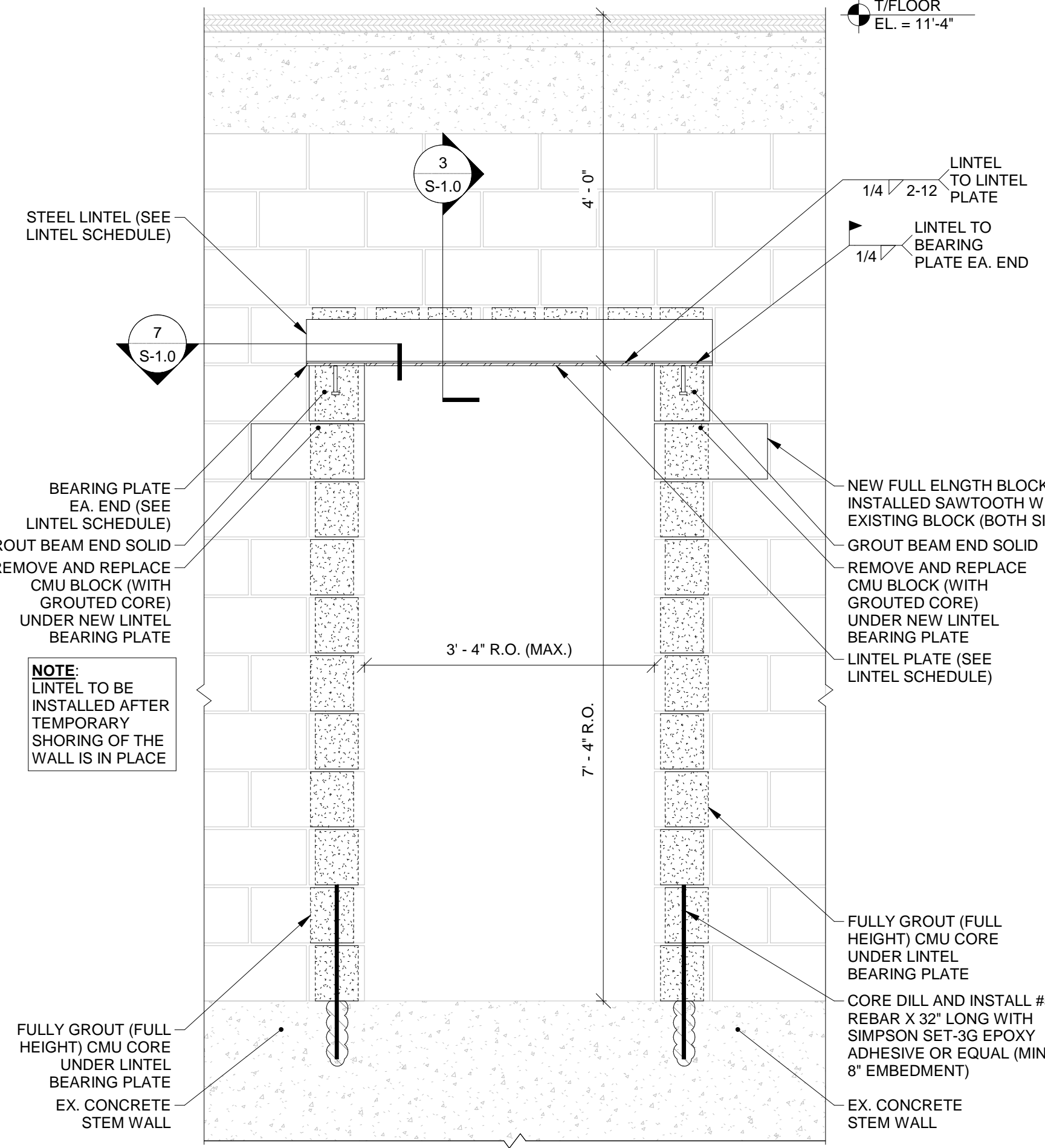
6 DOOR JAMB DETAIL
3/4" = 1'-0"



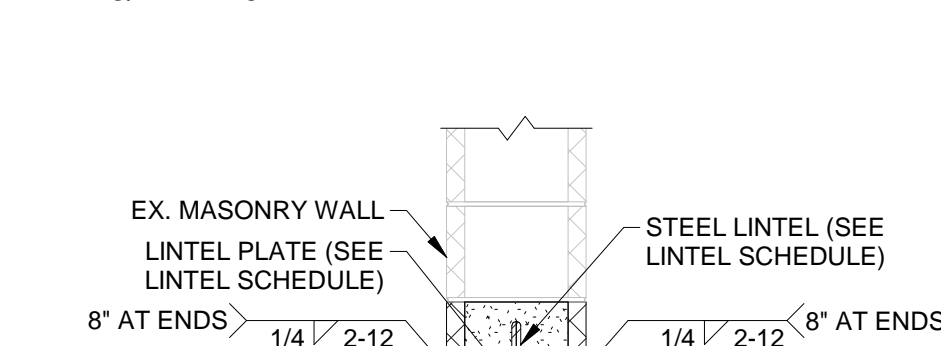
7 LINTEL PLATE PLAN VIEW
1 1/2" = 1'-0"



1 DOOR LINTEL PLAN
1/4" = 1'-0"



2 NEW LINTEL IN EX. WALL
3/4" = 1'-0"



3 ANGLE LINTEL SECTION
3/4" = 1'-0"

KEY	
	INDICATES EXISTING MASONRY WALL
	INDICATES STEEL LINTEL
ABBREVIATIONS	
EL	ELEVATION
L	LINTEL
MW	MASONRY WALL
BY	BOTTOM OF
EA.	EACH
TYP.	TYPICAL
MK.	MARK
W/	WITH
LLV	LONG LEG VERTICAL

WT GROUP
 Engineering with Precision, Pace and Passion.
 1875 Prater Avenue Hoffman Estates, IL 60132
 T: 224.283.8333 F: 224.283.8444
 wtgroup.com
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WT Group
 Engineering • Design • Consulting

MAN DOORS
 H1919 WALNUT AVE, HANOVER PARK, IL 60133
COMMUNITY CENTER MAN DOORS

AQUATIC \ CIVIL \ MECHANICAL \ ELECTRICAL \ PLUMBING \ TELECOMMUNICATION \ STRUCTURAL \ ACCESSIBILITY CONSULTING \ DESIGN & PROGRAM MANAGEMENT \ LAND SURVEY

SIGNED: 5/3/2023
 Exp: 1/26/2024

ISSUE
 TO PERMIT DATE 5/3/2023

CHECK/DT
 DRAWN/HS
 JOB: J2300018

S-1.0
 FRAMING PLAN AND DETAILS

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F. WIRE TIES AND ANCHORS: RECTANGULAR TYPE 3/8" DIAMETER WIRE TIES (HOT DIPPED GALVANIZED)
G. FIN OF MASONRY SHALL MEET OR EXCEED 2550 PSI
H. MATCH BLOCK SIZE AND TYPE WITH EXISTING WALL CONSTRUCTION.
- CONSTRUCTION AND REINFORCING:
A. LAY WITH COMPLETELY FILLED MORTAR JOINTS.
B. EXTENT OF EACH TYPE OF REINFORCED UNIT MASONRY WORK IS INDICATED ON DRAWINGS AND IN SCHEDULES.
C. LAY MASONRY UNITS PRIOR TO EACH GROUT POUR, BUT DO NOT CONSTRUCT MORE THAN 12" ABOVE MINIMUM GROUT POUR HEIGHT.
D. PROVIDE STANDARD GALVANIZED GAUGE HORIZONTAL REINFORCING AT 16" O.C. IN WALLS. PROVIDE TRUSS TYPE JOINT REINFORCING FOR ALL CONCRETE MASONRY, UNLESS OTHERWISE NOTED. STOP ALL HORIZONTAL JOINT REINFORCING AT CONTROL JOINTS.

SERVICEABILITY CRITERIA

- SERVICEABILITY CRITERIA FOR DEFLECTION:

CONSTRUCTION	D/L
MEMBERS SUPPORTING MASONRY	1/600

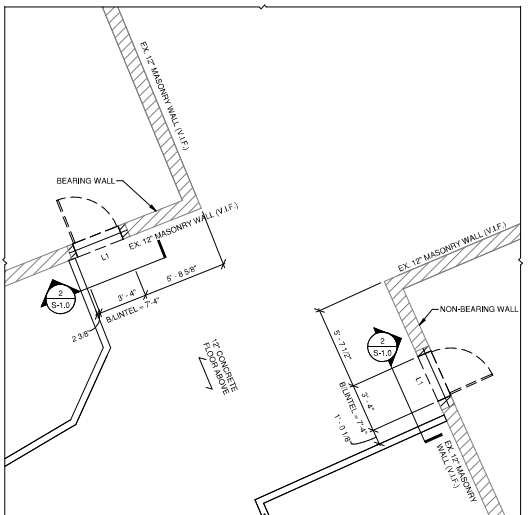
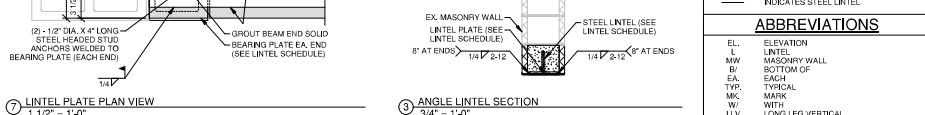
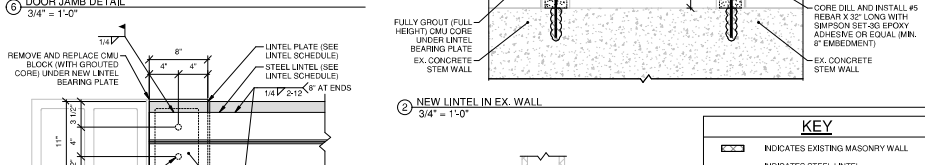
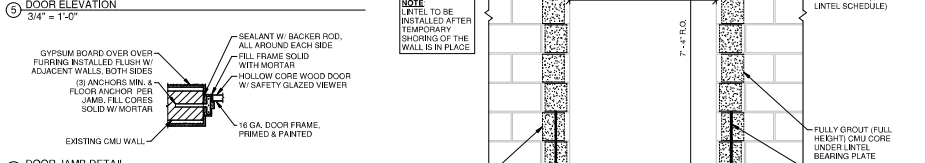
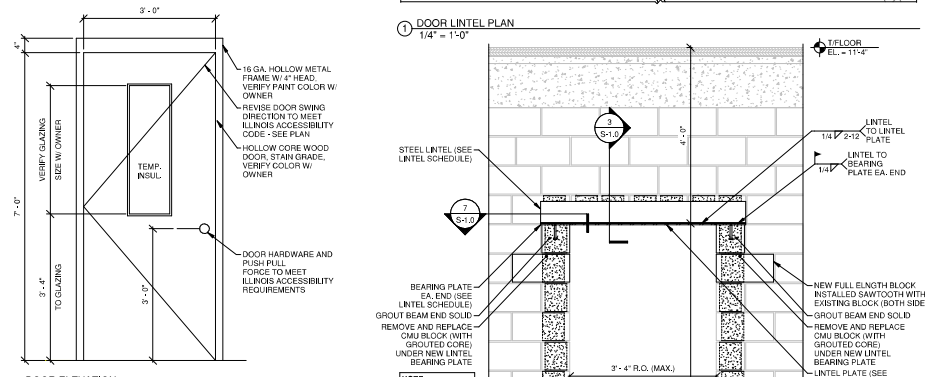
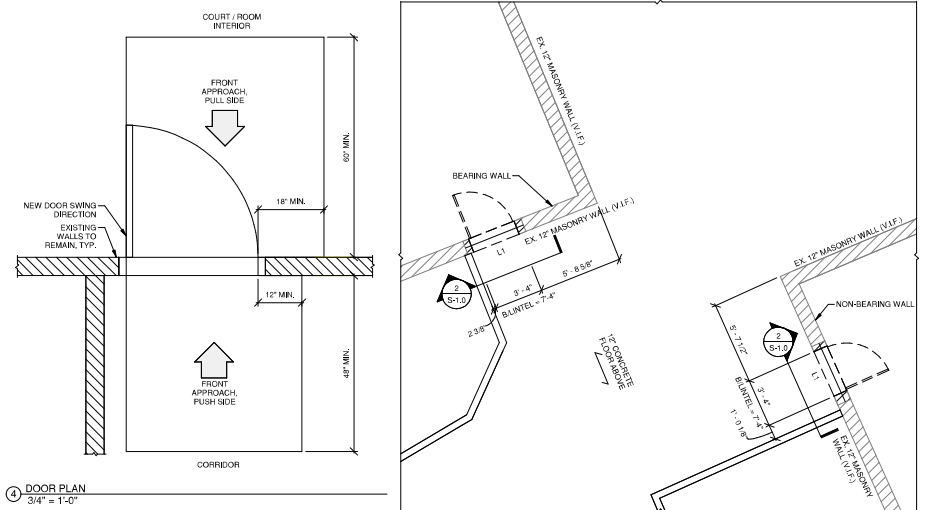
LINTEL NOTES

- LINTELS SHALL BE PROVIDED FOR ALL OPENINGS AS INDICATED ON THE DRAWINGS. IN ADDITION, LINTELS ARE REQUIRED FOR MECHANICAL, ELECTRICAL, OR PLUMBING OPENINGS IN A MASONRY WALL WITH A WIDTH GREATER THAN 12".
- LINTELS SHALL HAVE A MINIMUM BEARING OF 8 INCHES ON EACH SIDE, UNLESS OTHERWISE NOTED.
- ALL STRUCTURAL STEEL W SHAPES SHALL BE ASTM 992 (FY = 50 KSI).
- ALL STRUCTURAL ANGLES & PLATES SHALL BE A572 (FY = 50 KSI).
- ALL WELDING ELECTRODES SHALL BE E70XX.
- ALL DETAILING, FABRICATION AND ERECTION SHALL CONFORM TO AISC SPECIFICATIONS AND CODES, LATEST EDITION.
- ALL WELDING WORK SHALL CONFORM TO THE AISC "STRUCTURAL WELDING CODE - STEEL", LATEST EDITION, AND SHALL BE PERFORMED BY AISC QUALIFIED WELDERS.
- THE CONTRACTOR SHALL SUBMIT DETAILED, COORDINATED AND CHECKED SHOP DRAWINGS FOR ALL STRUCTURAL STEEL TO THE ENGINEER FOR REVIEW PRIOR TO THE START OF FABRICATION AND/OR ERECTION.
- SHOP AND FIELD TESTING AND INSPECTION OF STRUCTURAL STEEL FABRICATION AND ERECTION WORK INCLUDING WELDED CONNECTIONS SHALL BE AS FOLLOWS:
A. ALL STRUCTURAL STEEL FABRICATION AND ERECTION SHALL BE VISUALLY INSPECTED.
B. ALL WELDERS SHALL BE AISC QUALIFIED.
C. ALL WELDS SHALL BE AISC PREQUALIFIED.
D. ALL WELDS SHALL BE VISUALLY INSPECTED PER AWS D1.1 WELD MEASUREMENTS SHALL BE PERFORMED FOR 1% PERCENT OF ALL WELDS ON A RANDOM BASIS.
E. THE OWNER'S STRUCTURAL STEEL TESTING LABORATORY SHALL PERFORM ALL FIELD INSPECTION AND TESTING AS OUTLINED ABOVE AND MONITOR THE CONTRACTOR'S INSPECTION AND TESTING AS OUTLINED ABOVE FOR ALL SHOP WORK. IF THE CONTRACTOR'S QUALITY CONTROL PROGRAM IS NOT AISC CERTIFIED, THE OWNER'S STRUCTURAL STEEL TESTING LABORATORY SHALL ALSO PERFORM ALL SHOP TESTING AND INSPECTION WORK.
F. THE STRUCTURAL STEEL FABRICATOR AND ERECTION SHALL SCHEDULE ALL WORK TO ALLOW THE ABOVE INSPECTION AND TESTING REQUIREMENTS TO BE COMPLETED.
- THE CONTRACTOR SHALL BE RESPONSIBLE FOR THE CONTROL OF ALL ERECTION PROCEDURES AND SEQUENCING ESPECIALLY WITH RELATION TO TEMPERATURE DIFFERENTIALS AND ERECTION TOLERANCES.
- THERE SHALL BE NO FIELD CUTTING OF STRUCTURAL STEEL MEMBERS, FOR THE WORK OF OTHER TRADES, WITHOUT THE PRIOR REVIEW OF THE ARCHITECT.
- SPECIFICATION WELDING PERSONNEL AND PROCEDURES SHALL BE QUALIFIED PER AWS D1.1 UNLESS SPECIFICALLY SHOWN OTHERWISE. DESIGN, FABRICATION AND ERECTION TO BE GOVERNED BY:
A. AISC SPECIFICATION FOR STRUCTURAL STEEL BUILDINGS.
B. AISC CODE OF STANDARD PRACTICE.
C. STRUCTURAL WELDING CODE, AWS D1.1 OF THE AMERICAN WELDING SOCIETY.
- PAINT: DO NOT PAINT STEEL OR ANCHOR BOLTS WHICH WILL BE GALVANIZED. ENCASE IN CONCRETE, OR ANY STEEL NOT EXPOSED TO VIEW IN THE FINISHED STRUCTURE, EXCEPT COLLARS AND PORTIONS OF BEAMS SURFACE WHICH ARE TO REMAIN. GALVANIZING SHALL BE PERFORMED WITHIN TWO (2) COATS OF PRIMER.
- GALVANIZING: ALL SHEET ANGLES, ALL LINTELS IN EXTERIOR WALLS, ALL EXTERIOR STEEL EXPOSED TO THE ELEMENTS, AND ALL ITEMS INDICATED ON THE DRAWINGS AS "GALVANIZED" SHALL BE HOT-DIPPED GALVANIZED. EXTERIOR STEEL EXPOSED TO THE ELEMENTS THAT IS TO BE FIELD WELDED SHALL BE HOT DIPPED GALVANIZED WITH A COLD GALVANIZING COMPOUND APPLIED TO THE ENTIRE EXPOSED FIELD WELDED SURFACE WITHIN 24 HOURS OF FIELD WELDING. COLD GALVANIZED COMPOUND SHALL BE APPLIED WITH A BRUSH PER MANUFACTURER'S RECOMMENDATIONS.

SPECIAL INSPECTION AND TESTING (IBC 2021 - 1704-1706)

- ALL TESTS AND INSPECTIONS SHALL BE PERFORMED BY AN INDEPENDENT TESTING AND INSPECTION AGENCY. THE SPECIAL INSPECTOR FROM THIS TESTING AGENCY SHALL OBSERVE THE WORK FOR CONFORMANCE TO THE DESIGN DRAWINGS AND SPECIFICATIONS.
- THE SPECIAL INSPECTOR SHALL FURNISH INSPECTION REPORTS TO THE BUILDING OFFICIAL, THE ENGINEER AND ARCHITECT OF RECORD, AND ALL OTHER DESIGNATED INDIVIDUALS. ALL DISCREPANCIES SHALL BE BROUGHT TO THE ATTENTION OF THE CONTRACTOR FOR CORRECTION, THEN TO THE PROPER DESIGN AUTHORITY AND TO THE BUILDING OFFICIAL, IF NOT CORRECTED.
- THE SPECIAL INSPECTOR SHALL SUBMIT A FINAL SIGNED REPORT STATING WHETHER THE WORK REQUIRING SPECIAL INSPECTION WAS, TO THE BEST OF THE INSPECTOR'S KNOWLEDGE, IN CONFORMANCE WITH THE APPROVED DESIGN DRAWINGS, SPECIFICATIONS, SOils REPORT AND APPLICABLE WORKMANSHIP PROVISIONS OF THE INTERNATIONAL BUILDING CODE.
- JOB SITE VISITS BY THE STRUCTURAL ENGINEER OF RECORD DOES NOT CONSTITUTE AN OFFICIAL SPECIAL INSPECTION.
- THE FOLLOWING ITEMS MARKED "X" REQUIRE SPECIAL INSPECTIONS (REFER TO IBC DESIGNATED ABOVE FOR FURTHER INFORMATION)

NO.	DESCRIPTION	VERIFICATION AND INSPECTION	
		VERIFICATION	INSPECTION FREQUENCY
F	MASONRY CONSTRUCTION - LEVEL C-1705.4		CONTINUOUS PERIOD
1	PRIOR TO CONSTRUCTION		
A	REVIEW MATERIAL CERTIFICATES, MIX DESIGNS, TEST RESULTS AND CONSTRUCTION PROCEDURES		X
2	AS CONSTRUCTION BEGINS:		
a	PROPORTIONS OF SITE-PREPARED MORTAR		X
b	PLACEMENT OF MASONRY UNITS & CONSTRUCTION OF MORTAR JOINTS		X
3	PRIOR TO GROUTING:		
a	GROUT SPACE PRIOR TO GROUTING	X	
b	GROUT TYPE AND SIZE OF REINFORCEMENT	X	
c	PROPORTIONS OF SITE-PREPARED GROUT	X	
4	DURING MASONRY CONSTRUCTION:		
a	SIZE AND LOCATION OF STRUCTURAL ELEMENTS	X	
5	MINIMUM TESTING:		
a	VERIFICATION OF SLUMP, FLOW AND VISUAL STABILITY INDEX (VSI) FOR SELF-CONSOLIDATING GROUT	X	
b	VERIFICATION OF PROPORTION OF MATERIALS IN PREMIXED OR PREBLENDED MORTAR AND GROUT	X	



WT GROUP
 COMMUNICATIONS WITH PROGRESS, LABOR AND FINANCE
 1224 W. WALNUT AVE., HANOVER, IL 60133
 TEL: 815.224.4433 FAX: 815.224.4444
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 Engineering Design Consulting

MAN DOORS
 H1919 WALNUT AVE., HANOVER
 PARK, IL 60133
COMMUNITY CENTER MAN DOORS

AQUATIC \ CIVIL \ MECHANICAL \ ELECTRICAL \ TELECOMMUNICATION \ STRUCTURAL \ ACCESSIBILITY CONSULTING \ DESIGN & PROGRAM MANAGEMENT \ LAND SURVEY

ISSUE
 TO PERMIT DATE 5/3/2023

CHECK/D
 DRAWN/HS
 JOB 2300018

S-1.0
 FRAMING PLAN AND DETAILS

KEY	
	INDICATES EXISTING MASONRY WALL
	INDICATES STEEL LINTEL

ABBREVIATIONS	
EL.	ELEVATION
M/W	MASONRY WALL
B	BOTTOM OF EACH
EX.	EXTERIOR
TYP.	TYPICAL
M/W	MASONRY WALL
W/T	W/ WITH
L/V	LONG LEG VERTICAL

Hanover Glass & MIRROR



7221 Olde Salem Circle
Hanover Park, IL 60133
O: (630) 289-6767
C: (847) 951-4334
sales@hanover-glass.com

Quotation for:

Steve (Hanover Park Park District) – 1919 Walnut Ave, Hanover Park, IL, 60133

Scope of Work:

Installation of (2) 3070 Single Doors in interior openings at Hanover Park Park District building.

Materials:

Doors will be Dark Bronze standard single 3' x 7' tall single doors with door frame (no overhead transoms). Doors will be narrow stile, 3" bottom rail, butt hinges, standard push/pull handle and lockset with surface mounted closers. All glass will be 1/4" clear tempered safety glass.

Lead Times:

Aluminum: 1-3 working day lead time.

Glass: 5-10 working day for fabrication of tempered glass.

Exclusions:

No break metal accounted for in bid scope.

Material Cost:	\$3,620.00
Labor Cost:	\$1,800.00
Taxes (Material Only):	EXEMPT
Total Cost of Glass and Glazing:	\$ 5,420.00

Regards,

Chris Hebert

President
Hanover Glass & Mirror

Quote valid for 60 days after date of email submission.



1930 Crescent Ct
 Hoffman Estates,
 IL 60169
 Phone (773) 766 53 91

E-mail jarredcraftsmen@gmail.com

DATE	PROPOSAL NO.
05/12/2023	252/2023 RO
	TOTAL PAGES
	2

(OWNER/AGENT) NAME/ADDRESS	TERMS	JOB ADDRESS
1919 Walnut Ave Hanover Park IL, 60133	Proposal / Contract	Same

ITEM	DESCRIPTION	TOTAL
	<p>We hereby propose to furnish the materials and perform the labor necessary for the completion of the following work on the building located at above address.</p> <p style="text-align: center;">Opening 1:</p> <ol style="list-style-type: none"> 1. Cut opening to door size 2. Install two lintels by 4' with special glued flashing, drip edge, cotton tubes and termination bar with sealant (lintels will be scrape, prime and paint) <p style="text-align: center;">Opening 2:</p> <ol style="list-style-type: none"> 3. Cut opening to door size 4. Install two lintels by 4' with special glued flashing, drip edge, cotton tubes and termination bar with sealant (lintels will be scrape, prime and paint) <p>Hanover Park permit included</p>	\$6500.00
	<p>IMPORTANT NOTES</p> <ul style="list-style-type: none"> —Contractor will sweep and remove all debris from the job side. —Our work will create noise and dust. —Owner to supply water and electric . — All discount are included. —New mortar will match existing one as close as possible but will be not the same. <p>PAYMENTS SCHEDULE</p> <p>40% Day of contract.</p> <p>60% Day of completion.</p>	

Please review the attached proposal. Feel free to contact us if you have any questions.

If you would like to hire Craftsmen Masonry & Tuckpointing to performed work as specified, we will need the following upon you acceptance:

- 1). Signed Contract;
- 2). Down-Payment as outlined on the Contract.

We accept the following forms of payment:

*** Check or Cash (Mailing address: 1930 Crescent Ct Hoffman Estates 60169)

*** QuickPay with Zelle ((773)7665391)

Craftsmen Masonry& Tuckpointing, Inc.

1930 Crescent Ct

Hoffman Estates, IL

60169

Phone: 773-766-5391

Web: <https://masonrytuckpointingcraftsmen.com/>

Thank you for your business!

We look forward to working with you.

Failure to make payment, will give Contractor right to charge interest. Owner/agent agrees to pay all costs, expenses and fees of Contractor's enforcement of the Contract/Proposal, including collection expenses, court costs, and attorney's fees. Past due payments shall bear interest at 1.5% per month.

Failure to make payment when due shall constitute a breach of contract and shall entitle Contractors at its discretion, to suspend all work until full payment is made or terminate this contract. The contract sum to be paid to Contractor shall be increased by the amount of the Contractor's reasonable costs of shutdown, delay and start-up.

NOTICE OF CANCELLATION

You, buyer, may cancel this transaction at any time prior to midnight of the 3rd business day after the date of this transaction.

CHANGE ORDERS, EXTRAS, PERMITS

Any alteration or deviation from the above specifications involving extra costs, will be executed only upon written orders, and will become an extra charge over and above the estimate.

Owner/agent is solely responsible for obtaining any permits required for the work. Contractor can apply for and secure a permit should the owner/agent decide to hire our expediting source. The costs for the permit and expeditor, if necessary, will be in addition to the contract price. Engineering, consulting or architectural service are not included, if needed.

Should the City of Chicago require a sidewalk canopy and permit, these charges, if necessary, will be in addition to the contract price. Owner/agent is responsible for maintaining adequate lighting, and for all and any citations.

* This proposal may be withdrawn by us if not accepted within (30) days.

SITE CONDITIONS:

Contractor will move satellite antenna and reinstall upon completion. Final adjustment may be required and will be the responsibility of the owner/agent.

Contractor's price is based upon there not being electrical conduit or other materials within working perimeter, unless expressly identified on the face of this proposal. Owner/agent will indemnify Contractor from any personal injury, property damage, claim, loss, or expense resulting from the presence of electrical conduit; shall render the conduit harmless so as to avoid injury to Contractor's personnel; and shall compensate Contractor for additional time, labor, and expense resulting from the presence of such materials.

Contractor shall not be responsible for additional cost due to the existence of utilities, A/C units, wet insulation, deteriorated deck, or other subsurface or latent conditions that are not disclosed in writing to Contractor. The raising, disconnection or re-connection of any mechanical equipment that may be necessary to Contractor perform the work shall be performed by others or treated as an extra.

Owner/agent and Contractor acknowledge that, odors and emissions from roofing products will be released. Contractor is not responsible for interior air quality, including controlling mechanical equipment, HVAC units, intake units, wall vents, windows, doors and other openings permitting fumes and odors entering the building. Customer shall hold Contractor harmless from claims from third parties relating to fumes and odors that are emitted during normal process.

GENERAL NOTES

All agreements contingent upon strikes, accidents or delays beyond our control.

Owner to carry fire, tornado and other necessary casualty insurance upon above work. Workmen's compensation and public liability insurances on above work, to be taken out by Contractor.

This proposal and contract is based upon work to be performed by Contractor not involving asbestos-containing or toxic materials and that such materials will not be encountered or disturbed during the course of performing the work. Contractor is not responsible for expenses, claims or damages arising out of presence, disturbance or removal of asbestos containing or toxic material. In the event such materials are encountered, Contractor shall be entitled to reasonable compensation for all additional expenses incurred.

Contractor will use the greatest amount of care during the execution of the above quoted work to avoid damage to the interior and exterior of the building and adjacent landscaping.

Contractor will do their best to minimize the dust and noise produced; pasted experience has shown that the following should be expected as normal by the owner/agent as a result of such construction.

Craftsmen Masonry & Tuckpointing Inc.

by _____ YAROSLAV ROMANKO _____

UPON ACCEPTANCE OF PROPOSAL THIS INSTRUMENT IS A CONTRACT.

The above prices, specifications and conditions are satisfactory and are hereby accepted.

You are authorized to do the work as specified. Payment will be made as outlined above.

>>> Signature (OWNER)(AGENT): _____

2

Functional Fitness Room Rules:

- Members under 17 are not permitted in the functional room
- No more than 4 people at a time
- No food allowed in room, drinks must have a secure cap or lid
- No loitering, must be working out
- Door must remain open at all times
- Please return all equipment and exercise mats back to their designated spots for the safety of others

*Anyone in violation of these rules will be subject to membership suspension and/or termination

Functional
Fitness Room
Now Open!
Come Check It
Out!!!!

Project Type (From ab	Project Category (From Above)	Media File #/Name	Project Category Cost	ADA Portion of Project Cate	% ADA Dollars Requested
Routes & Surfaces	doors-doorways-gates		15520	100	0.64%

#VALUE!
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Total Project Cost 15520
 Total ADA Portion of Project Cost 100
 Total % of ADA Dollars Requested 0.64%