

Title	<b>Community Center</b>	12/23/2024
	by <b>Stephen Bessette</b> in <b>Member District ADA Project Request</b>	id. 49158270
	1919 Walnut Ave Hanover Park, Illinois 60133 IL United States 16305462130 s.bessette@hpparks.org	

## Original Submission 12/23/2024

Score	n/a
Name	Steve Bessette
Job Title	Executive Director
E-mail Address	s.bessette@hpparks.org
Phone Number	8155455662
Park District	Hanover Park
Project Location	Community Center
Project Status	Alteration
Project Type	Routes and Surfaces
Routes and Surfaces- select a Project Category below:	Doors-Doorways-Gates
Benefits of the Project	Make once non-compliant raquetball doors to ADA Compliant Doorway
Items that will become ADA Compliant	New ADA Compliant storefront door
The project is designed or constructed, or applies human resources, to comply with:	The 2010 Standards for Accessible Design The Illinois Accessibility Code Agency's ADA Transition Plan

Upload Project Related Files, Photos, Videos or Audio

[1919\\_Walnut\\_Ave.pdf](#)

[50180870\\_HPPD\\_Door\\_Modification\\_Set.pdf](#)

[Est\\_9315\\_from\\_Hanover\\_Glass\\_\\_Mirror\\_31284.pdf](#)

[Raquetball\\_stucco\\_quote\\_2024.doc](#)

[50180870\\_82400664.pdf](#)

---

Budget Table for ADA Related Expenses

[Budget Table.xlsx](#)

---

ADA Dollars Requested	15035.74
-----------------------	----------

---

Notes related to requested amount

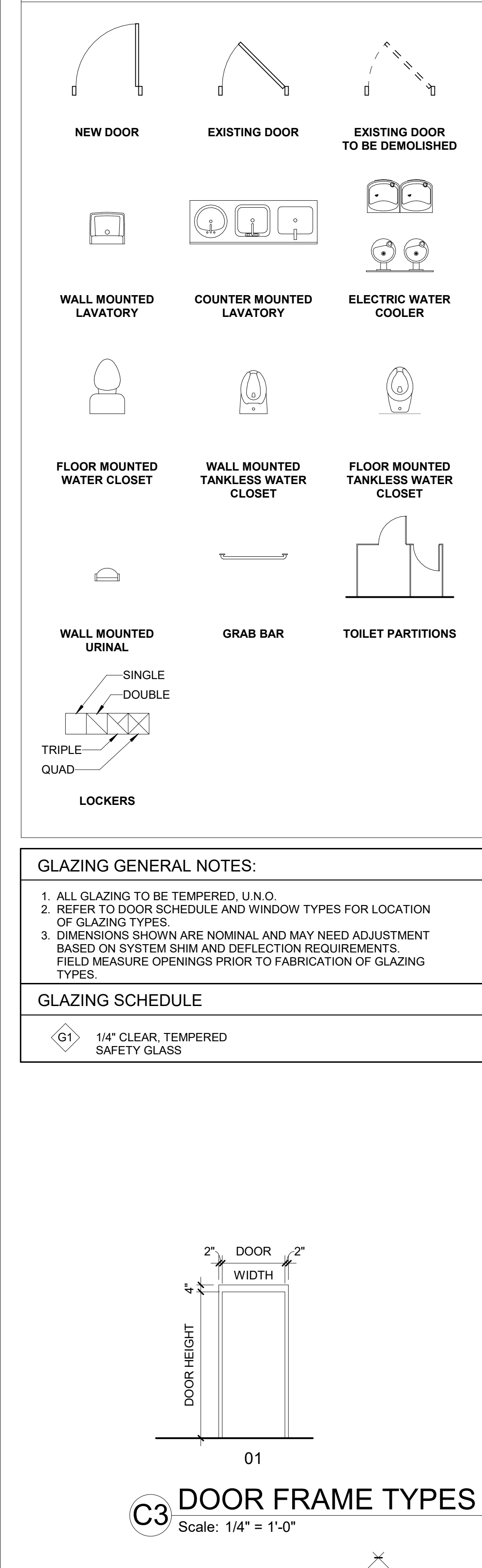
---



# STANDARD ABBREVIATIONS

Table of standard abbreviations for construction documents, categorized by floor (F), electrical (E), and detail (D). Includes items like ANCHOR BOLT, FLOOR FINISH, and WALL FINISH.

# STANDARD DRAFTING SYMBOLS



# DEMOLITION PLAN GENERAL NOTES

- 1. VISIT SITE AND VERIFY EXISTING CONDITIONS PRIOR TO BID SUBMISSION. DISCREPANCIES BETWEEN CONSTRUCTION INDICATED ON DRAWINGS AND ACTUAL SITE CONDITIONS SHALL BE BROUGHT TO ARCHITECT'S ATTENTION IMMEDIATELY IN WRITING.
2. DEMOLISHED ITEMS NOTED AS 'DELIVER TO OWNER' OR 'TO BE RELOCATED' SHALL BE REMOVED OR DISASSEMBLED IN SUCH A MANNER THAT WILL NOT DAMAGE THE ITEM AND BEING RELOCATED. REPAIR OR REPLACE SUCH ITEMS, IF DAMAGED. NOTIFY OWNER'S REPRESENTATIVE IMMEDIATELY IF DAMAGE HAS OCCURRED, AND SUBMIT A REPAIR SOLUTION TO ARCHITECT FOR REVIEW.
3. ITEMS INDICATED TO 'REMAIN' THAT ARE DAMAGED DURING THE PERFORMANCE OF THE DEMOLITION WORK. SUCH DAMAGE SHALL BE REPORTED TO OWNER'S REPRESENTATIVE IMMEDIATELY, AND SUBMIT A REPAIR SOLUTION TO ARCHITECT FOR REVIEW.

# ADA DOOR REQUIREMENTS

- 1. DOORS SHALL PROVIDE A CLEAR WIDTH OF 32 INCHES MINIMUM MEASURED BETWEEN THE FACE OF THE DOOR AND THE STOP, WITH THE DOOR OPEN 90 DEGREES. THERE SHALL BE NO PROJECTIONS INTO THE REQUIRED CLEAR OPENING WIDTH LOWER THAN 34 INCHES ABOVE THE FINISH FLOOR OR GROUND. PROJECTIONS INTO THE CLEAR OPENING WIDTH BETWEEN 34 INCHES AND 80 INCHES ABOVE THE FINISH FLOOR OR GROUND SHALL NOT EXCEED 4 INCHES.
2. THRESHOLDS, IF PROVIDED AT DOORWAYS, SHALL BE 1/2 INCH HIGH MAXIMUM. CHANGES IN LEVEL OF 1/4 INCH HIGH MAXIMUM SHALL BE PERMITTED TO BE VERTICAL.
3. OPERABLE PARTS OF DOOR HARDWARE SHALL BE 34 INCHES MINIMUM AND 48 INCHES MAXIMUM ABOVE FINISH FLOOR OR GROUND.

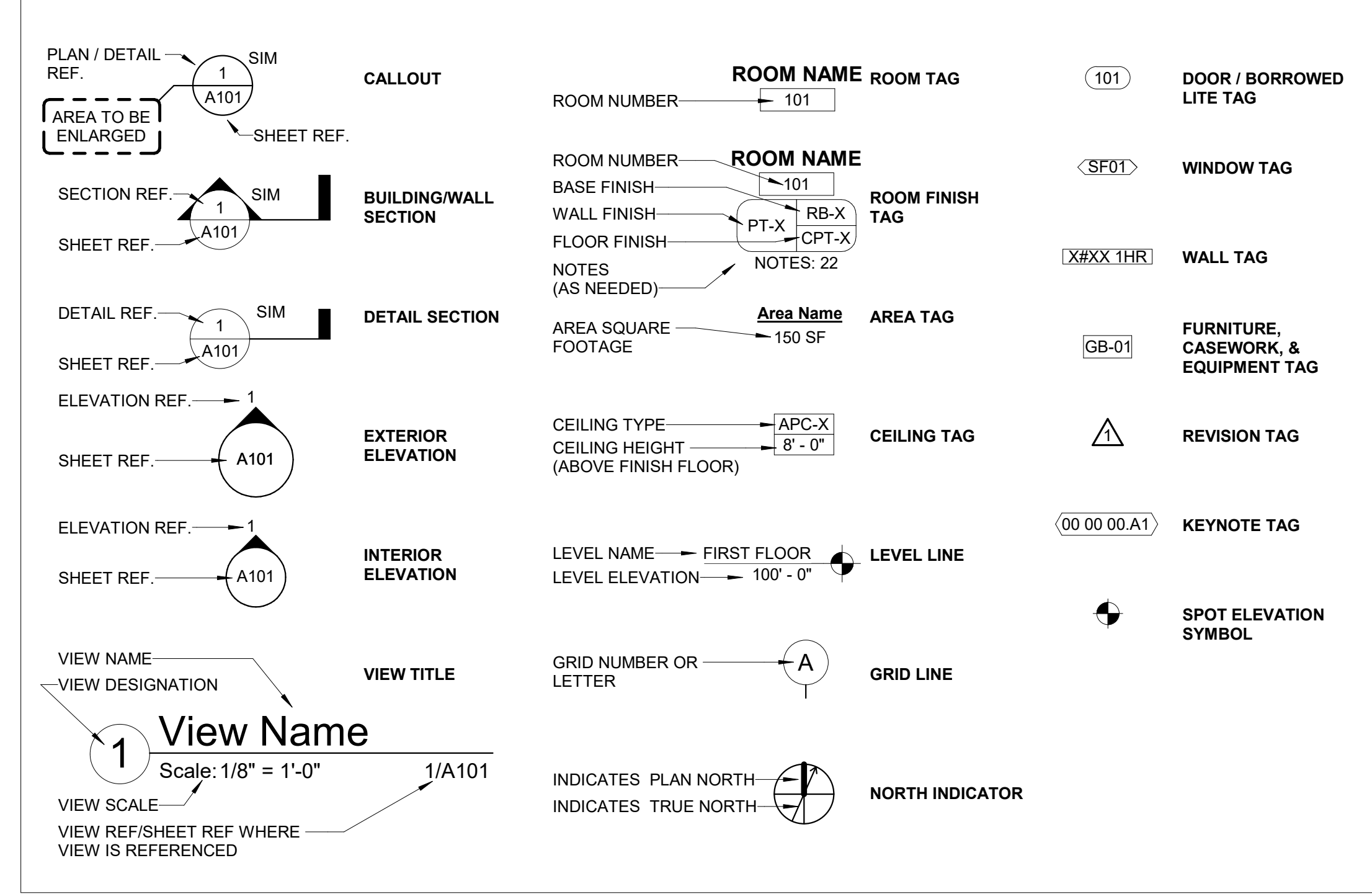
# BUILDING CODES

Table listing applicable codes: 2021 INTERNATIONAL BUILDING CODE W/ AMENDMENTS, 2021 INTERNATIONAL MECHANICAL CODE W/ AMENDMENTS, 2021 INTERNATIONAL FIRE CODE W/ AMENDMENTS, 2021 ILLINOIS ACCESSIBILITY CODE, 2020 NATIONAL ELECTRICAL CODE W/ AMENDMENTS, 2021 LIFE SAFETY CODE, 2021 ILLINOIS ENERGY CONSERVATION CODE.

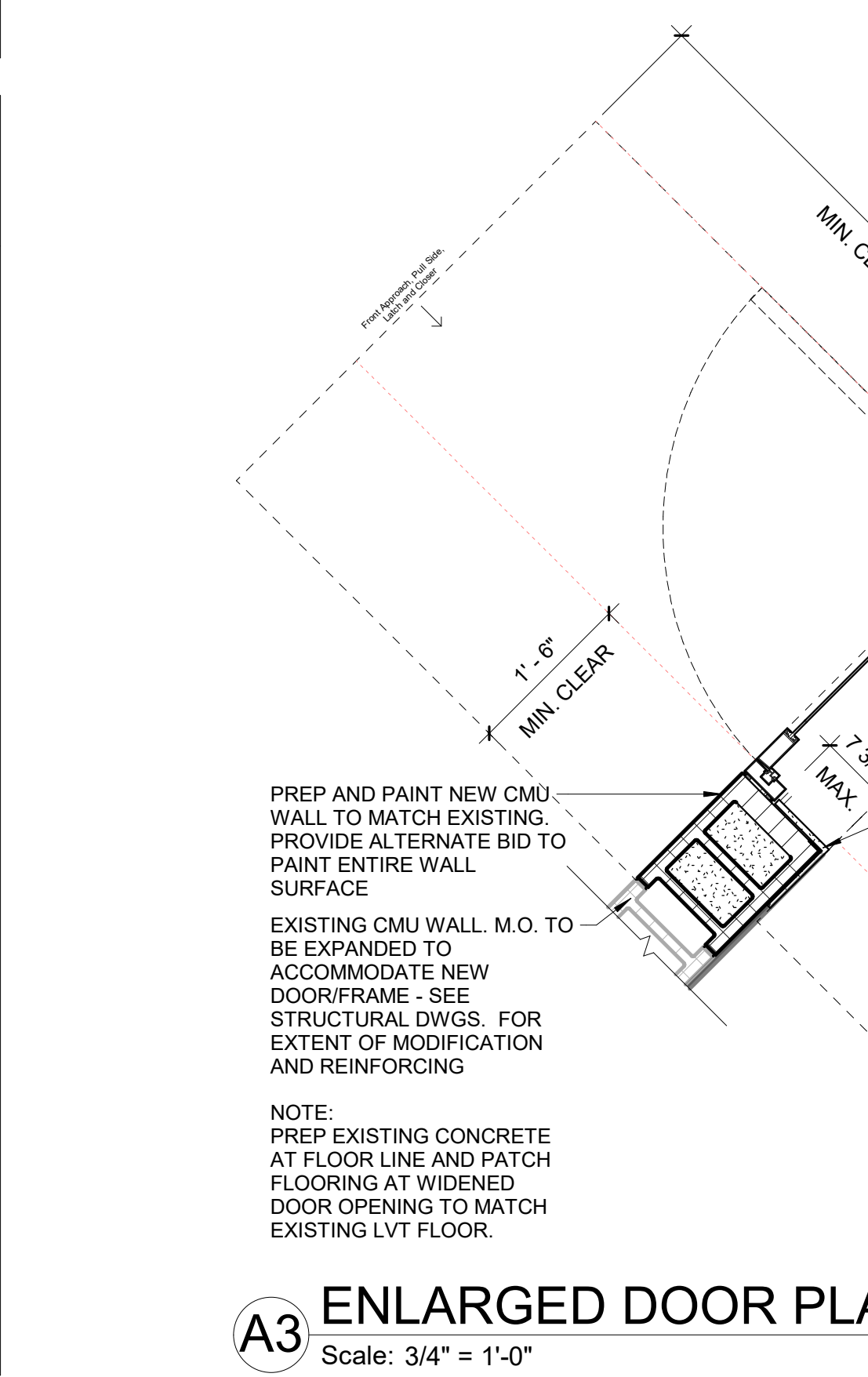
Table with columns: DOOR NUMBER, LEAF QTY, SIZE, WIDTH, HEIGHT, THICKNESS, TYPE, MATERIAL, GLAZING, FRAME, MATERIAL, GLAZING, FIRE LABEL, REMARKS. Includes row 100-1 with details for door 1.

Table with columns: REMARK NO., REMARK. Includes remark 1 regarding glazed entrance manufacturer's standard hardware.

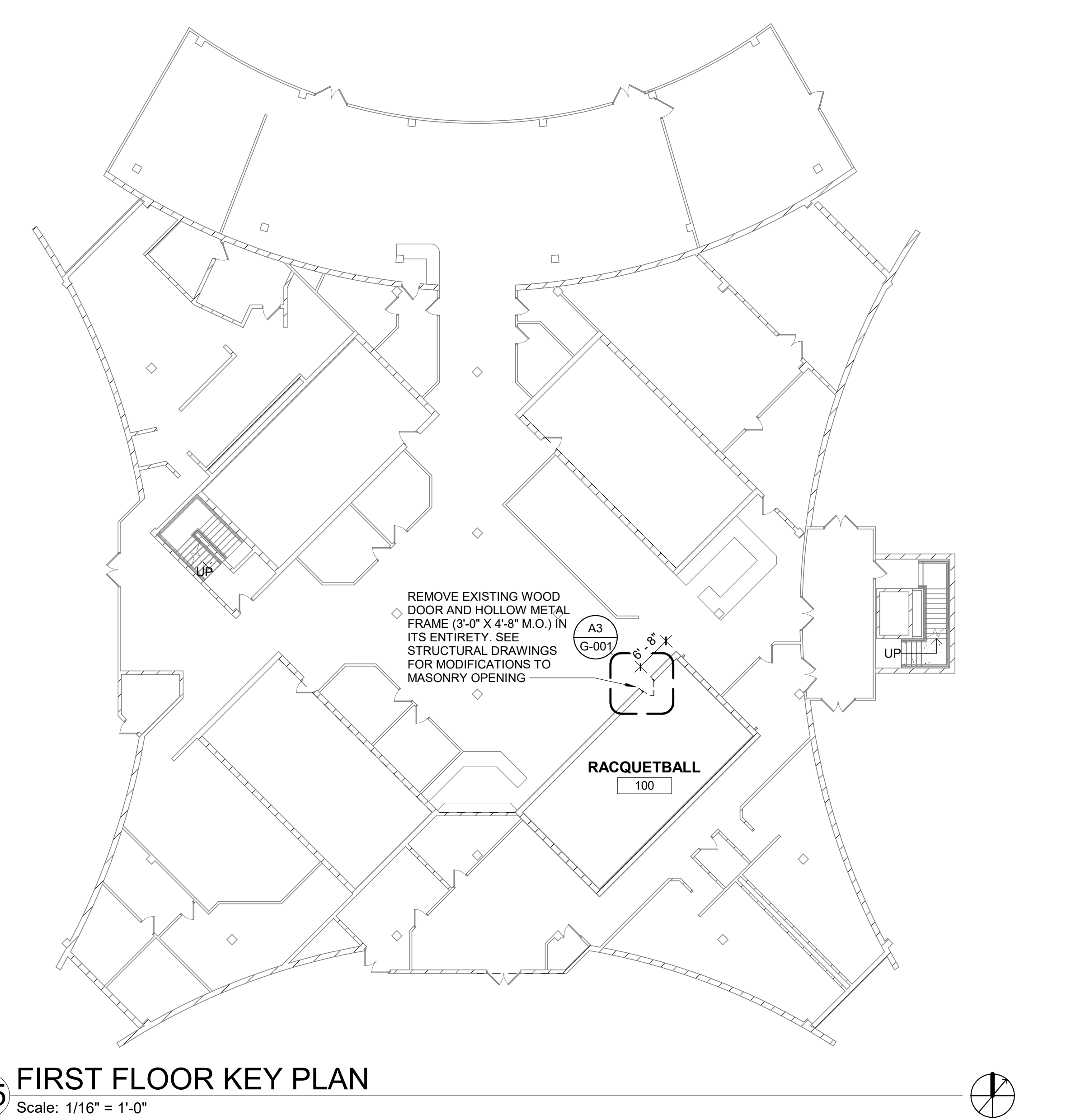
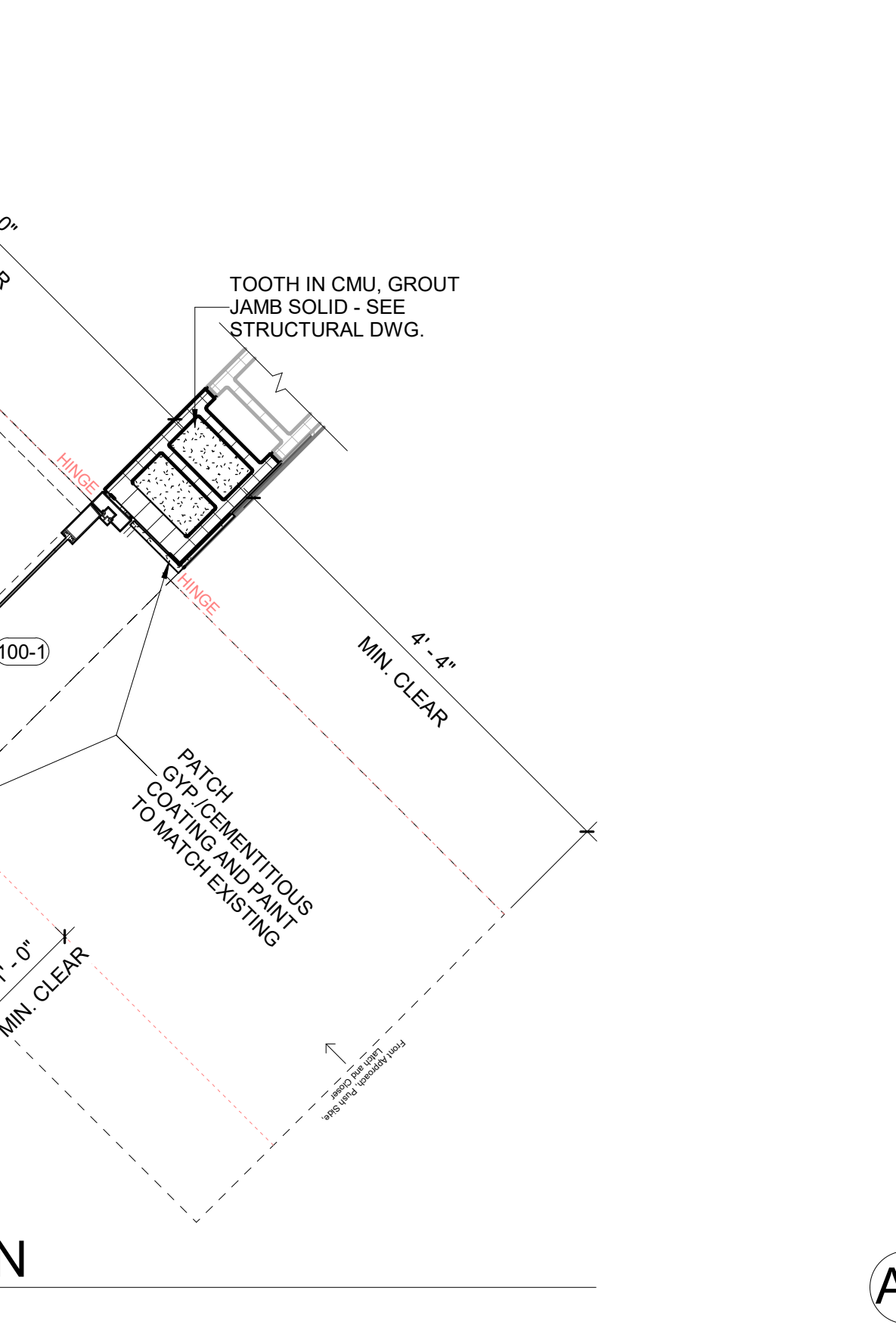
# STANDARD DETAILING SYMBOLS



# C3 DOOR FRAME TYPES



# C4 DOOR PANEL TYPES



# A3 ENLARGED DOOR PLAN

Scale: 3/4" = 1'-0"

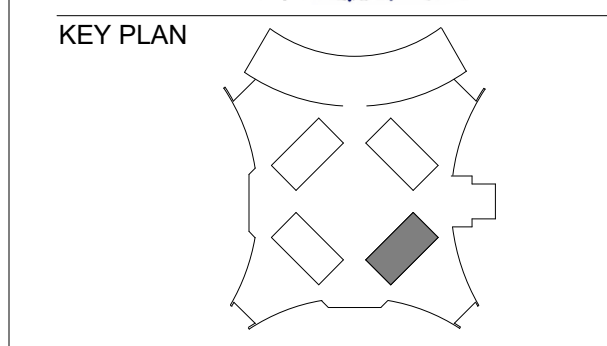
# A5 FIRST FLOOR KEY PLAN

Scale: 1/16" = 1'-0"

Dewberry logo and contact information for Dewberry Architects Inc. and Dewberry Engineers Inc.

HANOVER PARK PARK DISTRICT
COMMUNITY CENTER DOOR MODIFICATION
1919 WALNUT AVENUE
HANOVER PARK, IL 60133
ISSUED FOR PERMIT

Professional Engineer seal for Jeffrey M. Kupper, State of Illinois, License No. 001-021877.



# SCALE



# REVISIONS

Table with columns: NO., DESCRIPTION, DATE. Includes revision 1 for drawing by JMK and checked by KP.

INDEX, ARCH. NOTES & DETAILS
G-001
PROJECT NO. 50180870
SHEET NO.

5/30/2024, 2:58:44 PM



# GENERAL STRUCTURAL NOTES

## DESIGN CRITERIA

- A. ALL WORK SHALL CONFORM TO THE REQUIREMENTS OF THE INTERNATIONAL BUILDING CODE 2021, LATEST EDITION, WITH THE SPECIFICATION AND WITH THE REGULATIONS OF ALL GOVERNMENTAL AGENCIES HAVING JURISDICTION.
- B. ALL GENERAL STRUCTURAL NOTES CONTAINING "THE MOST CURRENT EDITION" REFERS TO THE LATEST EDITION ADOPTED BY THE BUILDING CODE MENTIONED ABOVE.

## GENERAL CONSTRUCTION

- A. IT IS THE CONTRACTOR'S RESPONSIBILITY TO DETERMINE ALLOWABLE CONSTRUCTION LOADS AND TO PROVIDE PROPER DESIGN AND CONSTRUCTION OF FALSEWORK, FORMWORK, STAGING, BRACING, SHEETING, SHORING, ETC.
- B. PRIOR TO CONSTRUCTION, CONTRACTOR SHALL VERIFY ALL STRUCTURAL ELEVATIONS AND DIMENSIONS WITH EXISTING CONDITIONS AND WITH OTHER PROJECT DRAWINGS; COORDINATE LOCATION OF SLEEVES AND OPENINGS THROUGH THE STRUCTURE, SLAB DEPRESSIONS, FLOOR DRAINS, INSERTS, AND OTHER RELATED ITEMS.
- C. CONTRACTOR SHALL BE SOLELY RESPONSIBLE FOR THE CORRECTNESS OF DIMENSIONS OR QUANTITIES AND FOR THE FITTING TO OTHER WORK; FOR WORK TO BE CONFIRMED AND CORRELATED AT THE SITE, FOR INFORMATION PERTAINING TO THE FABRICATION PROCEDURE OR TO THE MEANS, METHODS, TECHNIQUES, SEQUENCES AND PROCEDURES OF CONSTRUCTION; AND FOR THE COORDINATION OF STRUCTURAL WORK WITH THE WORK OF ALL OTHER TRADES. THE VERIFICATION OF THE PHYSICAL INTERRELATIONSHIPS OF ELEMENTS OF THE WORK FROM PLANS AND SPECIFICATIONS AND IN THE FIELD IS THE CONTRACTOR'S SOLE RESPONSIBILITY. REVIEW OF CONTRACTOR'S SUBMISSIONS DOES NOT RELIEVE CONTRACTOR FROM THESE RESPONSIBILITIES.
- D. SEE ARCHITECTURAL DRAWINGS FOR EXACT DETAIL AND LOCATION OF OPENINGS OR RECESSES IN WALLS AND SLABS AND OTHER DIMENSIONS NOT SHOWN IN STRUCTURAL DRAWINGS. PROPOSED OPENINGS OR RECESSES IN THE STRUCTURE WHICH ARE NOT SHOWN IN THE STRUCTURAL DRAWINGS, EITHER DIRECTLY OR BY TYPICAL DETAIL, SHALL BE SUBMITTED FOR ACCEPTANCE.

- E. HOLES OF ANY SIZE SHALL NOT BE DRILLED INTO STRUCTURAL MEMBERS, EXCEPT AS SHOWN IN THE DRAWINGS, WITHOUT THE ACCEPTANCE OF THE ENGINEER.
- F. ALL CONCRETE MASONRY UNITS CONTAINING MASONRY ANCHORS, DOWELS, REINFORCING STEEL AND THE LIKE SHALL BE FILLED SOLID WITH GROUT.

## MASONRY

- A. ENGINEERED MASONRY SHALL BE FABRICATED AND CONSTRUCTED IN ACCORDANCE WITH THE FOLLOWING:
- "BUILDING CODE REQUIREMENTS FOR MASONRY STRUCTURES" (ACI 530, LATEST EDITION)
  - "TECHNICAL NOTES ON BRICK CONSTRUCTION" BY THE BRICK INSTITUTE OF AMERICA.
- B. MINIMUM COMPRESSIVE STRENGTH OF MASONRY UNITS (ASTM C90):
- |                           |          |
|---------------------------|----------|
| HOLLOW AND/OR SOLID UNITS | 2600 PSI |
|---------------------------|----------|
- C. MINIMUM COMPRESSIVE STRENGTH (F<sub>c</sub>) AT 28 DAYS:
- |                     |          |
|---------------------|----------|
| GROUT PER ASTM C109 | 2250 PSI |
|---------------------|----------|
- D. THE DESIGN COMPRESSIVE STRENGTH OF MASONRY (f<sub>m</sub>) BASED ON THE COMPRESSIVE STRENGTH OF MASONRY UNITS AND MORTAR TO BE USED ARE AS FOLLOWS:
- |                  |                           |
|------------------|---------------------------|
| CONCRETE MASONRY | f <sub>m</sub> = 1500 PSI |
|------------------|---------------------------|

- E. FOR ALL WALLS AS INDICATED ON THE STRUCTURAL DRAWINGS THE MORTAR SHALL BE TYPE S AND ONLY NORMAL WEIGHT UNITS SHALL BE USED IN BELOW GRADE APPLICATIONS.
- F. MASONRY REINFORCEMENT SHALL BE AS FOLLOWS:

- BOND BEAMS AND ALL VERTICAL REINFORCEMENT:  
DEFORMED BARS - ASTM A615 GRADE 60
- BED JOINT REINFORCEMENT:  
PARALLEL WIRES - ASTM A62 WITH MINIMUM YIELD STRESS OF 70.0 KSI.
- CONTINUOUS HORIZONTAL WIRE TIES SHALL BE PLACED SUCH THAT THE DISTANCE BETWEEN THE FACE OF THE MASONRY WALL AND THE PARALLEL WIRE IS NOT MORE THAN ONE INCH.
- FOR SINGLE AND DOUBLE WYTHE BLOCK PROVIDE:  
(2) #9 GAGE DEFORMED WIRES, (1) AT EACH FACE SHELL, TRUSS TIED.
- FOR VENEER OTHER THAN RUNNING BOND PROVIDE:  
(1) WIRE OF SIZE W1.7 @ 18" OC MAX
- G. UNLESS OTHERWISE SHOWN OR NOTED, REINFORCING STEEL FOR MASONRY SHALL BE LAPPED 48 BAR DIAMETERS, MINIMUM.
- H. UNLESS OTHERWISE INDICATED ON THE DRAWINGS BEARINGS FOR LINTELS SHALL BE ON HOLLOW MASONRY UNITS WITH A MINIMUM OF (3) CORES AND (3) COURSES SLUSHED SOLID WITH GROUT.
- I. ALL POST-INSTALLED ANCHORS TO BE LOCATED IN CMU WALLS SHALL BE ANCHORED INTO FULLY GROUTED CELLS WITHIN A 12" RADIUS.
- J. UNLESS OTHERWISE NOTED, ALL BOND BEAMS SHALL HAVE (2) #5 BARS CONTINUOUS.

## DEMOLITION

- A. DO NOT ALLOW DEMOLISHED OR REMOVED MATERIALS TO DROP, FALL OR IMPACT AGAINST STRUCTURE-TO-REMAIN. PROTECT ALL STRUCTURE-TO-REMAIN FROM DAMAGE OF ANY KIND.
- B. REMOVE ALL DEMOLISHED MATERIAL PROMPTLY FROM SITE.
- C. REPAIR ALL STRUCTURE DAMAGED DURING DEMOLITION OPERATIONS TO THE SATISFACTION OF THE ENGINEER.

## STRUCTURAL STEEL

- A. ALL STRUCTURAL STEEL SHALL BE DESIGNED AND CONSTRUCTED IN ACCORDANCE WITH THE FOLLOWING:
- AISC "SPECIFICATION FOR STRUCTURAL STEEL BUILDINGS" FIFTEENTH EDITION - ALLOWABLE STRENGTH DESIGN.
- B. ALL STRUCTURAL STEEL UNLESS OTHERWISE NOTED SHALL CONFORM TO THE FOLLOWING ASTM SPECIFICATIONS:
- |                   |     |
|-------------------|-----|
| STRUCTURAL ANGLES | A36 |
|-------------------|-----|
- C. SEE MASONRY NOTES AND ARCHITECTURAL DRAWINGS FOR COORDINATION AND REQUIREMENTS OF STEEL LINTELS IN MASONRY WALLS.

## SCHEDULE OF SPECIAL INSPECTIONS 2021 INTERNATIONAL BUILDING CODE

MASONRY CONSTRUCTION - LEVEL 2	REQUIRED VERIFICATION AND INSPECTION TASK	TMS 602, TABLES 3 & 4	
		CONTINUOUS	PERIODIC
I.	Verify compliance with the approved submittals.	-	X
II.	Verification of f <sub>m</sub> and f <sub>acc</sub> prior to construction, except where specifically exempted by this code.	-	X
III.	Verification of Slump flow and VSI as delivered to the project site for self-consolidating grout.	X	-
IV.	As masonry construction begins, verify that the following are in compliance:		
a.	Proportions of site-prepared mortar.	-	X
c.	Grade, type and size of reinforcement, connectors, and anchor bolts.	-	X
V.	Prior to grouting, verify that the following are in compliance:		
a.	Grout space.	-	X
c.	Placement of reinforcement, connectors, and anchor bolts.	-	X
d.	Proportions of site-prepared grout.	-	X
VI.	Verify during construction:		
a.	Materials and procedures with the approved submittals.	-	X
b.	Placement of masonry units and mortar joint construction.	-	X
c.	Size and location of structural elements.	-	X
d.	Type, size, and location of anchors, including other details of anchorage of masonry to structural members, frames, or other construction.	-	X
h.	Placement of grout.	X	-
VII.	Observe preparation of grout specimens, mortar specimens, and/or prisms.	-	X

## SPECIAL INSPECTION SCHEDULE NOTES

CONTINUOUS = SPECIAL INSPECTION BY THE SPECIAL INSPECTOR WHO IS PRESENT WHEN AND WHERE THE WORK TO BE INSPECTED IS BEING PERFORMED.

PERIODIC = SPECIAL INSPECTION BY THE SPECIAL INSPECTOR WHO IS INTERMITTENTLY PRESENT WHERE THE WORK TO BE INSPECTED HAS BEEN OR IS BEING PERFORMED.

OBSERVE = OBSERVE AND INSPECT THESE ITEMS ON AN INTERMITTENT RANDOM BASIS. OPERATIONS NEED NOT BE DELAYED PENDING THESE INSPECTIONS. FREQUENCY OF OBSERVATIONS SHALL BE ADEQUATE TO CONFIRM THAT THE WORK HAS BEEN PERFORMED IN ACCORDANCE WITH THE APPLICABLE DOCUMENTS.

PERFORM = PERFORM THESE TASKS FOR EACH ELEMENT PRIOR TO THEIR FINAL ACCEPTANCE.

## XIV. STRUCTURAL OBSERVATIONS

- A. THE CONSTRUCTION OR WORK FOR WHICH STRUCTURAL OBSERVATIONS IS REQUIRED SHALL REMAIN ACCESSIBLE AND EXPOSED UNTIL COMPLETION OF THE REQUIRED OBSERVATIONS.

## PERMIT APPLICANT'S RESPONSIBILITIES PER IBC 1704

- THE PERMIT APPLICANT SHALL SUBMIT THIS SHEET AS THE STATEMENT OF SPECIAL INSPECTIONS PREPARED BY THE REGISTERED DESIGN PROFESSIONAL IN RESPONSIBLE CHARGE AS A CONDITION FOR PERMIT ISSUANCE.
- THE PERMIT APPLICANT SHALL LIST BELOW THE INDIVIDUALS, APPROVED AGENCIES OR FIRMS INTENDED TO BE RETAINED FOR COMPLETING EACH INSPECTION TYPE.

A. CMU \_\_\_\_\_ NAME OR FIRM NAME \_\_\_\_\_

THE PERMIT APPLICANT SHALL OBTAIN ALL NECESSARY SIGNATURES INCLUDING CONTRACTOR ACKNOWLEDGEMENT OF SPECIAL INSPECTIONS REQUIREMENTS.

## IBC 1704.2 INSPECTIONS OF FABRICATORS PER IBC 1704

- WHERE FABRICATION OF STRUCTURAL LOAD-BEARING MEMBERS AND ASSEMBLIES IS BEING PERFORMED ON THE PREMISES OF A FABRICATOR'S SHOP, SPECIAL INSPECTION OF THE FABRICATED ITEMS IS REQUIRED.
- THE SPECIAL INSPECTOR SHALL VERIFY THAT THE FABRICATOR MAINTAINS DETAILED FABRICATION AND QUALITY CONTROL PROCEDURES THAT PROVIDE A BASIS FOR INSPECTION, CONTROL OF THE WORKMANSHIP, AND THE FABRICATOR'S ABILITY TO CONFORM TO APPROVED CONSTRUCTION DOCUMENTS AND REFERENCED STANDARDS. THE SPECIAL INSPECTOR SHALL REVIEW THE PROCEDURES FOR COMPLETENESS AND ADEQUACY RELATIVE TO THE CODE REQUIREMENTS FOR THE FABRICATOR'S SCOPE OF WORK.
- SPECIAL INSPECTIONS ARE NOT REQUIRED WHERE THE WORK IS DONE ON THE PREMISES OF THE FABRICATOR REGISTERED AND APPROVED TO PERFORM SUCH WORK WITHOUT SPECIAL INSPECTION. APPROVAL SHALL BE BASED UPON REVIEW OF THE FABRICATOR'S WRITTEN PROCEDURAL AND QUALITY CONTROL MANUALS AND PERIODIC AUDITING OF FABRICATION PRACTICES BY AN APPROVED SPECIAL INSPECTION AGENCY. AT COMPLETION OF THE FABRICATION, THE APPROVED FABRICATOR SHALL SUBMIT A CERTIFICATE OF COMPLIANCE TO THE BUILDING OFFICIAL, ENGINEER, AND OWNER STATING THAT THE WORK WAS PERFORMED IN ACCORDANCE WITH THE APPROVED CONSTRUCTION DOCUMENTS.

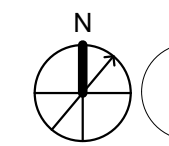
## STATEMENT OF SPECIAL INSPECTIONS PER IBC 1704

- INFORMATION ON THIS SHEET IS BEING SUBMITTED IN ACCORDANCE WITH THE SPECIAL INSPECTIONS PROVISIONS OF THE 2021 INTERNATIONAL BUILDING CODE. THIS INFORMATION CONSTITUTES THE SCHEDULE OF SPECIAL INSPECTIONS (SSI) REQUIRED FOR THIS PROJECT.
- THE OWNER SHALL EMPLOY ONE OR MORE SPECIAL INSPECTORS TO PROVIDE INSPECTIONS DURING CONSTRUCTION ON THE TYPES OF WORK LISTED HEREIN. THE GENERAL CONTRACTOR SHALL NOT EMPLOY THE SPECIAL INSPECTORS.
- THE SPECIAL INSPECTOR SHALL BE A QUALIFIED PERSON WHO SHALL DEMONSTRATE COMPETENCE TO THE BUILDING OFFICIAL FOR INSPECTION OF THE PARTICULAR TYPE OF CONSTRUCTION OR OPERATION REQUIRING SPECIAL INSPECTION.
- THE SPECIAL INSPECTOR SHALL FULFILL THE FOLLOWING REPORT REQUIREMENTS:
  - A SPECIAL INSPECTOR SHALL KEEP RECORDS OF ALL INSPECTIONS.
  - THE SPECIAL INSPECTORS SHALL FURNISH INSPECTION REPORTS TO THE BUILDING OFFICIAL, THE OWNER, THE GENERAL CONTRACTOR, THE STRUCTURAL ENGINEER, AND THE ARCHITECT. WHEN TESTS OR INSPECTIONS INDICATE THAT THE WORK DOES NOT COMPLY WITH THE CONSTRUCTION DOCUMENTS, THE SPECIAL INSPECTOR SHALL NOTIFY THE OWNER, CONTRACTOR, ARCHITECT AND STRUCTURAL ENGINEER BY PHONE ON THE DAY OF THE TEST OR INSPECTION AND SHALL FOLLOW THAT CALL WITH AN EXPEDITED WRITTEN REPORT WITHIN ONE BUSINESS DAY. ALL OTHER REPORTS SHALL BE SUBMITTED WITHIN 5 BUSINESS DAYS OF THE EVENT DOCUMENT.
  - REPORTS SHALL INDICATE THAT WORK INSPECTED WAS DONE IN CONFORMANCE TO APPROVED CONSTRUCTION DOCUMENTS.
  - DISCREPANCIES SHALL BE BROUGHT TO THE IMMEDIATE ATTENTION OF THE CONTRACTOR FOR CORRECTION.
  - IF THE DISCREPANCIES ARE NOT CORRECTED, THE DISCREPANCIES SHALL BE BROUGHT TO THE ATTENTION OF THE BUILDING OFFICIAL AND TO THE REGISTERED DESIGN PROFESSIONAL IN RESPONSIBLE CHARGE WITHIN ONE BUSINESS DAY.
  - A FINAL REPORT DOCUMENTING REQUIRED SPECIAL INSPECTIONS AND CORRECTION OF ANY DISCREPANCIES NOTED IN THE INSPECTIONS SHALL BE SUBMITTED BY THE SPECIAL INSPECTOR AT A POINT IN TIME AGREED UPON BY THE PERMIT APPLICANT AND THE BUILDING OFFICIAL PRIOR TO THE START OF WORK.
  - THE SPECIAL INSPECTORS REPORT SHALL STATE THE FOLLOWING: "IN MY PROFESSIONAL OPINION AND TO THE BEST OF MY INFORMATION, KNOWLEDGE AND BELIEF, THE SPECIAL INSPECTIONS REQUIRED FOR THE PROJECT, AS ITEMIZED IN THE STATEMENT OF SPECIAL INSPECTIONS SUBMITTED FOR PERMIT, HAVE BEEN PERFORMED AND ALL DISCOVERED DISCREPANCIES HAVE BEEN REPORTED AND RESOLVED."

- THE INSPECTIONS LISTED HEREIN ARE IN ADDITION TO THE INSPECTIONS TO BE PERFORMED BY THE BUILDING OFFICIAL AND LISTED IN SECTION 110 OF THE IBC.
- PRIOR TO THE START OF CONSTRUCTION, THE CONTRACTOR SHALL CONDUCT A PRE-CONSTRUCTION MEETING TO DISCUSS THE SPECIAL INSPECTION REQUIREMENTS WITH ALL INVOLVED PARTIES.
- THE SPECIAL INSPECTIONS PROGRAM OUTLINED HEREIN, DOES NOT RELIEVE THE CONTRACTOR OR ANY OTHER ENTITY OF ANY CONTRACTUAL DUTIES, INCLUDING QUALITY CONTROL, QUALITY ASSURANCE, OR SAFETY. THE CONTRACTOR IS SOLELY RESPONSIBLE FOR CONSTRUCTION MEANS, METHODS, AND JOB SITE SAFETY.
- THE CONTRACTOR SHALL PAY FOR ENGINEERING SERVICES REQUIRED TO INVESTIGATE AND CORRECT WORK THAT DOES NOT CONFORM TO THE PROJECT DOCUMENTS OR IS FOUND DEFICIENT OR DEFECTIVE.

## ABBREVIATIONS

Key Name	Structural Abbreviation
A.F.F.	ABOVE FINISHED FLOOR
ARCH.	ARCHITECTURAL
B.S.	BOTH SIDES
B/	BOTTOM OF
BOT.	BOTTOM
CF	CUBIC FOOT
CLR.	CLEAR
CMU	CONCRETE MASONRY UNIT
COL.	COLUMN
CONC.	CONCRETE
CONT.	CONTINUOUS
COORD.	COORDINATE
DET.	DETAIL
DIA.	DIAMETER
DIM.	DIMENSION
EA.	EACH
ELEV.	ELEVATION
EOR	ENGINEER OF RECORD
EQ.	EQUAL
EQUIP.	EQUIPMENT
EXIST. OR (E)	EXISTING
EXP.	EXPANSION
EXT.	EXTERIOR
FIN.	FINISH
FNDN	FOUNDATION
FTG.	FOOTING
GA.	GAUGE
GALV.	GALVANIZED
GC	GENERAL CONTRACTOR
HAS	HEADED ANCHOR STUD
HORIZ.	HORIZONTAL
HSS	HOLLOW STRUCTURAL SECTION
INT.	INTERIOR
J.B.	JOIST BEARING
KSI	KIPS PER SQUARE INCH
LLH	LONG LEG HORIZONTAL
LLV	LONG LEG VERTICAL
MAX.	MAXIMUM
MECH.	MECHANICAL
MIN.	MINIMUM
MPH	MILES PER HOUR
#	NUMBER
N.T.S.	NOT TO SCALE
NO.	NUMBER
O.C.	ON CENTER
PSF	POUNDS PER SQUARE FOOT
PSI	POUNDS PER SQUARE INCH
R	RADIUS
REINF.	REINFORCING
REQ'D	REQUIRED
S.S.	STAINLESS STEEL
SIM	SIMILAR
STD.	STANDARD
STL	STEEL
STRU.	STRUCTURAL
T.O.S.	TOP OF STEEL
T/	TUBE STEEL
TS/	TYPICAL
TYP.	TYPICAL
U.N.O.	UNLESS NOTED OTHERWISE
V.I.F.	VERIFY IN FIELD
VERT.	VERTICAL
W.P.	WORK POINT
W.W.F.	WELDED WIRE FABRIC

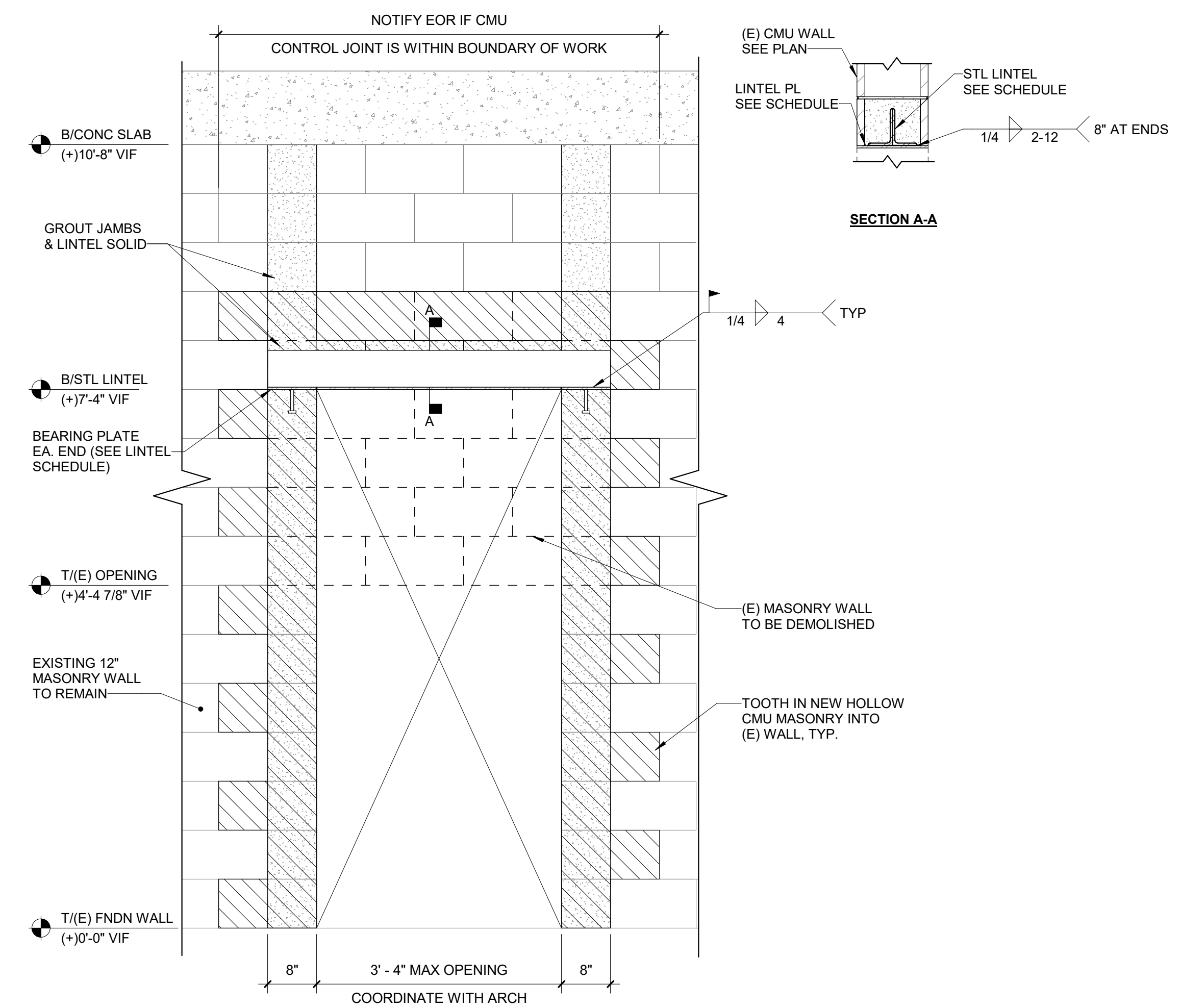


## 1 PARTIAL SECOND FLOOR FRAMING PLAN

Scale: 1/8" = 1'-0"

## PLAN NOTES

- FOR GENERAL NOTES, ABBREVIATIONS, & LOADING CRITERIA, SEE THIS SHEET.
- REFERENCE ELEVATION SHALL BE EL. 0'-0". MATCH EXISTING FINISHED FLOOR.
- EXISTING 12" CONCRETE SLAB TO REMAIN. ——— INDICATES SPAN DIRECTION.
- \* INDICATES DIMENSION TO BE COORDINATED WITH ARCHITECTURAL OR EXISTING CONSTRUCTION PRIOR TO ANY FABRICATION.
- LINTELS INDICATED ON THE PLAN THUS: L-# (COORD W/ ARCHITECTURAL DRAWINGS) SEE MASONRY LINTEL SCHEDULE.



## NOTES:

- NOTIFY ENGINEER OF ANY DISCREPANCIES PRIOR TO ANY DEMOLITION WORK.
- SEE ARCHITECTURAL DRAWINGS FOR OPENING QUANTITY, SIZE, AND LOCATION.
- GC TO PROVIDE TEMPORARY SHORING AS REQUIRED.

## 2 1/S-100

Scale: 3/4" = 1'-0"



Dewberry Architects Inc.

132 N York Street  
Suite 202  
Evanston, IL 60126  
(847) 895-5640

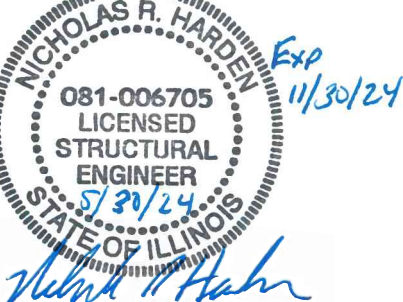
Dewberry Engineers Inc.

401 SW Water Street  
Suite #701  
Peoria, IL 61602  
309.282.8000  
IL Design Firm Reg. #184095007-0006

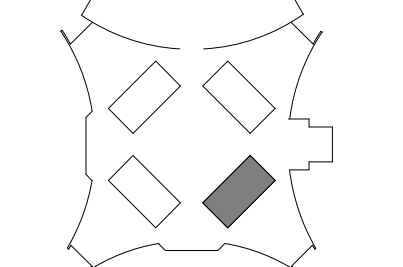
HANOVER PARK DISTRICT  
COMMUNITY CENTER DOOR MODIFICATION

1919 WALNUT AVENUE  
HANOVER PARK, IL 60133  
ISSUED FOR PERMIT

SEAL



KEY PLAN



SCALE

REVISIONS

NO.	DESCRIPTION	DATE

DRAWN BY \_\_\_\_\_ DEW

APPROVED BY \_\_\_\_\_ NRH

CHECKED BY \_\_\_\_\_ NRH

DATE \_\_\_\_\_ 05/30/2024

TITLE

GEN. STRUCT.  
NOTES, SPECIAL  
INSPECTIONS,  
PLAN & DETAIL

PROJECT NO. 50180870

S-100

SHEET NO.



# Craftsmen Masonry & Tuckpointing

1930 Crescent Ct ♦Hoffman Estates, IL 60169  
Phone: 773-766-5391

## INVOICE #39

Date: 10/12/2024

BILL: 1919 Walnut Ave,

TO: Hanover Park IL, 60133

Thank you for considering Craftsmen Masonry & Tuckpointing Inc for this project , we proposes to furnish all labor, material, and insurance required to complete the following scope of work as specified and outlined below: All roof and ground areas will be protected around the worksite using canvas traps prior to the start of work

ITEM	DESCRIPTION	QUANTITY
	Opening 1: - Cut opening to door size - Install two lintels by 4' with special glued flashing, drip edge, cotton tubes and termination bar with sealant (lintels will be scrape, prime and paint)	
	<b>Total:</b>	<b>\$3350</b>

Total >>>> \$3350.00

PAID >>>> \$00.00

DUE AMOUNT>>>>3350.00

Approved by \_\_\_\_\_



Date 10/12/2024

Approved by \_\_\_\_\_

Date \_\_\_\_\_

**Invoice**

Dewberry Architects Inc.  
P.O. Box 821824  
Philadelphia, PA 19182-1824  
(703)849-0100 TIN:37-1004942



Hanover Park Park District  
Steve Bessette  
1919 Walnut Avenue  
Hanover Park, IL 60133

June 27, 2024  
Project No: 50180870.000  
Invoice No: 82400664  
Due Date: June 30, 2024  
Project Manager JEFFREY KEPPLER

Project 50180870.000 Hanover Park CC -Raquetball Door Opening

**Professional Services from April 27, 2024 to May 31, 2024**

Phase 0000 Lump Sum

Billing Phase	Fee	Pct Comp	Amount Earned	Previously Billed	Current Fee
Raquetball Door Design	6,425.00	100.00	6,425.00	0.00	6,425.00
Total Fee	6,425.00		6,425.00	0.00	6,425.00
<b>Total Fee</b>				<b>6,425.00</b>	
<b>Total this Phase</b>				<b>6,425.00</b>	
<b>Total Invoice Amount Due</b>				<b><u><u>6,425.00</u></u></b>	

NOTE: Dewberry will not ask our clients to update any banking information via email. Please call Richard Goldstein directly at 703.849.0219 to request or verify our banking information or account number. This invoice accurately reflects the terms and conditions of our agreement and the amount hereon is correct. This invoice is due and payable within 30 days of the invoice date. Any questions pertaining to the amount should be brought to the attention of Dewberry Immediately. For faster and accurate processing of your payment, email your ACH requirements to ar@dewberry.com. Thank you

# Hanover Glass

7221 OLDE SALEM CIRCLE  
HANOVER PARK, IL 60133

PHONE: (630) 289-6767

E-MAIL: SALES@HANOVER-GLASS.COM

## WORK ESTIMATE

Estimate # 9315

Date 10/7/2024

Project Location: Racketball Court  
Address:

E-mail: s.bessette@hpparks.org

Phone: 630-837-2468

Qty	Description	Price	Total
1	Installation of 3070 Single Doors in interior openings at Hanover Park Park District building. Materials: Door will be Dark Bronze standard single 3' x 7' tall single door with door frame (no overhead transom). Door will be narrow stile, 3" bottom rail, butt hinges, standard push/pull handle and lockset with surface mounted closers. All glass will be 1/4" clear tempered safety glass.	2,165.74	2,165.74
1	Labor and Installation	995.00	995.00

*A Clear Vision of Quality*

Subtotal \$3,160.74

Sales Tax (10.0%) \$0.00

**Total \$3,160.74**

Estimates are valid for 30 days from date of estimate.

Payment is due upon completion.

Thank you for your business!

\*Cash, Checks & All Major Credit Cards Accepted\*



# CONTRACT

426 S. Princeton ave. Itasca IL 60143  
 Office: 708-492-0485  
 Cell: 773-802-0064

E-mail: [MMstucco@yahoo.com](mailto:MMstucco@yahoo.com)  
 Web: [www.stuccomm.com](http://www.stuccomm.com)

CONTRACT SUBMITTED TO		JOB NAME	
Steve Bessette –Hanover Park District		Hanover Park District	
STREET		JOB LOCATION	
1919 Walnut ave.		1919 Walnut ave. Hanover Park IL 60133	
CITY, STATE, ZIP CODE		ARCHITECT	
Hanover Park IL60133			
InPHONE	DATE	e-mail	PHONE
630-546-2130	10-14-2024	S.bessette@hpparks.org	

REPAIR AND ADD NEW STUCCO COAT AROUND THE ONE DAMAGE WALLS –DOOR AREA –From the pictures REPAIR INCLUDE; Install new Stucco component with Stucco mash and texture cement coat. Also grinding the existing damage corner wall

**We Propose** hereby to furnish material and labor – complete in accordance with above specifications, for the sum of Two Thousand One Hundred TOTAL \$- 2,100.00

Payment to be made as follows: 1.payment

1. Payment \$ -2,100.00 After finish job

**Acceptance of Proposal.** The above prices, specifications and conditions are satisfactory and are hereby accepted. You are authorized to do the work as specified. Payment will be made as outlined above.

Date of Acceptance

Signature



